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**Kastera Pavilion Commons LLC  
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Eagle, Id. 83616**

WILD # 23116

**FOR RECORDING INFORMATION**

**MASTER DECLARATION OF**  
**COVENANTS, CONDITIONS AND RESTRICTIONS**  
**FOR**  
**PRISTINE MEADOWS SUBDIVISION**

**THIS MASTER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR PRISTINE MEADOWS SUBDIVISION is made effective as of the 18<sup>th</sup> day of September, 2006, by KASTERA PAVILION COMMONS LLC, an Idaho limited liability company ("Grantor").**

**PRISTINE MEADOWS SUBDIVISION IS ALSO COMMONLY REFERRED TO AS PAVILION SUBDIVISION.**

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## ARTICLE I: RECITALS

**1.1 Property Covered.** The property subject to this Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, which Grantor intends to market under the name "Pavilion", is the Pristine Meadows Subdivision No. 1 legally described in **Exhibit A**, attached hereto and made a part hereof, which property has been approved by the City of Star, Idaho, for the development of residential lots and common lots. Grantor intends to develop Pristine Meadows Subdivision No. 1, together with other property within Pristine Meadows Subdivision, in several development Phases, defined below. Each additional Phase shall be made specifically subject to this Declaration by supplemental declaration, as may be amended or supplemented from time to time, and all property subject to this Declaration shall be collectively sometimes referred to herein as the "**Property**," or as "**Pristine Meadows Subdivision (Pavilion)**."

**1.2 Residential Development.** Pristine Meadows Subdivision (Pavilion) is planned as a residential development that Grantor currently intends to develop in accordance with existing development approvals obtained by Grantor from Ada County and/or the City of Star and/or Ada County Highway District, or any other development plan(s) for which Grantor may from time to time obtain approval from the applicable jurisdiction(s) (the "**Development Plan**"). Any development plans for the Property in existence prior to or following the effective date of this Declaration are subject to change at any time by Grantor, and impose no obligation on Grantor as to how the Property is to be developed or improved.

**1.3 Purpose of Declaration.** The purpose of this Declaration is to set forth the basic restrictions, covenants, limitations, easements, conditions and equitable servitudes (collectively, "**Restrictions**") that will apply to the Property, including future Phases specifically made subject to this Declaration and any other property annexed into Pristine Meadows Subdivision (Pavilion), as provided further herein. The Restrictions are designed to preserve the Property's value, desirability and attractiveness, to ensure a well integrated, high-quality development, and to guarantee adequate maintenance of the Common Areas, and the Improvements located thereon in a cost effective and administratively efficient manner.

## ARTICLE II: DECLARATION

Grantor hereby declares that the Property, and each lot, parcel or portion thereof, is and/or shall be held, sold, conveyed, encumbered, hypothecated, leased, used, occupied and improved subject to the following terms and Restrictions, all of which are declared and agreed to be in furtherance of a general plan for the protection, maintenance, subdivision, improvement and sale of the Property, and to enhance the value, desirability and attractiveness of the Property. The terms and Restrictions set forth herein shall run with the land constituting the Property, and with each estate therein, and shall be binding upon any Person having or acquiring any right, title or interest in the Property or any lot, parcel or portion thereof; shall inure to the benefit of every lot, parcel or portion of the Property and any interest therein; and shall inure to the benefit of and be binding upon Grantor, Grantor's successors in interest and each grantee or Owner and such grantee's or Owner's respective successors in interest, and may be enforced by Grantor, any grantee or grantee's successors, any Owner or Owner's successors, or by the Association. In the event of any conflict between this Declaration and any other of the Project Documents, defined below, this Declaration shall control.

Notwithstanding anything to the contrary herein, until one hundred percent (100%) of all the Building Lots in Pristine Meadows Subdivision (Pavilion) are transferred by Grantor, no provision of this Declaration shall be construed as to prevent or limit Grantor's right to complete development of Pristine Meadows Subdivision (Pavilion), including any subdivision or re-subdivision of Pristine Meadows Subdivision (Pavilion), and to construct improvements thereon, nor Grantor's right to use and to maintain model homes, construction, sales or leasing offices or similar facilities on any portion of the Property, including the Common Area, nor Grantor's right to post signs incidental to construction, sales and/or leasing.

### ARTICLE III: DEFINITIONS

**3.1** **"Architectural Control Committee"** shall mean the Architectural Control Committee ("**ACC**") established by Grantor pursuant to Article X hereof.

**3.2** **"Articles"** shall mean the Articles of Incorporation of the Association.

**3.3** **"Assessments"** shall mean those payments required of Owners, as Association Members, including Regular, Special and Limited Assessments.

**3.4** **"Association"** shall mean Pavilion Homeowners Association, Inc., an Idaho nonprofit corporation, or its successors, organized and established by Grantor to exercise the powers and to carry out the duties set forth in this Declaration and/or any Supplemental Declaration, if applicable.

**3.5** **"Association Rules"** shall mean those rules and regulations that may be promulgated by the Association governing conduct upon and use of the Property under the jurisdiction or control of the Association, the imposition of fines and forfeitures for violation of Association Rules and regulations, and procedural matters for use in the conduct of business of the Association.

**3.6** **"Board"** shall mean the Board of Directors of the Association.

**3.7** **"Building Lot"** shall mean a lot within any Phase of Pristine Meadows Subdivision (Pavilion) as specified or shown on the Plat and/or by Supplemental Declaration upon which Improvements may be constructed. Building Lot(s) shall not include any Common Area.

**3.8** **"Bylaws"** shall mean the Bylaws of the Association.

**3.9** **"Common Areas"** shall mean any or all parcels of Common Area, which may include, without limitation, all such parcels that are designated as private streets or drives, parking areas or drives, common open space, common landscaped areas and other amenities and facilities. Common Area may be established from time to time by Grantor on any portion of the Property by describing such area on a recorded Plat, by granting or reserving Common Area in a deed or other instrument, or by designating Common Area as such in this Declaration or in any Supplemental Declaration.

**3.10** **"Declaration"** shall mean this Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision (Pavilion) as may be amended and supplemented from time to time with a Supplemental Declaration.

**3.11** **"First Mortgage"** shall mean any Mortgage which is not subordinate to any lien or encumbrance except liens for taxes or other liens which are given priority by statute.

**3.12** **"Grantor"** shall mean Kastera Pavilion Commons LLC, an Idaho limited liability company, the owner of the Property, or its successors in interest, or any Person to whom the rights under this Declaration are expressly transferred, in whole or in part, but excluding transfers to individual Building Lot Owners by Grantor.

**3.13** **"Improvements"** shall mean any structure, facility or system, or other improvement or object, whether permanent or temporary, which is erected, constructed, placed upon or allowed on, under or over any portion of the Property, which may include, without limitation, residential structures, accessory structures, fences, streets, driveways, parking areas, sidewalks, curbs, landscaping, lights, mail boxes, electrical lines, pipes, pumps, ditches, grading, road construction and

utility improvements. Improvement(s) includes both original improvements existing on the Property on the date hereof and all later changes and Improvements.

**3.14** **"Limited Assessment"** shall mean a charge against a particular Owner, and such Owner's Building Lot, directly attributable to such Owner, either equal to the cost incurred by the Association in connection with corrective action performed pursuant to the provisions of this Declaration, including, without limitation, damage to any Common Area, or the failure of an Owner to keep such Owner's Building Lot and/or Improvements in proper repair, or levied as a fine for violation of the provisions of this Declaration, and including interest thereon as provided in this Declaration.

**3.15** **"Member"** shall mean each Owner holding a membership in the Association, including Grantor.

**3.16** **"Mortgage"** shall mean any mortgage, deed of trust, or other document pledging any portion of the Property or interest therein as security for the payment of a debt or obligation.

**3.17** **"Occupant"** shall mean any resident or occupant of a Building Lot, including, without limitation, the Owner, family members, guests, invitees and/or tenants.

**3.18** **"Owner"** shall mean the record owner, whether one or more Persons, including Grantor, holding fee simple interest of record to a Building Lot which is a part of the Property, and buyers under executory contracts of sale, but excluding those Persons having such interest merely as security for the performance of an obligation, unless and until such Person has acquired fee simple title pursuant to foreclosure or other proceedings.

**3.19** **"Person(s)"** shall mean any individual, partnership, corporation, trust, estate or other legal entity, including Grantor.

**3.20** **"Phase"** shall mean a defined portion of the Property which has been designated as a Phase by Plat and/or recorded Supplemental Declaration. Each Phase shall contain one or more residential Building Lots, and may, in Grantor's discretion, be managed to the extent permitted herein, and/or by Supplemental Declaration.

**3.21** **"Plat"** shall mean any subdivision plat covering any portion of the Property as recorded in the Ada County, Idaho, Recorder's Office.

**3.22** **"Project Documents"** shall mean the basic documents creating and governing the Property including, without limitation, this Declaration, any Supplemental Declarations, Articles of Incorporation and Bylaws of the Association, Association Rules, Plats, and any other procedures, rules, regulations or policies adopted under such documents by the Association.

**3.23** **"Property"** shall mean the real property legally described in **Exhibit A** subject to this Declaration and any property made subject to this Declaration by recorded Supplemental Declarations, including, without limitation, each lot, parcel and portion thereof and interest therein.

**3.24** **"Regular Assessment"** shall mean the portion of the cost of designing, constructing, maintaining, improving, repairing, managing and/or operating all Common Area, including all Improvements located thereon, and the other costs and expenses incurred to conduct the business and affairs of the Association that is levied against the Building Lot of each Owner by the Association, pursuant to the terms of this Declaration.

**3.25** **"Special Assessment"** shall mean that portion of the cost of the capital improvements or replacements, equipment purchases and/or shortages in Regular Assessments which are authorized to be paid to the Association pursuant to the provisions of this Declaration.

**3.26** **"Supplemental Declaration"** shall mean any Supplemental Declaration by which additional property is made subject to this Declaration, including additional covenants, conditions and restrictions that may be adopted by Grantor with respect to any Phase or any portion of the Property or property annexed and made subject to this Declaration, as provided further herein.

**3.27** **"Pavilion"** shall be one name under which Pristine Meadows Subdivision may be commonly referred to as, and marketed to the general public.

#### **ARTICLE IV: GENERAL AND SPECIFIC RESTRICTIONS**

**4.1** **Prior Plan Approval.** Except for Improvements made by Grantor, no Improvements of any kind shall be placed or permitted to remain upon any part of the Property including, without limitation, a Building Lot, unless a written request for approval has been approved by the Board or the ACC or a person so designated by the Board to approve same. Any such written request for approval shall include all plans, specifications, landscaping plans, and exterior color scheme for the proposed Improvements.

**4.2** **Improvements – Generally.** The general instructions set forth in this Declaration shall govern the right of a Person or Owner, excluding Grantor, to construct, reconstruct, refinish, remove, add, alter or maintain any Improvements upon, under or above the Property, and to make or create any excavation or fill on the Property, or to make any change in the natural or existing surface contour or drainage, or install any utility line or conduit on, under or above the Property. All Building Lots, other than the Building Lot(s) used for Common Area or utility facilities and services, shall be used exclusively for and/or in connection with single-family residential homes. All Improvements by any Owner, excluding Grantor, must be pre-approved in writing by the ACC prior to such Owner's construction or reconstruction. This Declaration is not intended to serve as authority for the ACC to control the interior layout or design of residential structures except to the extent incidentally necessitated by use, size and height restrictions. This Declaration is intended to serve as authority for the ACC to use its judgment to see that all Improvements conform and harmonize as to external design, quality and type of construction, architectural character, materials, color and location on the Property as set forth in this Declaration.

##### **4.2.1** **Minimum Areas.**

###### **4.2.1.1 Minimum Living Space Requirements:**

(A) Single Story Dwellings. Each one-story single-family dwelling unit shall have a minimum of one thousand six hundred (1,600) square feet of living space.

(B) Two Story Dwellings. The bottom floor of each two-story single-family dwelling unit shall have a minimum of one thousand two hundred (1,200) square feet of living space.

(C) The term "living space" as used herein shall not include, garages, carports, patios, breezeways, storage rooms, porches or similar features. No basements shall be allowed.

**4.2.1.2 Minimum Garage Area Requirements:** Garages shall be fully enclosed, shall provide for a minimum of two (2) automobiles, and shall consist of a minimum of four hundred eighty (480) square feet.



**4.2.2**     Roofs. The roof of each dwelling shall be covered with at least 30-year composition shingles as more fully specified in design standards adopted by the ACC. All roofs shall have a minimum of 6" to 12" pitch.

**4.2.3**     Foundations. All foundations of each dwelling shall have a minimum elevation of eighteen inches (18") above the lowest level of the back of curb adjacent to the Building Lot.

**4.2.4**     Setbacks and Heights. No residential or other structure shall be placed nearer to the Building Lot lines or built higher than permitted by the Plat and/or the Declaration or by any applicable zoning restriction.

**4.2.5**     Accessory Structures. Detached garages and storage sheds, and patio covers shall be constructed of, and roofed with, the same materials and with similar colors and design, as the residential structure on the applicable Building Lot unless otherwise approved by the ACC.

**4.2.6**     Garages. All residential structures shall have an enclosed garage that holds no less than three (3) vehicles and shall be constructed of the same materials and with similar colors and design as the residential structure unless otherwise approved by the ACC. Garages shall not be used as living quarters. Garages are primarily for the parking of vehicles. In no case shall a garage be used for storage such that no room is left for the parking of vehicles.

**4.2.7**     Driveways. All Building Lots shall have a concrete driveway and a minimum of two (2) concrete car parking spaces within the boundaries of each Building Lot. No driveway or parking area shall be asphalt, dirt, rock, or gravel.

**4.2.8**     Mailboxes. All mailboxes shall be of consistent design, material and coloration and shall be located on or adjoining Building Lot lines at places designated by Grantor or the ACC. Grantor will initially provide all mailboxes and stands in the subdivision.

**4.2.9**     Fencing. No fence, hedge or boundary wall situated anywhere upon a Building Lot shall have a height greater than six (6) feet above the finished graded surface of the Building Lot or Common Area upon which such fence, hedge or boundary wall is situated. However, any fence constructed immediately adjacent to a swimming pool for the purpose of safety may be at a height required by applicable government agencies and/or homeowner liability insurer(s) if approved by Grantor. Any fence or boundary wall constructed on or near the lot line common to one or more Building Lots shall be constructed as a "good neighbor" fence, and the cost to construct such fence shall be paid for equally by the owners of the Building Lots separated by the fence. No fence shall be constructed so as to extend toward the front of the Building Lot past two (2) feet behind the front plane of the residential structure constructed thereon or closer than fifteen (15) feet to any side Building Lot line of a corner Building Lot adjacent to a dedicated street. Grantor may construct perimeter fencing around all or part of the exterior boundary of Pristine Meadows Subdivision (Pavilion). It shall be the responsibility of the Owner of any Building Lot with such perimeter fencing to maintain, repair and/or replace, as needed, that portion of the perimeter fence on that Owner's Building Lot. The maintenance, repair and/or replacement shall be performed so as to keep the perimeter fencing uniform, attractive, and harmonious. The ACC shall adopt design standards for all fences within Pristine Meadows Subdivision (Pavilion), including the location, type and size of each fence, and the material used therein, and the ACC shall have authority to regulate all such fencing.

**4.2.10**    Lighting. Any street lights installed by Grantor shall be maintained and operated by the Association as a Common Area expense until such time as the City of Star or other governmental agency assumes the maintenance and operation of such street lights. Maintenance and operation shall include all repairs and costs of power.

**4.3 Exterior Maintenance: Owner's Obligation.** No Improvement shall be permitted to fall into disrepair, and each Improvement shall at all times be kept in good condition and repair. In the event that any Owner shall permit any Improvement, including trees and landscaping, to fall into disrepair so as to create an unsightly, unsanitary, dangerous or unsafe condition, or a condition that damages property or facilities on or adjoining such Owner's Building Lot, the Association, upon thirty (30) days' prior written notice to the Owner of such Building Lot, shall have the right to correct such condition, and to enter upon such Owner's Building Lot for the purpose of doing so, and such Owner shall promptly reimburse the Association for the cost thereof. Such cost shall be a Limited Assessment and shall create a lien enforceable in the same manner as other Assessments as set forth herein. The Owner of the offending Building Lot shall be personally liable, and such Owner's Building Lot may be subject to a lien for all costs and expenses incurred by the Association in taking such corrective acts, plus all costs incurred in collecting the amounts due, if any. Each Owner shall pay all amounts due for such work within ten (10) days after receipt of written demand therefor.

**4.4 Landscaping.** Within sixty (60) days of occupancy of the residential structure, the Owner of the Building Lot shall landscape all of the Owner's Building Lot in compliance with the landscaping plan for the Pristine Meadows Subdivision (Pavilion). Without limiting the foregoing, such landscaping shall, at a minimum, include: (i) sod and automatic underground sprinklers throughout the Building Lot; (ii) at least two (2) trees having a diameter, when measured six (6) inches above the root ball, of two and one-half inches (2.5"); (iii) ten (10) five-gallon shrubs or plants; and (iv) fifteen (15) three-gallon shrubs or plants.

**4.5 Nuisances.** No rubbish or debris of any kind shall be placed or permitted to accumulate anywhere upon the Property, and no odor shall be permitted to arise from any portion of the Property so as to render the Property or any portion thereof unsanitary, unsightly, offensive or detrimental to the Property, its Owners or to its Occupants, or to any other property in the vicinity thereof. Owners shall not deposit any rubbish, debris, grass clippings, dirt or sod on any vacant Building Lot. No clothing or fabric shall be hung, dried or aired in such a way as to be visible to any other portion of the Property.

**4.6 Trade or Business.** Trade or business may be conducted in or from any Building Lot by an Owner or Occupant so long as: (a) the existence or operation of the business activity is not apparent or detectable by sight, sound or smell from the exterior of the dwelling on the Building Lot; (b) the business activity conforms to all zoning requirements; (c) no signs relating to said business activity are displayed where visible from any public or private road within Pristine Meadows Subdivision (Pavilion); (d) the business activity does not increase the liability or casualty insurance obligation or premium of the Association; and (e) the business activity does not constitute a nuisance or hazardous or offensive use, as may be determined in the sole discretion of the Board.

**4.7 No Hazardous Activities.** No activities shall be conducted on the Property, and no Improvements shall be constructed on the Property that are or might be unsafe or hazardous to any Person or property.

**4.8 No Mining or Drilling.** No portion of the Property shall be used for the purpose of blasting, mining, quarrying, drilling, boring or exploring for or removing water, oil, gas or other hydrocarbons, minerals, rocks, stones, sand, gravel or earth. This Section shall not prohibit exploratory drilling or coring which is necessary to construct Improvements including, without limitation, water facilities.

**4.9 Insurance Rates.** Nothing shall be done or kept on the Property and/or any Building Lot that will increase the rate of, or cancel any insurance on any other portion of the Property without the approval of the Owner(s) of such other portion, nor shall anything be done or kept on the Property and/or any Building Lot that would result in the cancellation of insurance on any portion of the Property owned and/or managed by the Association or which would be in violation of any law.

**4.10 Vehicles and Equipment.** No motor homes, motor coaches, campers, trailers, snowmobiles, boats, recreational vehicles, all-terrain vehicles, abandoned or inoperable vehicles (that is, any vehicle which has not been driven under its own propulsion for a period of three (3) days or longer), oversized vehicles (that is, vehicles which are too high or too wide to clear the entrance of an approved residential garage door opening), dilapidated or unrepaired and unsightly vehicles or similar equipment such as snow removal equipment, garden maintenance equipment and all other potentially unsightly equipment and machinery, shall be placed upon any portion of the Property including, without limitation, streets and driveways, unless the same are enclosed by a structure or a 6' fence concealing them from view in a manner approved by the Board or the ACC. The Board or its agent may remove any vehicles in violation of this section at any time after giving the Owner fifteen (15) days' written notice of the Board's intent to do so. For any such vehicles removed, the Owner shall reimburse the Board for the cost thereof. Such cost shall be a Limited Assessment and shall create a lien enforceable in the same manner as other Assessments as set forth herein.

**4.11 Animals/Pets.** No animals, birds, insects, pigeons, poultry or livestock shall be kept on the Property. This Section is not intended to prohibit the keeping of up to two (2) domesticated dogs, up to two (2) domesticated cats, and other typical household pets which do not unreasonably bother or constitute a nuisance to others. Without limiting the generality of the foregoing, consistent and/or chronic barking by dogs or similar sounds by other household pets shall be considered a nuisance. Each dog or other similar household pet in Pristine Meadows Subdivision (Pavilion) shall be kept on a leash, curbed, and otherwise controlled at all times when such animal is off the premises of its owner and are to be kept in compliance with all applicable state and local laws and ordinances. Such owner shall clean up any animal defecation immediately from any Common Area or public right-of-way. Failure to do so may result, at the ACC's discretion, with a Limited Assessment levied against such animal owner. The construction of dog runs or other pet enclosures shall be appropriately screened, maintained in a sanitary condition, placed a minimum of ten (10) feet from the side and/or rear Building Lot line, screened from view so as not to be visible from Common Area or an adjacent Building Lot, and shall not be placed in any front yard of a Building Lot.

**4.12 No Mobile Homes or Temporary Structures.** No house trailer, manufactured home, mobile home, tent (other than for short term recreational use), shack or other temporary building, improvement or structure shall be placed upon any portion of the Property, except temporarily as may be required by construction activity undertaken on the Property. Provided, however, that a mobile office may be placed upon a portion of the Property and/or Common Area by Grantor or Grantor's agents and/or employees for the purpose of construction, operation and/or marketing Pristine Meadows Subdivision (Pavilion) or other adjacent land until all such construction and/or marketing is complete.

**4.13 Drainage.** There shall be no interference with the established drainage pattern over any portion of the Property, unless an adequate alternative provision is made for proper drainage and is first approved in writing by the Board and the Ada County Highway District (ACHD). For the purposes hereof, "established" drainage is defined as the system of drainage, whether natural or otherwise, which exists at the time the overall grading of any portion of the Property is completed by Grantor, or that drainage which is shown on any plans approved by the Board, which may include drainage from a Common Area over a Building Lot in the Property. The Association shall maintain the Common Area utilized for drainage and the drainage and roadway swales pursuant to the Storm Drainage Swale Operation and Maintenance Manual for Pristine Meadows Subdivision attached hereto as **Exhibit B** and incorporated herein by reference. ACHD shall have the right to inspect the drainage swales and facilities and promptly perform any required maintenance. ACHD may assess the costs of any such required maintenance to all of the property within Pristine Meadows Subdivision, including through the use of liens and/or assessment of maintenance costs against the real property within the subdivision. Any proposed changes to the drainage plan or the documents and approvals associated therewith, require ACHD approval.

**4.14 Grading.** All Improvements must be placed on any Building Lot in accordance with the grading plan approved by the City of Star, federal guidelines, and guidelines of the Pristine

Meadows Subdivision (Pavilion) engineer. The Owner of any Building Lot within the Property in which grading or other work has been performed pursuant to a grading plan approved under applicable federal, state and/or local laws, ordinances and/or by the Grantor, as applicable, shall maintain and repair all graded surfaces and erosion prevention devices, retaining walls, drainage structures, means or devices which are not the responsibility of any public agency, and plantings and ground cover installed or completed thereon. Such requirements shall be subject to Limited Assessments provided for herein.

Each Owner shall grade and drain such Owner's individual Building Lot (and maintain that grading and drainage) to prevent the runoff or drainage of water onto any adjacent Building Lots. Each Owner shall also refrain from using excessive irrigation water that overflows onto adjacent property. (Excessive irrigation may also cause water to settle into crawl spaces and create numerous problems relating thereto.) Grantor shall have no duty to grade any property. All grading and elevations shall be done by each Owner. All Building Lots shall be graded by Owner at the time of building (and such grading shall be maintained thereafter) so that:

- A) the Building Lot will drain sufficiently away from any foundation with a proper slope to keep water out of the crawl space of the home;
- B) drainage will be directed to the side, rear and front yards and not to any adjacent property;
- C) grading and drainage shall comply with all applicable building code requirements; and
- D) the top of any foundation wall must be at least eighteen inches (18") above the lowest back of curb adjacent to the Building Lot.

It shall be the specific affirmative duty of each Owner to prevent any water on that Owner's Building Lot from draining onto any other Owner's Building Lot (and/or into any neighboring crawl spaces). In the event that an Owner does not adequately maintain the grade, drainage and slope of the Building Lot as provided herein, or uses excessive irrigation water, such that water flows off such Owner's Building Lot onto an adjacent property causing damage or injury, the offending Owner may be liable for any damages occurring as a result and may be liable for all of the costs of remedial actions to correct the problem should the offending Owner fail to correct the problem. Any damages and costs, together with interest at the rate which accrues on judgments and all costs of collection which may be paid or incurred, including reasonable attorneys' fees, may be assessed against such Building Lot and collected as a Limited Assessment.

**4.15 Water Supply Systems.** No separate or individual water supply system, regardless of the proposed use of the water to be delivered by such system, shall be permitted on any Building Lot unless such system is approved by all government authorities having jurisdiction, and designed, located, constructed and equipped in accordance with the requirements, standards and recommendations of the Idaho Department of Water Resources and Grantor, so long as Grantor is the Owner of Building Lots.

**4.16 Water Rights Appurtenant to Subdivision Lands.** Grantor owns certain water rights which are appurtenant to the Property and which may be utilized in connection with the Irrigation System, defined below, that will supply non-potable irrigation water to the Property, as provided further herein. Within one hundred twenty (120) days of the date of the recording of this Master Declaration, Grantor shall transfer from the Property subject to this Master Declaration, and within the boundaries of an irrigation entity, as defined in Section 31-3805, Idaho Code, all water rights and assessment obligations appurtenant to the Property to the Association. Each Owner, by accepting and recording a deed to a Building Lot or by occupying any Building Lot, acknowledges and agrees that: the Property is in the Middleton Mill and Flake Ditch Company Irrigation Districts (hereinafter "**District**"); each Owner of any Building Lot is subject to all assessments levied by District, or other water supplier and/or the

Association; each Building Lot Owner shall be responsible for any levies attributable to such Building Lot by the District, or other water supplier and/or the Association; and water assessments are a lien upon each Building Lot. Each Owner or Occupant of any Building Lot specifically releases and waives any and all claims of any kind against Grantor, Grantor's agents, employees, officers, members and directors relating to irrigation water, or the lack of it, or the quantity or quality of it, in Pristine Meadows Subdivision (Pavilion).

**4.17 Energy Devices: Outside.** No energy production devices, including, without limitation, generators of any kind and solar energy devices, shall be constructed or maintained on any portion of the Property without the written approval of the Board or the ACC except for heat pumps shown in the plans for a residential structure and as approved by the Board or the ACC. This Section shall not apply to passive solar energy systems incorporated into the approved design of a residential structure or any back-up devices necessary for utility pump stations.

**4.18 Signs.** No sign of any kind shall be displayed to the public view without the approval of the Architectural Committee, except: (1) such signs as may be used by Grantor in connection with the development of the Property and sale of Building Lots; (2) temporary signs naming the contractors, the architect, and the lending institution for a particular construction operation; (3) such signs identifying Pristine Meadows Subdivision (Pavilion), or informational signs, of customary and reasonable dimensions as prescribed by the Architectural Committee may be displayed on or from the Common Area; and (4) one (1) sign of customary and reasonable dimensions as prescribed by the Architectural Committee as may be displayed by an Owner other than Grantor on or from a Building Lot advertising the residence for sale or lease. Notwithstanding the foregoing, no sign that is internally illuminated or that has flashing lights or moving parts shall be allowed. A customary "for sale" or "for lease" sign not more than three (3) feet by two (2) feet shall not require Architectural Committee approval. Without limiting the foregoing, no sign shall be placed in the Common Area without the written approval of the applicable Architectural Committee.

**4.19 Antennae.** No exterior radio antenna, television antenna, satellite dish antenna or other antenna of any type shall be erected or maintained on the Property unless such is located to the rear of the residential structure and reasonably screened from view of other Owners.

**4.20 No Further Subdivision.** No Building Lot may be further subdivided unless expressly approved in writing by Grantor and consistent with all applicable state and local laws and ordinances.

**4.21 Leasing.** The Owner of a Building Lot shall have the right to lease such Building Lot and residential structure thereon, subject to the following conditions: (a) all leases shall be in writing; (b) such lease shall be specifically subject to the Project Documents, and any failure of a tenant to comply with the Project Documents shall be a default under the lease; and (c) the Owner shall be liable for any violation of the Project Documents committed by the tenant of such Owner, without prejudice to the Owner's right to collect any sums from such tenant paid by the Owner on behalf of the tenant.

**4.22 Grantor's Right of Development.** Nothing contained herein shall limit the right of Grantor, or Grantor's successors or assigns, to grant licenses, to reserve rights-of-ways and easements for utility companies, public agencies or others, or to complete excavation, grading and construction of Improvements to and on, under or about any portion of the Property owned by Grantor and/or the Association, or to alter the foregoing and Grantor's construction plans and designs, or to construct such additional Improvements as Grantor deems advisable in the course of development of the Property so long as any Building Lot in the Property remains unsold by Grantor. Grantor need not seek or obtain Association or Board or ACC approval of any improvement constructed or placed by Grantor on any portion of the Property.

Each Owner, by acceptance of a deed to any Building Lot, agrees that such Owner shall not object to or oppose any development of any portion of the Property, or other property owned or

purchased by Grantor and annexed to the Property and made subject to the Declaration as more fully provided in Article XVI below. Such agreement not to oppose development is a material consideration to the conveyance of any portion of the Property by Grantor to any and all Persons.

**4.23 Compliance with Laws.** Subject to the rights of reasonable contest, each Owner shall promptly comply with the provisions of all applicable laws, regulations, ordinances and other governmental or quasi-governmental regulations with respect to all or any portion of the Property.

## **ARTICLE V: ASSOCIATION**

**5.1 Organization of Association.** The Association shall be initially organized by Grantor as an Idaho nonprofit corporation under the provisions of the Idaho Code relating to nonprofit corporations and shall be charged with the duties and invested with the powers prescribed by law and set forth in the Articles and Bylaws of the Association and this Declaration. Neither the Articles nor the Bylaws of the Association shall be amended or otherwise changed or interpreted so as to be inconsistent with this Declaration. Grantor grants to the Association a revocable, non-exclusive license to use the name "**Pavilion**" and/or "**Pristine Meadows**" for the sole purpose of identifying the Association.

**5.2 Members of Association.** The Members shall be all Owners and no Owner, except Grantor, shall have more than one membership in the Association. Memberships in the Association shall be appurtenant to the Building Lot owned by such Owner. The memberships in the Association cannot be terminated and shall not be transferred, pledged, assigned or alienated in any way except upon the transfer of an Owner's title in and to such Owner's Building Lot and then only to the transferee of such title.

**5.3 Voting.** The Association will have two (2) classes of memberships.

**5.3.1 Class B Member.** Grantor shall be the Class B Member, and shall be entitled to five (5) votes for each Building Lot owned by Grantor in all Phases of Pristine Meadows Subdivision (Pavilion). The Class B Member shall cease to be a voting Member in the Association at the earlier of: (a) when Grantor has deeded the last Building Lot to an Owner other than Grantor in the final Phase of the Pristine Meadows Subdivision (Pavilion); or (b) December 31, 2024.

**5.3.2 Class A Members.** Class A Members shall be all Owners except for Grantor. Class A Members shall be entitled to one (1) vote per residential Building Lot.

**5.4 Board of Directors and Officers.** The affairs of the Association shall be conducted and managed by such officers as the Board may elect or appoint, in accordance with the Articles and Bylaws of the Association. The Board shall be comprised of Class A Members and Grantor so long as Grantor owns any Building Lot. For purposes of voting at Board meetings, each Member, including Grantor, when acting in their capacity as Board members, shall have the same number of votes as provided in Section 5.3 above. The Association may exercise any right or privilege given to the Association expressly by this Declaration and the Project Documents, or as reasonably implied from or reasonably necessary to effectuate any such right or privilege.

**5.5 Power and Duties of the Association.**

**5.5.1 Powers.** The Association shall have all the powers of a nonprofit corporation organized under the nonprofit corporation laws of the State of Idaho subject only to such limitations upon the exercise of such powers as are expressly set forth in the Project Documents, and to do and perform any and all acts which may be necessary, proper, and/or incidental to the proper management and operation of the Association's business and the Common Area, and the performance of the other responsibilities herein enumerated, including, without limitation:

**5.5.1.1 Assessments.** The power to levy Assessments and to enforce payment of such Assessments, all in accordance with the provisions of this Declaration. This power shall include the right of the Association to levy Assessments on any Owner or any portion of the Property to cover the operation and maintenance costs of Common Area.

**5.5.1.2 Right of Enforcement.** The Association shall be the primary entity responsible for enforcement of this Declaration. The power and authority from time to time in its own name, on its own behalf, or on behalf of any Owner or Owners who consent thereto, to commence and maintain actions and suits to restrain and enjoin any breach or threatened breach of the Project Documents, and to enforce by injunction or otherwise, all provisions hereof. The Association, after reasonable notice to the offender and/or to the Owner, may remove any Improvement constructed, reconstructed, refinished, removed, added, altered or maintained in violation of this Declaration, and the Owner of the Improvements shall immediately reimburse the Association for all expenses incurred with such removal.

**5.5.1.3 Delegation of Powers.** The authority to delegate its power and duties to committees, officers, employees, or to any Person to act as manager for the maintenance, repair, replacement and operation of any Common Area. The Association and the members of the Association shall not be liable for any omission or improper exercise by the manager of any such duty or power so delegated.

**5.5.1.4 Association Rules.** Association shall have the power to adopt, amend and repeal such Association Rules and regulations as the Association deems reasonable. The Association shall be the primary entity responsible for enforcement of the Association Rules, if any. The Association may govern the use of Common Area by Owners, their families, invitees, licensees, tenants or contract purchasers, including, without limitation, the use of Common Area for organized recreational activities; provided, however, that the Association Rules shall apply equally to all Owners and shall not be inconsistent with this Declaration. A copy of the Association Rules as they may from time to time be adopted, amended or repealed shall be mailed or otherwise delivered to each Owner. Upon such mailing or delivery, the Association Rules shall have the same force and effect as if they were set forth in and were a part of this Declaration.

**5.5.1.5 Emergency Powers.** The power, exercised by the Association or by any Person authorized by the Association, to enter upon any portion of the Property (but not inside any building constructed thereon) in the event of any emergency involving potential danger to life or property or when necessary in connection with any maintenance or construction for which the Association is responsible. Such entry shall be made with as little inconvenience to the Owner of such portion of the Property as practicable, and any damage caused thereby shall be repaired by the Association.

**5.5.1.6 Licenses, Easements and Rights-of-Way.** The power to grant and convey to any third party such licenses, easements and rights-of-way in, on, under and about Common Area as may be necessary or appropriate for the orderly construction of Improvements, maintenance, preservation and enjoyment of the same.

**5.5.2 Duties.** In addition to duties necessary and proper to carry out the power delegated to the Association by the Project Documents, the Association or its agents, if any, shall have the authority and the obligation to conduct all business affairs of the Association and to perform, without limitation, each of the following duties:

**5.5.2.1 Operation and Maintenance of Common Area.** Operate, maintain, and otherwise manage or provide for the operation, maintenance and management of Common Area.

**5.5.2.2 Reserve Account.** Establish and fund a reserve account with a reputable banking institution or title insurance company authorized to do business in the State of Idaho, which reserve account shall be dedicated to the costs of repair, replacement, maintenance and improvement of Common Area.

**5.5.2.3 Taxes and Assessments.** Pay all real and personal property taxes and Assessments separately levied against Common Area. Such taxes and Assessments may be contested by the Association; provided, however, that such taxes and Assessments are paid or a bond insuring payment is posted prior to the sale or disposition of any property to satisfy the payment of such taxes and Assessments.

**5.5.2.4 Tax Returns.** Timely file any and all tax return(s) with the appropriate governmental entity.

**5.5.2.5 Utilities.** Acquire, provide and/or pay for water, sewer, garbage disposal, refuse and rubbish collection and other necessary services for Common Area, and to own and/or manage for the benefit of Pristine Meadows Subdivision (Pavilion) all water and water rights, ditch and ditch rights, and storage and storage rights, if any, and rights to receive water held by the Association, if any, whether such rights are evidenced by license, permit, claim, decree, stock ownership or otherwise.

**5.5.2.6 Insurance.** Obtain insurance from any reputable insurance company authorized to do business in the State of Idaho, and maintain in effect any insurance policy the Board deems necessary or advisable, and to the extent possible to obtain, including, without limitation the following policies of insurance:

A. Fire insurance including those risks embraced by coverage of the type known as the broad form "All Risk" or special extended coverage endorsement on a blanket agreed amount basis for the full insurable replacement value of all Improvements, equipment and fixtures located within Common Area.

B. Comprehensive general liability insurance insuring the Board, the Association, Grantor, and their agents and employees, invitees and guests of each against any liability incident to the ownership and/or use of Common Area. Limits on liability of such coverage shall be as follows: not less than Three Million Dollars (\$3,000,000) combined single limit for bodily injury and property damage per occurrence.

C. Such other insurance, to the extent necessary to comply with all applicable laws, and indemnity, faithful performance, and fidelity and/or other bonds as the Board shall deem necessary or required to carry out the Association functions or to insure the Association against loss from malfeasance or dishonesty of any employee or other Person charged with the management or possession of the Association funds or other property.

D. The Association shall be deemed trustee of the interests of all Owners in connection with any insurance proceeds paid to the Association under such policies, and shall have full power to receive such Owner's interests in such proceeds and to deal therewith.

Insurance premiums for the above insurance coverage shall be deemed a common expense to be included in the Regular Assessments levied by the Association.

**5.5.2.7 Newsletter; Community-wide Activities.** If the Association so elects, prepare and distribute a newsletter on matters of general interest to Association Members and/or



organize Pristine Meadows Subdivision (Pavilion)'s community-wide activities, the cost of which shall be included in Regular Assessments.

**5.5.2.8 Rule Making.** Make, establish, promulgate, amend and repeal such Association Rules as the Association shall deem advisable.

**5.5.2.9 Board.** Appoint and remove members of the Board following Grantor's relinquishment of right to appoint members of the Board, subject to the provisions of this Declaration.

**5.5.2.10 Enforcement of Restrictions and Rules.** Perform such other acts, whether or not expressly authorized by this Declaration, as may be reasonably advised or necessary to enforce any of the provisions of the Project Documents and any and all state or local laws, ordinances, rules and regulations. Also including, without limitation, the recordation of any claim of lien with the Ada County Recorder's Office, as more fully provided herein.

**5.6 Annual Meeting.** The Association shall hold an annual meeting each year and the first annual meeting shall be held during the month of May of the first calendar year following the first sale of the first Building Lot in the Property. Subsequent regular annual meetings and special meetings of the Association shall be held as provided in the Bylaws. Notice of annual or special meetings of the Association shall be delivered to all Members of the Association as provided in the Bylaws. All meetings shall be held within the Property or as close thereto as practicable at a reasonable place selected by the Board. All Members of the Association are encouraged to attend all annual and special meetings of the Association.

**5.7 Budgets and Financial Statements.** Financial statements for the Association shall be prepared regularly and, upon request, copies shall be distributed to each Member of the Association as follows:

**5.7.1** A pro forma operating statement or budget for each fiscal year shall be available for distribution not less than sixty (60) days before the beginning of each fiscal year. The operating statement shall include a schedule of Assessments received and receivable.

**5.7.2** Within ninety (90) days after the close of each fiscal year, the Association shall cause to be prepared and available to each Owner, a balance sheet as of the last day of the Association's fiscal year for the Association and annual operating statements reflecting the income and expenditures of the Association for the fiscal last year.

**5.8 Manager.** The Association may employ or contract for the services of a professional manager or management company. The professional manager so employed or contracted with shall not have the authority to make expenditures chargeable against the Association except upon specific prior written approval and direction by the Board. The Board shall not be liable for any omission or improper exercise by such a professional manager of any such duty, power or function so delegated by or on behalf of the Board.

**5.9 Personal Liability.** No Member of the Board, or member of any committee of the Association, or any officer of the Association, or Grantor, or the manager, if any, shall be personally liable to any Owner, or to any other party including, without limitation, the Association, for any damage, loss or prejudice suffered or claimed on the account of any act, omission, error or negligence of the Association, the Board, the manager, if any, or any officer, committee, or other representative or employee of the Association, Grantor, or the Board, provided that such Person, upon the basis of such information as may be possessed by such Person, has acted in good faith without willful or intentional negligence and/or misconduct.

## ARTICLE VI: RIGHTS TO COMMON AREAS

**6.1** **Use of Common Area.** Every Owner, shall have a right to use each parcel of Common Area, which right shall be appurtenant to and shall pass with the title to every Building Lot subject to the following provisions:

**6.1.1** The right of the Association holding or controlling such Common Area to levy and increase Assessments for the construction, maintenance, repair, management and operation of Improvements on Common Area, including the right to Special Assessments.

**6.1.2** The right of the Association to suspend the voting rights and rights of use, or interest in, Common Area by an Owner for any period during which any Assessment or charge against such Owner's Building Lot remains unpaid, and for a period not to exceed sixty (60) days for any infraction of the Association Rules.

**6.1.3** The right of the Association to dedicate or transfer all or any part of Common Area to any public agency, authority or utility or other Person as provided further herein.

**6.1.4** The right of such Association to prohibit the construction of Improvements on all Common Areas.

**6.1.5** The right of the Association to adopt rules regulating the use and enjoyment of the Common Area, including rules restricting use of the Common Area to occupants of Building Lots and their guests and rules limiting the number of guests who may use the Common Area.

**6.1.6** The right of the Association to permit use of the Common Area by persons other than Owners, their families, tenants and guests upon payment of use fees established by the Board. There is hereby reserved to all authorized users of the Common Area an easement over the remaining Common Area for direct ingress and egress to and from such Common Area being leased.

**6.1.7** The Common Area may not be mortgaged or conveyed without the approval of Owners, excluding Grantor, of at least two-thirds (2/3) of the total voting power in the Association. If ingress or egress to any Building Lot is through Common Area, any conveyance or encumbrance of Common Area shall be subject to an easement in favor of the Owners of such Building Lots for the purpose of ingress and egress.

**6.1.8** Any Owner may delegate, in accordance with the Project Documents, such Owner's right of enjoyment to Common Area to the members of such Owner's family in residence, and such Owner's tenants or contract purchasers who reside on such Owner's Building Lot.

**6.1.9** Common Area may or may not be utilized for drainage purposes. During periods of storms, rainfall or drainage events, some Common Area may not be accessible.

**6.2** **Damages.** Each Owner shall be fully liable for any damage to any Common Area which may be sustained by reason of the negligence or willful misconduct of the Owner, such Owner's resident tenant or contract purchaser, or such Owner's family or guests, both minor and adult. The cost of correcting such damage shall be Limited Assessment against such Owner(s) Building Lot(s) and may be collected as provided herein for the collection of other Assessments.

## ARTICLE VII: ASSESSMENTS

**7.1 Covenant to Pay Assessments.** By acceptance of a deed to any Building Lot, each Owner thereby covenants and agrees to pay when due all Assessments or charges made by the Association, including all Regular, Special and Limited Assessments and charges made against such Owner pursuant to the provision of this Declaration, any Supplemental Declaration or other applicable Project Document.

**7.1.1 Assessment Constitutes Lien.** Such Assessments and charges together with late charge(s), interest, costs and reasonable attorneys' fees which may be incurred in collecting the same, shall be a continuing lien upon the property against which each such Assessment or charge is made.

**7.1.2 Assessment Is Personal Obligation.** Each such Assessment, together with late charge(s), interest, costs and reasonable attorneys' fees, shall also be the personal obligation of the Owner beginning at the time the Assessment becomes due. No Owner shall be exempt from such obligation by a waiver of the use and enjoyment of Common Area or by lease or abandonment of such Owner's Building Lot.

**7.2 Uniform Rate of Assessment.** All Assessments must be fixed at a uniform rate for each Building Lot.

**7.3 Date of Commencement of Assessments.** The obligation to pay Assessments shall commence as to each Building Lot, except Building Lots owned by Grantor, on the first day of the month following: (a) the month in which the Building Lot is made subject to this Declaration; or (b) the month in which the Board first determines a budget and levies Assessments pursuant to this Article, whichever is later. The first annual Regular Assessment levied on each Building Lot shall be adjusted according to the number of months remaining in the fiscal year at the time Assessments commence on the Building Lot.

**7.4 Exempt Property.** The following property shall be exempt from payment of Regular Assessments and Special Assessments: (a) all Common Area; (b) any property dedicated to and accepted by any governmental authority or public utility; and (c) all Building Lots owned by the Grantor (collectively, the "**Exempt Property**").

**7.5 Capitalization of Association and Other Fees.** Upon acquisition of record title to a Building Lot by the first Owner thereof other than Grantor, a contribution shall be made by or on behalf of the Owner to the working capital of the Association in an amount equal to Two Hundred Fifty and No/100 Dollars (\$250.00). Upon any subsequent transfer of the record title to a Building Lot, a contribution shall be made by or on behalf of the Owner to the working capital of the Association in an amount equal to One Hundred and No/100 Dollars (\$100.00). These amounts shall be in addition to, not in lieu of, the annual Regular Assessment and shall not be considered an advance payment of such Assessment. These amounts shall be deposited into the purchase and sales escrow and disbursed therefrom to the Association for use in covering operating expenses and other expenses incurred by the Association pursuant to the terms of this Declaration and the Project Documents.

**7.6 Regular Assessments.** All Owners are obligated to pay Regular Assessments to the Association on a schedule of payments established by the Board.

**7.6.1 Purpose.** The proceeds from Regular Assessments are to be used for all costs and expenses incurred by the Association, including attorneys' fees and other professional fees, for the conduct of such Association affairs, including without limitation the costs and expenses of

construction, improvement, maintenance, repair, management and operation of Common Area, including all Improvements located on such areas owned and/or managed and maintained by the Association (the "**Operating Expenses**"), and an amount allocated to an adequate reserve fund to be used for repair, replacement, maintenance and improvement to those elements of Common Area, or other property of the Association that must be replaced and maintained on a regular basis (the "**Repair Expenses**"). The Operating Expenses and the Repair Expenses are collectively referred to herein as the "**Expenses**."

**7.6.2 Computation of Regular Assessments.** The Association shall compute the amount of Expenses on an annual basis. The Board shall compute and levy the amount of Regular Assessments for the first fiscal year within six (6) months following the month in which the closing of the first sale of a Building Lot occurs for the purposes of the Association's Regular Assessment ("**Initiation Date**"). Thereafter, the computation of Regular Assessments by the Association shall take place not less than thirty (30) nor more than sixty (60) days before the beginning of each fiscal year of the Association. The computation of the Regular Assessment for the period from the Initiation Date until the beginning of the next fiscal year shall be reduced by an amount which fairly reflects the fact that such period was less than one (1) year.

If the proposed budget is disapproved or the Board fails for any reason to determine the budget for any year, then until such time as a budget is determined, the budget in effect for the immediately preceding year shall continue for the current year. The Regular Assessment shall be set at a level which is reasonably expected to produce total income for the Association equal to the total budgeted Expenses, including reserves. In determining the level of Assessments, the Board, in its discretion, may consider other sources of funds available to the Association. In addition, the Board shall take into account the number of Building Lots subject to Assessment on the first day of the fiscal year for which the budget is prepared and the number of Building Lots reasonably anticipated to become subject to Assessment during the fiscal year.

**7.6.3 Amounts Paid by Owners.** The Board can require, in its discretion, payment of Regular Assessments in monthly, quarterly, semi-annual or annual installments. The Regular Assessments to be paid by any particular Owner for any given fiscal year shall be computed by dividing the Association's total advance estimate of Expenses by the number of Building Lots (excluding the Exempt Property).

## **7.7 Special Assessments.**

**7.7.1 Purpose.** In the event that the Board shall reasonably determine that the Regular Assessment for a given calendar year is or will be inadequate to meet the Expenses for any reason, including, without limitation, costs of construction, improvement, maintenance, repair, management and operation of Improvements upon Common Area, attorneys' fees and/or litigation costs, other professional fees, or for any other reason, the Board shall determine the approximate amount necessary to defray such Expenses and levy a Special Assessment against the residential Building Lots which shall be computed in the same manner as Regular Assessments. The Board shall, in its discretion, determine the schedule under which such Special Assessment will be paid. No Special Assessment shall be levied which exceeds twenty percent (20%) of the budgeted gross Expenses of the Association for that fiscal year, without the vote or written assent of the Owners representing a majority of the votes of the Members of the Association.

**7.7.2 Consistent Basis of Assessment.** Every Special Assessment shall be levied and paid upon the same basis as Regular Assessments.

## **7.8 Limited Assessments.**

**7.8.1 Purpose.** Notwithstanding the above provisions with respect to Regular and Special Assessments, the Board may levy a Limited Assessment against an Owner or the Owner's Building Lot as a remedy to reimburse the Association for costs incurred in bringing the Owner and/or such Owner's Building Lot into compliance with the provisions of the Project Documents, or as a fine or penalty for an Owner's failure to comply with this Declaration, or for damage caused by the Owner, or any of such Owner's family, representatives or invitees, to any Common Area.

**7.8.2 Fine for Violation.** The Board shall be entitled to impose a fine of \$10.00 per day or a maximum of \$900.00 total, as a Limited Assessment, against an Owner who has caused or permitted a violation of any of the restrictions, conditions or covenants contained in this Declaration, provided that the Owner is given at least fifteen (15) days advance written notice of the proposed monetary penalty and a timely opportunity to be heard on the matter. The opportunity to be heard may, at the election of such Owner, be oral or in writing. The notice shall be given either personally to such Owner, or sent by first class or certified mail to the last known address of such Owner as shown in the records of the Association and shall state the place, date and time of the hearing. The hearing shall be conducted by the Board or by a committee composed of not less than three (3) persons appointed by the Board. Such hearing shall be conducted in good faith and in a fair and reasonable manner. Any subsequent violation of the same nature by the same Owner within one (1) year from the last violation will not require additional notification by the Association for the fine to be levied. At the Board's sole discretion, any such fine once levied may by subsequently removed on a case-by-case basis.

Any monetary penalty imposed as provided herein shall be a Limited Assessment to which such Owner's Building Lot is subject, shall be in addition to any other Assessments levied by the Association pursuant to the provisions of this Declaration, and shall not be subject to any of the requirements, limitations or restrictions on the amount or uniformity of Assessments contained herein. Failure by the Association to enforce any covenant or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter.

**7.9 Assessment Period.** Unless otherwise provided in the Project Documents, the Regular Assessment period for the Association shall be quarterly or as otherwise determined by the Board. The first Assessment shall be pro-rated according to the number of months remaining in the current quarter and shall be payable in equal installments. The Regular Assessments to be paid by any particular Owner for any given quarter shall be computed by dividing the Association's total advance estimate of Expenses by the number of Building Lots (excluding the Exempt Property).

**7.10 Notice and Assessment Due Date.** Thirty (30) days' prior written notice of Regular and Special Assessments shall be sent by the Association to the Owner of every Building Lot, and to any Person in possession of such Building Lot. The due dates for installment payments of Regular Assessments and Special Assessments shall be the first day of each month unless some other due date is established by the Board. Each installment of the Regular Assessment or Special Assessment shall become delinquent if not paid within fifteen (15) days after due. There may accrue, solely at the Board's discretion, on each delinquent installment payment a late charge equal to Twenty-five and No/100 Dollars (\$25.00). The Association may bring an action against the delinquent Owner and may foreclose the lien against such Owner's Building Lot as more fully provided herein.

**7.11 Reserve Budget and Capital Contribution.** The Board shall annually prepare reserve budgets for both general purposes which take into account the number and nature of replaceable assets, the expected life of each asset, and the expected repair or replacement cost. The Board shall set the required capital contribution in an amount sufficient to permit meeting the projected needs of the Association, as shown on the budget, with respect both to amount and timing by annual Regular Assessments over the budget period.

**7.12 Estoppel Certificate.** The Association, upon at least twenty (20) days' prior written request, shall execute, acknowledge and deliver to the party making such request, a statement in writing stating whether, to the knowledge of the Association, a particular Owner is in default under the provisions of this Declaration, and further stating the dates through which any Assessments have been paid by such Owner. Any such statement delivered pursuant to this Section 7.12 may be relied upon by any prospective purchaser or mortgagee of Owner's Building Lot. Reliance on such statement may not extend to any default of such Owner of which the signor of such statement shall have had no actual knowledge.

## **ARTICLE VIII: ENFORCEMENT OF ASSESSMENTS; LIENS**

**8.1 Right to Enforce.** The Association has the right to collect and enforce Assessments pursuant to the provisions hereof. Each Owner of a Building Lot shall be deemed to covenant and agree to pay each and every Assessment provided for in this Declaration and agrees to the enforcement of all Assessments in the manner herein specified. In the event an attorney or attorneys are employed for the collection of any Assessment, whether by suit or otherwise, or to enforce compliance with or specific performance of the terms, and conditions of this Declaration, each Owner agrees to pay reasonable attorneys' fees in addition to any other relief or remedy obtained against such Owner. The Board or its authorized representative(s) may enforce the obligations of Owners to pay such Assessments by commencement and maintenance of a suit at law or in equity to enforce the liens created hereby. A suit to recover a money judgment for an unpaid Assessment shall be maintainable without foreclosing or waiving the lien hereinafter provided.

### **8.2 Assessment Liens.**

**8.2.1 Creation.** There is hereby created a claim of lien on each and every Building Lot to secure payment of any and all Assessments levied against such Building Lot pursuant to this Declaration together with interest at the rate which accrues on judgments and all costs of collection which may be paid or incurred by the Association, including reasonable attorneys' fees. All sums assessed in accordance with the provisions of this Declaration shall constitute a lien on such respective Building Lots upon recordation of a claim of lien with the Ada County Recorder's Office. Such lien shall be prior and superior to all other liens or claims created subsequent to the recordation of the notice of delinquency and claim of lien except for tax liens for real property taxes on any Building Lot and assessments on any Building Lot in favor of any municipal or other governmental assessing body which, by law, would be superior thereto.

**8.2.2 Claim of Lien.** Upon default of any Owner in the payment of any Regular, Special or Limited Assessment, the Association may cause to be recorded in the Ada County Recorder's Office a claim of lien. The claim of lien shall state the amount of such delinquent sums and other authorized charges (including the cost of recording such notice), a sufficient description of the Building Lot(s) against which the same have been assessed, and the name of the record Owner thereof. Each delinquency shall constitute a separate basis for a notice and claim of lien, but any number of defaults may be included within a single notice and claim of lien. Upon payment to the Association of such delinquent sums and charges in connection therewith or other satisfaction thereof, the Association shall cause to be recorded a further notice stating the satisfaction of relief of such delinquent sums and charges. The Association may demand and receive the cost of preparing and recording such release before recording the same.

**8.3 Method of Foreclosure.** Such lien may be foreclosed pursuant to any applicable Idaho law and/or proceeding. The Board is authorized to appoint an attorney, any officer or director of the Association, or any title company authorized to do business in Idaho as trustee for the purpose of conducting foreclosure to the extent allowed by applicable law.

**8.4 Subordination to Certain Mortgages.** The lien for the Assessments provided for herein in connection with a given Building Lot shall not be subordinate to the lien of any Mortgage

except the lien of a First Mortgage given and made in good faith and for value that is of record as an encumbrance against such Building Lot prior to the recordation of a claim of lien for the Assessments. Except as expressly provided in this Article, with respect to a mortgagee of the First Mortgage who acquires title to a Building Lot, the sale or transfer of any Building Lot shall not affect the Assessment lien provided for herein, nor the creation thereof by the recordation of a claim lien, on account of the Assessments becoming due whether before, on, or after the date of such sale or transfer, nor shall such sale or transfer diminish or defeat the personal obligation of any Owner for delinquent Assessments as provided for in this Declaration.

## **ARTICLE IX: INSPECTION OF THE ASSOCIATION'S BOOKS AND RECORDS**

The membership register, books of account and minutes of meetings of the Board shall be made available for inspection and copying by any Member or by such Member's duly appointed representatives, at any reasonable time and for a purpose reasonably related to such Member's interest as a Member at the office of the Association or at such other place as the Board shall prescribe.

## **ARTICLE X: ARCHITECTURAL CONTROL COMMITTEE**

**10.1 ACC Creation; Right of Appointment.** Before or within thirty (30) days after the date on which Grantor first conveys a Building Lot to an Owner, Grantor shall appoint three (3) individuals to serve on the ACC. The ACC shall have exclusive jurisdiction over all original construction on any portion of the Property or any other real property annexed as provided further in Article XVI. Until one hundred percent (100%) of the Property has been developed and conveyed to Owners other than builders, Grantor retains the right to appoint all members of the ACC who shall serve at Grantor's discretion. There shall be no surrender of this right prior to that time except in a written instrument in recordable form executed by Grantor. Initially the Grantor and ultimately the ACC shall have the power to promulgate ACC Design Standards relating to the planning, construction, alteration, modification, removal or destruction of Improvements within the Property deemed necessary or desirable by the Grantor or the ACC, as the case may be, to carry out the purposes of this Declaration. The ACC Design Standards shall be consistent with the provisions of this Declaration. The ACC Design Standards may contain provisions not limited to design standards, exterior finishes and colors, roofing materials, fences, landscaping, exterior lighting, mailboxes and the like. They may also include policies, procedures and rules, which in the discretion of the ACC are reasonable to maintain a quality subdivision and to protect property values. The Building Lot owner shall review and be familiar with the current ACC Design Standards, copies of which are available from the Grantor or the Grantor's marketing representative.

**10.2 Improvements Generally.** No Improvements on any portion of the Property shall be constructed, reconstructed, placed or removed from the Property, except those placed or removed by Grantor, without prior written consent of the ACC. In the event the ACC fails to approve or disapprove such request within thirty (30) days after such request has been submitted in writing, approval shall not be required and such request shall be deemed to be in compliance with this Section 10.2. Nothing contained in this Section 10.2 limits any Owner's obligation and duty to ensure that such Owner's Building Lot Improvements are in compliance with this Declaration, any Supplemental Declaration, any other Project Documents and applicable state or local laws.

**10.3 Expenses.** The ACC shall have the right to charge a reasonable fee for each application submitted to the ACC for review of any request for Improvements made to Building Lots in an amount which may be established by the ACC from time to time and such fees shall be collected by the ACC and remitted to the Association to help defray the expenses of the ACC's operation, including reasonable payment to each member of the ACC for their services as provided herein.

**10.4 Non-Liability of ACC.** Approval by the ACC shall not imply that Improvements meet any applicable federal, state and/or local laws and ordinances, and does not assure approval of the Improvements by any appropriate governmental or quasi-governmental agency, board or commission. Applicant and/or Owner shall ensure that such Improvements meet any and all applicable federal, state

and/or local laws and ordinances. Notwithstanding that the ACC has approved Improvements, plans and specifications, neither the ACC nor any of their members shall be responsible or liable to the Association or to any Person, Owner, or Grantor with respect to any loss, liability, claim or expense which may arise by reason of such approval of the Improvements, unless due to the willful misconduct or bad faith of the ACC.

**10.5 Enforcement.** Any Improvement placed or made in violation of this Article shall be deemed to be nonconforming. Upon written request from the ACC or Grantor, such offending Owner shall, at its own cost and expense, remove such Improvement and restore the land to substantially the same condition as existed prior to the nonconforming work. Should an Owner fail to remove and restore as required, the ACC or its designees shall have the right to enter the Building Lot, remove the violation, and restore the Building Lot to substantially the same condition as previously existed. All costs, together with the interest at the rate which accrues on judgments and all costs of collection which may be paid or incurred by the ACC, including reasonable attorneys' fees, may be assessed against the Building Lot and collected as a Limited Assessment.

**10.6 Grantor's Exemption.** Any and all Improvements constructed by Grantor on or to the Property are not subject to review and approval by the ACC.

#### **ARTICLE XI: EASEMENTS**

**11.1 Owners: Easements of Enjoyment.** Every Owner shall have a nonexclusive easement for the use and enjoyment of Common Area which shall be appurtenant to and shall pass with the title to every Building Lot.

**11.2 Delegation of Use.** Any Owner may delegate, in accordance with the Project Documents, such Owner's right of enjoyment in Common Area to such Owner's tenants, employees, family, guests or invitees.

**11.3 Recorded Easements.** The Property shall be subject to all easements shown on any recorded Plat affecting the Property, or any portion thereof, and to any other easements of record or of use as of the date of recordation of this Declaration.

**11.4 Easements of Encroachment.** There shall be reciprocal appurtenant easements of encroachment as between each Building Lot and such portion or portions of Common Area adjacent thereto, or as between adjacent Building Lots, due to the inadvertent placement or settling or shifting of Improvements constructed, reconstructed or altered thereon in accordance with the terms of this Declaration. Easements of encroachment shall be valid only so long as they exist, and the rights and obligations of Owners shall not be altered in any way because of encroachments, settling or shifting of the Improvements; provided, however, that in no event shall a valid easement for encroachment occur due to the willful or bad faith act(s) of an Owner.

**11.5 Easements of Access.** Grantor expressly reserves for the benefit of all the Property reciprocal easements of ingress and egress for all Owners to, from over and across their respective Building Lots for installation and repair of utility services, for drainage of water over, across and upon adjacent Building Lots and Common Areas resulting from the normal use of adjoining Building Lots and Common Areas, and for necessary construction, maintenance and repair of any Improvement. Such easements may be used by Grantor, and by all Owners, their guests, tenants and invitees, residing on or temporarily visiting the Property, for such purposes reasonably necessary for the use and enjoyment of a Building Lot or Common Area.

**11.6 Drainage and Utility Easements.** Notwithstanding anything expressly or impliedly contained to the contrary, the Property shall be subject to all easements heretofore or hereafter granted by Grantor for the installation and maintenance of utilities and/or drainage facilities that are required for the development of the Property. In addition, Grantor hereby reserves for the benefit of the



Association the right to grant additional easements and rights-of-way over the Property, as appropriate, to utility companies and/or public agencies as necessary or expedient for the proper development of the Property until close of escrow for the sale of the last Building Lot in the Property.

**11.7 Improvement of Drainage and Utility Easement Areas.** The Owners of Building Lots are hereby restricted and enjoined from constructing or altering any Improvements upon any drainage and/or utility easement areas as shown on the Plat(s) or otherwise designated in any recorded document which would interfere with or prevent the easement from being used for its intended purpose.

**11.8 Rights and Duties Concerning Utility Easements.** The rights and duties of Owners of the Building Lots within the Property with respect to utilities shall be governed by the following:

**11.8.1** Wherever utility house connections are installed within the Property, which connections or any portions thereof lie in or upon Building Lots owned by an Owner other than the Owner of the Building Lot served by the connections, the Owner of the Building Lot served by the connections shall have the right, and is hereby granted an easement to the full extent necessary therefor, to enter upon any Building Lot or to have their agent enter upon any Building Lot within the Property in or upon which such connections or any portion thereof lie, to repair, replace and generally maintain the connections as and when it may be necessary.

**11.8.2** Whenever utility house connections are installed within the Property, which connections serve more than one Building Lot, the Owner of each Building Lot served by the connections shall be entitled to full use and enjoyment of such portions of such connections as service such Owner's Building Lot.

**11.9 Grantor's Rights Incident to Construction.** Grantor hereby retains a right and easement of ingress and egress over, in, upon, under, and across the Property and the right to store materials thereon and to make such other use thereof as may be reasonably necessary or incident to the construction of the Improvements on the Property owned by Grantor; provided, however, that no such rights shall be exercised by Grantor in such a way so as to unreasonably interfere with the occupancy, use, enjoyment, or access to an Owner's Building Lot by that Owner or such Owner's family, tenants, guests, or invitees.

**11.10 Easements Deemed Created.** All conveyances of Building Lots made after the date of the recording of the Declaration, as the same may be amended and supplemented from time to time, whether by Grantor or otherwise, shall be construed to grant and reserve the easements contained in this Article, even though no specific reference to such easement or to this Article appears in the instrument for such conveyance.

**11.11 Reservation for Expansion.** Grantor hereby reserves to itself and for Owners of Building Lots a perpetual easement and right-of-way for access over, upon, across and through the Property for construction, utilities, drainage, ingress and egress, and for use of Common Area. The location of these easements and rights-of-way must be approved by the ACC and may be documented by Grantor by recorded instruments.

**11.12 Emergency Easement.** A general easement is hereby granted to all police, sheriff, fire protection, ambulance, and all other similar emergency agencies or Persons to enter the Property in the proper performances of their duties.

**11.13 Association's Responsibility.** The Association shall maintain and keep Common Area in good repair, such maintenance to be funded as provided herein. This maintenance shall include, without limitation, maintenance, repair and replacement, subject to any insurance then in effect, of all landscaping, structures and Improvements situated within Common Area.

## ARTICLE XII: IRRIGATION WATER

**12.1 Irrigation System.** Each Building Lot shall have access to a pressured urban irrigation water system ("**Irrigation System**") and irrigation water, when seasonally available, will be supplied through the Irrigation System. It is contemplated that the Irrigation System shall be constructed by Grantor, for use by the Owners of Pristine Meadows Subdivision (Pavilion), as may be determined by the governing documents of such subdivision. Following the initial construction of the Pristine Meadows Subdivision (Pavilion) by Grantor the Irrigation System shall be owned, maintained and operated by the Association with all operation and maintenance costs billed proportionately to each Building Lot Owner. Use of and Assessments in connection with the Irrigation System shall be subject to such rules and regulations of the Association governing use of the Irrigation System.

**12.2 Irrigation Committee, Creation; Right of Appointment.** Before or within thirty (30) days after the date on which Grantor first conveys a Building Lot to an Owner, Grantor shall appoint two (2) individuals to serve on the Pristine Meadows Subdivision (Pavilion) Irrigation Committee (the "**Irrigation Committee**"), which Irrigation Committee shall have exclusive jurisdiction over all matters relating to the Irrigation System. Until one hundred percent (100%) of the Property has been developed and conveyed to Owners other than builders, Grantor retains the right to appoint all members of the Irrigation Committee who shall serve at the Grantor's discretion. There shall be no surrender of this right prior to that time except by written instrument in recordable form executed by Grantor. Upon the expiration of such right, the Board shall appoint two (2) individuals to serve on the Irrigation Committee, who shall serve and may be removed at the Board's discretion.

**12.3 Non-Potable Water.** The non-potable Irrigation System contains inherent dangers. Use of the Irrigation System shall be subject to such rules, regulations, laws and ordinances as may be adopted and amended from time to time, of the local jurisdiction, the District, State of Idaho, and federal government, if any, and the Association, governing the use of the Irrigation System including, without limitation, all requirements of the "Idaho Rules for Public Drinking Water Systems." Each Owner shall clearly mark every non-potable water tap on such Owner's Building Lot with a warning label or sticker, and shall maintain such label or sticker. No Owner, nor any other person claiming right under any Owner, shall cause or allow to be caused, any connection between the domestic water system and the Irrigation System. Cross-connections of any type or kind whatsoever between the non-potable Irrigation System and potable water lines are strictly prohibited.

**12.4 Water Unreliable.** The area of the country where Pristine Meadows Subdivision (Pavilion) is located is desert. Irrigation water is not always reliable and such water is not unlimited. Irrigation water may not be available due to, without limitation, drought, harsh weather conditions, government actions, system breakdowns, transmission failures, overuse by Building Lot Owners or any other causes. Each Owner assumes the risk of any water shortage and, in the event that there is a water shortage, each Owner must be prepared to use such Owner's domestic water supply. No Building Lot shall have any right to an extended water season, and Grantor, District or the Association shall have no obligation to provide water over an extended season or supplemental water. All costs of extended season or supplemental water, if any, shall be included at the cost of operation of the Irrigation System and shall be assessed to the Building Lots.

**12.5 Rotation.** No Building Lot in the Pristine Meadows Subdivision (Pavilion) shall have any right to, or assurance of, a continuous or unlimited supply of irrigation water from the Irrigation System. Nor is any Building Lot guaranteed enough water from the Irrigation System to irrigate all of the landscaping on the Building Lot. Each Building Lot shall be subject to, and each Building Lot Owner by accepting a deed to a Building Lot in Pristine Meadows Subdivision (Pavilion) agrees to be bound by and to comply with, any rules or regulations which may be established for the use and rotation of irrigation water between the Building Lots by the District, Grantor or Association.

**12.6 WARNING! IRRIGATION WATER IS NOT DRINKABLE.**

Notice is hereby given to each Owner in Pristine Meadows Subdivision (Pavilion) that the water in the Irrigation System is NOT fit for human consumption. It contains untreated ditch or pond water, which may contain dirt, hazardous wastes or farm chemicals or disease-causing organisms. Drinking of the irrigation water may make a person sick, and could result in death or permanent disability.

**NEVER DRINK WATER FROM THE PRESSURIZED IRRIGATION SYSTEM!**

It is the duty of each Owner to: (a) educate all family members, guests, tenants and invitees that the water from the Irrigation System is not drinkable; (b) ensure that ALL of the faucets and risers in the Irrigation System are adequately marked, and if not marked to check with the local health department to determine what type of markings are required by that health department or agency; (c) not remove any existing tags or other warning markers from the irrigation risers; and (d) not install, or maintain the installation of, any cross connections between the Irrigation System and the drinking water system unless the cross connection has been approved in writing by the Association AND the supplier of the irrigation water AND the supplier of the drinking water AND the cross connection back flow prevention device meets all relevant governmental and building code requirements.

**12.7 No Liability for Quality or Quantity of Water.** Neither the Association nor the Grantor (or any members, employees, agents, officers, shareholders or directors thereof) shall have any liability of any kind to any Owner, Occupant, Association, and/or any others for any losses, damages, or bodily injuries relating in any respect to the quantity or the quality of the irrigation water, or the ingestion of, or contact with, the irrigation water. Each Owner, Occupant and Association accepts the risk of using the irrigation water and waives and releases Grantor and the Association (and any Members, employees, agents, officers, shareholders or directors thereof) from any and all claims relating thereto.

**ARTICLE XIII: DAMAGE OR DESTRUCTION**

**13.1 Association as Attorney-in-Fact.** Each and every Owner hereby irrevocably constitutes and appoints the Association as such Owner's true and lawful attorney-in-fact in such Owner's name, place, and stead for the purpose of dealing with the Improvements on Common Area upon damage or destruction as provided in this Article. Acceptance by any grantee of a deed or other instrument of conveyance from Grantor or from any Owner shall constitute appointment of the attorney-in-fact as herein provided. As attorney-in-fact, the Association shall have full and complete authorization, right, and power to make, execute, and deliver any contract, assignment, deed, waiver, or other instrument with respect to the interest of any Owner which may be necessary or appropriate to exercise the powers granted herein to the Association as attorney-in-fact.

**13.2 Estimate of Damages or Destruction.** As soon as practicable after an event causing damage to or destruction to any part of Common Area, the Association shall, unless such damage or destruction shall be minor, obtain an estimate or estimates that such Association deems reliable and complete of the costs of repair and reconstruction of that part of Common Area so damaged or destroyed. The terms "**repair and reconstruction**" as used in this Article shall mean restoring the damaged or destroyed Improvements to substantially the same condition in which they existed prior to the damage or destruction.

**13.3 Repair and Reconstruction.** As soon as practicable after obtaining estimates, the Association shall diligently pursue to completion the repair and reconstruction of the damaged or destroyed Improvements. As attorney-in-fact for Owners, the Association may take any and all necessary or appropriate action to effect repair and reconstruction, and no consent or other action by any Owner shall be necessary. Assessments of the Association shall not be abated during any period of insurance adjustments and repair and reconstruction.

**13.4 Funds for Repair and Reconstruction.** The proceeds received by the Association from any casualty or hazard insurance shall be used for the purpose of repair and reconstruction. If the proceeds of the insurance are insufficient to pay the estimated or actual costs of such repair and reconstruction, the Association may assess in advance from all Owners a Special Assessment sufficient to provide funds to pay such estimated or actual costs of repair or reconstruction. Further assessments may be made in like manner if the amounts collected prove insufficient to complete such repair and reconstruction.

**13.5 Disbursement of Funds for Repair and Reconstruction.** The insurance proceeds held by the Association and the amounts received from the Special Assessments constitute a fund for the payment of the costs of repair and reconstruction after casualty. It shall be deemed that the first money disbursed in payment for the costs repair and reconstruction shall be made from insurance proceeds, and the balance from the Special Assessments. If there is a balance remaining after payment of all cost of such repair and reconstruction, such balance shall be distributed to Owners in proportion to the contributions each Owner made as a Special Assessment to the Association under this Article or, if no Special Assessments were made, in equal shares per Building Lot to Owners.

**13.6 Decision Not to Rebuild.** If Owners representing at least sixty-seven percent (67%) of the total votes of the Association and sixty-seven percent (67%) of the holders of a First Mortgage (based upon one vote for each mortgage owned) of the Building Lots agree in writing not to repair or reconstruct and no alternative Improvements are authorized, then and in that event the damaged Common Area shall be restored to its natural state and maintained as an undeveloped portion of Common Area by the Association in a neat and attractive condition, and any remaining insurance proceeds shall be distributed in equal shares per Building Lot to the Owners.

**13.7 Damage or Destruction Affecting Building Lots.** In the event of damage or destruction to the Improvements located on any of the Building Lots, the Owner thereof shall promptly repair and reconstruct the damaged Improvements to their condition prior to such damage or destruction. If such repair or reconstruction is not commenced within one hundred eighty (180) days from the date of such damage or destruction, or if repair or reconstruction is commenced but then abandoned for a period of more than ninety (90) days, then the Association may impose a fine of not less than Fifty and No/100 Dollars (\$50.00) per day on the Owner of the Building Lot until repair and reconstruction is commenced, unless the Owner can prove to the reasonable satisfaction of the Association that such failure is due to circumstances beyond the Owner's control.

#### **ARTICLE XIV: CONDEMNATION**

**14.1 Rights of Owners.** Whenever all or any part of Common Area shall be taken or conveyed in lieu of and under threat of condemnation, the Board, acting as attorney-in-fact for all Owners, shall notify each Owner of the taking, but the Association shall act as attorney-in-fact for all Owners in the proceedings incident to the condemnation proceeding, unless otherwise prohibited by law.

**14.2 Condemnation; Distribution of Award; Reconstruction.** The award made for such partial or complete taking shall be payable to the Association as trustee for all Owners to be disbursed as follows: If the taking involves a portion of Common Area on which Improvements have been constructed, then, unless within sixty (60) days after such taking Grantor and Owners representing at least sixty-seven percent (67%) of the Class B and A Members shall otherwise agree, the Association shall restore or replace such Improvements so taken on the remaining land including in Common Area to the extent lands are available therefor, in accordance with plans approved by the Board. If such Improvements are to be repaired or restored, the provisions in Article XIII regarding the disbursement of funds with respect to casualty damage or destruction which is to be repaired shall apply. If the taking does not involve any Improvements on Common Area, or if there is a decision made not to repair or restore, or if there are net funds remaining after any such restoration or replacement is completed, then such award or net funds shall be distributed in equal shares per Building Lot to the Owners.

## ARTICLE XV: RESOLUTIONS OF DISPUTES

**15.1 Avoiding Costs of Litigation and Limiting Right to Litigate Disputes.** The Association, Grantor, all Persons subject to this Declaration, and any Person not otherwise subject to this Declaration who agrees to submit to this Article (collectively, "**Bound Parties**"), shall encourage the amicable resolution of disputes involving the Property, and avoid the emotional and financial costs of litigation if at all possible. Accordingly, all claims, grievances or disputes between such Bound Party and any other Bound Party, including, without limitation, claims, grievances or disputes arising out of or relating to the interpretation, application or enforcement of this Declaration, the Project Documents and/or the Association rules (collectively "**Claim**"), shall be subject to the procedures set forth herein.

**15.2 Mandatory Procedures for All Other Claims.** Any Bound Party having a Claim ("**Claimant**") against any other Bound Party ("**Respondent**") shall not file suit in any court or initiate any proceeding before any administrative tribunal seeking redress or resolution of such Claim until the Claimant has complied with the following procedures:

**15.2.1 Negotiation.** Each Claimant and Respondent (the "**Parties**") shall make every reasonable effort to meet in person and confer for the purpose of resolving the Claim by good faith negotiation. Upon receipt of a written request from any Party, the Board may appoint a representative to assist the Parties in resolving the dispute by negotiation.

**15.2.2 Mediation.** If the Parties do not resolve the Claim through negotiation, Claimant shall submit the Claim to mediation under the auspices of Idaho law. If the results of mediation are unsatisfactory to either Party, either Party shall then have all remedies at law or equity.

**15.3 Allocation of Costs of Resolving Claims.** Each Party shall bear all of its own costs incurred prior to and during the proceedings described herein, including the fees of its attorney or other representative. Each Party shall share equally all charges in connection with mediator(s).

## ARTICLE XVI: ANNEXATION AND WITHDRAWAL OF PROPERTY

**16.1 Annexation.** Grantor hereby reserves the right to annex any abutting, adjoining or contiguous real property, into Pristine Meadows Subdivision (Pavilion). Such annexation shall be accomplished by filing a Supplemental Declaration in the records of Ada County, Idaho, describing the property to be annexed and specifically subjecting such property to the terms of this Declaration, as may be modified to reflect any special circumstances in connection with such annexed real property. Such Supplemental Declaration shall not require the consent of voting Members, but shall require the consent of the owner of such property, if other than Grantor. Any such annexation shall be effective upon the recording of such Supplemental Declaration. Once such annexation is complete, the annexed property shall be included in the definition of "Property" in this Declaration.

**16.2 Additional Covenants and Easements.** Grantor may unilaterally subject any portion of the Property to this Declaration initially or by Supplemental Declaration to additional covenants, conditions and restrictions, including covenants obligating the Association to maintain and insure such Property on behalf of the Owners and obligating such Owners to pay the costs incurred by the Association through Assessments. Such additional covenants and easements shall be set forth in a Supplemental Declaration recorded either concurrently with or after the annexation of such Property, and shall require the written consent of the owner(s) of such Property, if other than Grantor.

**16.3 De-annexation.** Grantor may delete all or a portion of the property described on **Exhibit A** and any annexed property from coverage of this Declaration and the jurisdiction of the Association, so long as Grantor is the owner of all such property being de-annexed, and provided that a notice of de-annexation is filed in the records of Ada County, Idaho, describing the property to be de-annexed and specifically excepting such property from the terms of this Declaration.

**16.4 Amendment.** This Article shall not be amended without the prior written consent of Grantor so long as Grantor owns any portion of Pristine Meadows Subdivision (Pavilion).

## **ARTICLE XVII: MISCELLANEOUS**

**17.1 Term.** The Restrictions created hereunder shall be perpetual, subject only to extinguishment by the holders of such Restrictions as provided by law.

### **17.2 Amendment.**

**17.2.1 By Grantor.** Until the recordation of the first deed to a Building Lot, the provisions of this Declaration may be amended, modified, clarified, supplemented, added to or terminated (collectively, "**amendment**") by Grantor by recordation of a written instrument setting forth such amendment.

**17.2.2 By Owners.** After the recordation of the first deed to a Building Lot, any amendment to any provision of the Declaration, other than to this Article, shall be by an instrument in writing signed and acknowledged by the president and secretary of the Association certifying and attesting that such amendment has been approved by the vote or written consent of Members representing at least two-thirds (2/3) of the total voting power in the Association, except where a greater percentage is required by express provision in this Declaration, and such amendment shall be effective upon its recordation with the Ada County Recorder's Office. Any amendment to this Article shall require the vote or written consent of Members representing ninety percent (90%) of the voting power of the Association.

**17.2.3 Effect of Amendment.** Any amendment of this Declaration approved in the manner specified above shall be binding on and effective as to all Owners and their respective Building Lots notwithstanding that such Owners may not have voted for or consented to such amendment. Such amendments may add to and increase the covenants, conditions, restrictions and easements applicable to the Property but shall not prohibit or unreasonably interfere with the allowed uses of such Owner's Building Lot(s) which existed prior to such amendment.

**17.3 Mortgage Protection.** Notwithstanding any other provision of this Declaration, no amendment of this Declaration shall operate to defeat or render invalid the rights of the beneficiary under any First Mortgage upon a Building Lot made in good faith and for value, and recorded prior to the recordation of such amendment, provided that after foreclosure of any such First Mortgage, such Building Lot shall remain subject to this Declaration.

**17.4 Notices.** Any notices permitted or required to be delivered as provided in this Declaration shall be in writing and may be delivered either personally or by U.S. mail. If delivery is made by U.S. mail, delivery shall be deemed to have been delivered seventy-two (72) hours after the same has been deposited in the U.S. mail, first class, postage prepaid, addressed to any Person at the address given by such Person to the Association for the purpose of service of such notice, or to the residence of such Person if no address has been given to the Association or to the address of such Person as contained in the Ada County tax assessor's rolls. Such address may be changed from time to time by notice in writing to the Association.

### **17.5 Enforcement and Non-Waiver.**

**17.5.1 Right of Enforcement.** Except as otherwise provided herein, any Owner, Association or Grantor shall have the right to enforce any or all of the provisions hereof against any portion of the Property and against Owners thereof.

**17.5.2 Violations and Nuisances.** The failure of any Owner of a Building Lot to comply with any provision hereof, or with any provision of the Project Documents, is hereby declared a

nuisance and will give rise to a cause of action in Grantor, the Association or any Owner for recovery of damages or for negative or affirmative injunctive relief or both.

**17.5.3 Violation of Law.** Any violation of any state, municipal or local law, ordinance or regulation pertaining to the ownership, occupation or use of any portion of the Property is hereby declared to be a violation of this Declaration and subject to any and all of the enforcement procedures set forth in this Declaration and any and all enforcement procedures in law and equity.

**17.5.4 Remedies Cumulative.** Each remedy provided herein is cumulative and not exclusive.

**17.5.5 Non-Waiver.** The failure to enforce any of the provisions herein at any time shall not constitute a waiver of the right to enforce any such provision.

**17.6 Use of Trade Name.** Each Owner by acceptance of a deed for such Owner's Building Lot shall be deemed to acknowledge that "Pavilion" is or may become a service mark, trade name and/or trademark of Grantor, or its licensees, and to covenant that any such Owner shall not use the term "Pavilion" or "Pavilion Subdivision" without the prior written permission of Grantor.

**17.7 Interpretation.** The provision of this Declaration shall be liberally construed to effectuate its purpose of creating a uniform plan for the development and operation of the Property. This Declaration shall be construed and governed under the laws of the State of Idaho.

**17.7.1 Restrictions Construed Together.** All of the provisions hereof shall be liberally construed together to promote and effectuate the fundamental concepts of the development of the Property as set forth in the Recitals of this Declaration.

**17.7.2 Restrictions Severable.** Notwithstanding the provision of the foregoing Subsection 17.7.1, each of the provisions of this Declaration shall be deemed independent and severable, and the invalidity of partial invalidity of any provision or portion thereof shall not affect the validity or enforceability of any other provision herein.

**17.7.3 Construction.** Unless the context requires a contrary construction, the singular shall include the plural and the plural the singular, and the masculine, feminine or neuter shall each include the masculine, feminine and neuter.

**17.7.4 Captions.** All captions and titles used in this Declaration are intended solely for convenience of reference and shall not affect that which is set forth in any of the provisions hereof.

**17.8 Successors and Assigns.** All references herein to Grantor, Owner, Members, the Association or Person shall be construed to include all successors, assigns, partners and authorized agents of such Grantor, Owners, Members, Association or Person.

**17.9 Owners' Further Acknowledgments.** By accepting a deed to any Building Lot(s) contained within the Property, each Owner acknowledges and agrees that Owner has read and understands the Project Documents.

**IN WITNESS WHEREOF**, the undersigned have duly executed this Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision (Pavilion) effective upon the date hereof.

**GRANTOR:**

KASTERA PAVILION COMMONS LLC, an Idaho limited liability company

By: Kastera Development LLC, Its Manager

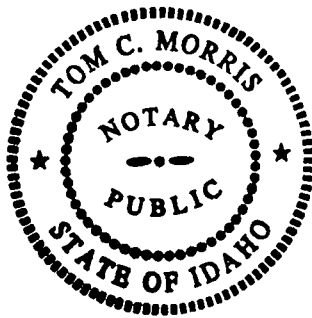
By: Kastera LLC, Its Member

By: *[Signature]*  
Joe Swenson, Vice President

STATE OF IDAHO        )  
                                  ) ss.  
County of Ada         )

On this 20<sup>th</sup> day of September, 2006, before me, the undersigned, a Notary Public in and for said State, personally appeared Joe Swenson, known or identified to me to be the Vice President of Kastera LLC, the sole member of Kastera Development LLC, which in turn is the manager of Kastera Pavilion Commons LLC, the entity that executed the instrument or the person who executed the instrument on behalf of said limited liability company, and acknowledged to me that such company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



*[Signature]*  
Notary Public for Idaho  
Residing at Boise  
My commission expires: 4/4/11



EXHIBIT A  
REAL PROPERTY DESCRIPTION FOR  
PRISTINE MEADOWS SUBDIVISION NO. 1

A parcel of land situated in a portion of the SE1/4 of the NE1/4 of Section 7, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho, and more particularly described as follows:

Commencing at a brass cap monument marking the SE corner of said NE1/4 of Section 7, from which a brass cap monument marking the NE corner of said NE1/4 bears N00°32'08"E a distance of 2654.76 feet, thence along the South line of said NE1/4 N88°27'34"W a distance of 32.00 feet to a 5/8 inch rebar marking the intersection the West right-of-way line of Star Road and the North boundary line of Saddlebrook Subdivision Phase 1 as recorded in the official records of Ada County, Idaho in Book 87 of Plats at Pages 9841 Through 9845 and being the POINT OF BEGINNING;

Thence continuing along said South line and said North boundary line N88°27'34"W a distance of 545.44 feet to a 5/8 inch rebar;

Thence leaving said South line and said North boundary line N01°32'26"E a distance of 133.67 feet to a 5/8 inch rebar;

Thence N03°22'11"W a distance of 50.15 feet to a 5/8 inch rebar;

Thence N00°08'26"E a distance of 70.91 feet to a 5/8 inch rebar;

Thence N02°12'06"E a distance of 69.99 feet to a 5/8 inch rebar;

Thence N03°02'48"E a distance of 69.97 feet to a 5/8 inch rebar;

Thence N03°47'36"W a distance of 69.99 feet to a 5/8 inch rebar;

Thence N04°13'02"W a distance of 70.04 feet to a 5/8 inch rebar;

Thence N08°16'54"E a distance of 69.88 feet to a 5/8 inch rebar;

Thence N06°36'34"E a distance of 85.71 feet to a 5/8 inch rebar;

Thence N83°30'40"E a distance of 16.07 feet to a 5/8 inch rebar;

Thence N07°20'30"W a distance of 25.00 feet to a 5/8 inch rebar;

Thence N82°39'30"E a distance of 29.86 feet to a 5/8 inch rebar;

Thence N07°20'30"W a distance of 50.00 feet to a 5/8 inch rebar and the beginning of a non-tangent curve;

Thence along the arc of said curve to the right having a radius of 15.00 feet, an arc length of 23.79 feet, a central angle of 90°51'21", a chord bearing N51°54'20"W a distance of 21.37 feet to a 5/8 inch rebar;

Thence N06°28'44"W a distance of 9.78 feet to a 5/8 inch rebar;

Thence N82°39'30"E a distance of 133.16 feet to a 5/8 inch rebar;

Thence along the arc of a curve to the right having a radius of 395.00 feet, an arc length of 6.25 feet, a central angle of 0°54'24", a chord bearing of N83°04'38"E a distance of 6.25 feet to a 5/8 inch rebar marking the SW corner of Rhinoceros Bay Subdivision as recorded in the official records of Ada County, Idaho in Book 94 of Plats at Pages 11441 through 11443;

Thence along the South line of said Rhinoceros Bay Subdivision the following courses, continuing along the arc of a curve to the right having a radius of 395.00 feet, an arc length of 159.39 feet, a central angle of 23°06'22", a chord bearing S84°54'58"E a distance of 158.22 feet to a 5/8 inch rebar;

Thence S72°06'13"E a distance of 102.59 feet to a 5/8 inch rebar;

Thence along the arc of a curve to the left having a radius of 120.00 feet, an arc length of 36.36 feet, a central angle of 17°21'39", a chord bearing S80°47'02"E a distance of 36.22 feet to a 5/8 inch rebar;

Thence S89°27'52"E a distance of 87.75 feet to a 5/8 inch rebar on said West right-of-way line;

Thence along said West right-of-way line S00°32'08"W a distance of 771.59 feet to the POINT OF BEGINNING.

Said parcel contains 9.87 acres more or less and is subject to all existing easements and rights-of-ways of record or implied.

**Operation & Maintenance Manual  
Storm Water Facilities**

**For**

**Pristine Meadows Subdivision  
Star, Idaho**

**Project No. C056141**

**April 12, 2006**

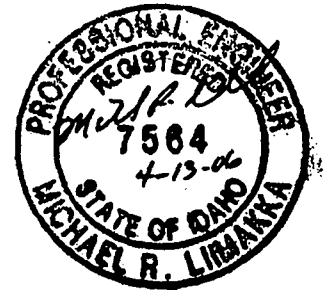
**Prepared for:**

**Kastera Homes  
372 S. Eagle Road, Ste. 375  
Eagle, ID 83616**

**Prepared by:**

**PINNACLE**  
**Engineers, Inc.**

12552 W. Executive Dr. Suite B, Boise, Idaho 83713



## **I. PURPOSE OF FACILITIES**

The storm drainage facilities for Pavilion Commons Subdivision (aka. Pristine Meadows Subdivision) provide detention and treatment of storm water prior to release to an existing drain on future phases of the property. Detention within the system provides the release of 100 year storm water runoff at pre development flow rates. Treatment of storm water prior to discharge to the Drainage District 2 drain is accomplished through a special storm water treatment unit called an Aquaswirl A-6.

The primary purpose of the facility is for storm water. Any additions to the surface of the facilities, such as park benches or additional landscaping, should be considered temporary and may be removed when heavy maintenance of the facility is needed. Replacement of these items will be the responsibility of the Homeowners Association.

## **I. DESCRIPTION OF FACILITIES**

The Phase 1 and 2 storm drainage system consists of 19 swales, two of which stand alone for now and 17 others which are interconnected in 5 groups by pipes to create group detention areas. Each group of detention swales is drained by orifice outlets at 5 drain boxes. Two swales have additional orifice drains (3) which drain other low points within these relatively long swales. The orifice drain boxes drain into a pipe that directs water to the Aquaswirl A-6 unit. Treated water exits the Aquaswirl unit and drains out a 24 inch drain pipe to the Drainage District 2 drain north of Phase 1 and 2.

Water from the streets enters the detention swales through catch basins. Water that drains from rear lot lines enters the system from a catch basin on private lots in 6 locations. The rear yard drainage pipes are the responsibility of the home owners association.

Detention swales are flat or have 1% minimum slopes. Where swales are flat and at the entrances to the orifice drain boxes sand seepage trenches were provided to drain slow moving nuisance water.

## **II. MAINTENANCE OF FACILITIES**

Maintenance of the facilities is broken down into two categories, Light and Heavy Maintenance for the purposes defined below. Light Maintenance is work that will be accomplished by the Homeowners Association. Heavy Maintenance will be accomplished by the Ada County Highway District at their expense. In the event that ACHD determines that the HOA is not adequately performing its maintenance responsibilities the ACHD will pursue a remedy as set forth in the Declaration of the Conditions, Covenants and Restrictions. Specifically, Light and Heavy Maintenance is defined as follows:

### **Light Maintenance**

- A. Clear debris from the grate of catch basins in the road way, culvert ends, and the detention swale bottoms (monthly).
- B. Clear debris from the orifice of the drain boxes within the detention swales (monthly).
- C. Maintain the grass surrounding the system, keeping it mowed, watered, fertilized and weed free (as necessary to maintain appearance). Mowed grass should be bagged and disposed of off site.
- D. Remove weeds from rock walls and drain rock within the swales (as necessary to maintain appearance).
- E. Protect the storm drainage system from harm or modification from the original plan.
- F. Notify ACHD if anything unusual seems to be occurring or has occurred with the system.

### **Heavy Maintenance**

- A. Remove accumulated grease, sediment and debris from the catch basins (annually).
- B. Remove accumulated grease, sediment and debris from the Aquaswirl A-6 unit (annually).
- C. Remove accumulated grease, sediment and debris from the three orifice drains unit (annually).
- D. Inspect all drain boxes and manholes associated with the storm drainage system. Clean or repair as necessary (annually).
- E. Inspect detention swale banks for evidence of erosion or slumping due to heavy rainfall (after major storms, annually).
- F. Inspect pipe end sections for damage or obstructions (after major storms, annually).
- G. Inspect the outlet pipe into the existing drain for obstructions or damage. Remove obstructions or repair as necessary (after major storms, annually).

## **III. REPAIR**

Repair shall be contracted or done by the Ada County Highway District. Prior to any repair of the facilities call Digline (1-800-342-1585) to locate and mark all existing utilities.

- A. All replacement materials shall be of the same or equal quality.
- B. Underground facilities shall be installed at existing elevations, grades and locations.
- C. Backfill materials shall be the same as existing materials or better. Thicknesses of road sections shall be the same or greater. Backfill materials in the roadway shall be compacted to achieve a density of 95% of the maximum dry density per standard proctor, ASTM-D698.

- D. Finished repair grades and elevations shall match existing grades and elevations.
- E. Detention basin walls and slopes shall be replaced to original condition, dimensions and elevation.

#### **IV. ESTIMATED MAINTENANCE COSTS**

Light Maintenance costs to be bore by the Homeowners Association are estimated as follows:

1. Annual mowing, fertilizing and weeding of detention swale areas are estimated at \$9,450.00. This does not include maintenance of the landscape areas adjacent to Star Road.
2. Irrigation will be incidental to the Homeowners Association pressurized irrigation system costs which the costs of will be covered by individual user pressurized irrigation dues.

**ASSIGNMENT AND ASSUMPTION  
OF GRANTOR'S RIGHTS**

1077005LP

This Assignment and Assumption of Declarant's Rights (this "Assignment") is made by Kastera Pavilion Commons LLC ("Pavilion"), an Idaho limited liability company, and DBSI Pristine Meadows LLC, an Idaho limited liability company (collectively the "Assignor") and 1099, LLC, an Idaho limited liability company ("Assignee").

RECITALS

A. Assignor is the "Grantor" as defined in that certain Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision dated September 18, 2006 as Instrument No. 106150795 (the "Declaration").

B. On even date herewith, Assignor conveyed to Assignee certain lots subject to the Declaration and certain adjacent lands that are planned for future inclusion into the Declaration.

C. Assignee is purchasing such lots and property as inventory for the purpose of engaging in the business of constructing residential buildings or for the purpose of resale of such lots and property to persons engaged in such business.

D. In connection with the foregoing conveyance, Assignor desires to assign its rights as Declarant to Assignee, and Assignee desires to accept and assume the same.

ASSIGNMENT

FOR VALUABLE CONSIDERATION, the receipt and sufficiency of which is hereby acknowledged, Assignor does hereby fully assign and transfer any and all of its right, title and interest as Grantor under the Declaration to Assignee, and Assignee hereby accepts and assumes all of Assignor's right, title and interest as Declarant under the Declaration. From and after the date of this Assignment, Assignee shall hold Assignor harmless from any third-party claims arising out of or related to Assignee's exercise of Grantor's rights under the Declaration. The recitals and exhibit are incorporated herein by this reference and made a party hereof.

*[Signatures contained on following page]*

EFFECTIVE as of the date of this Assignment is recorded in the real property records of Canyon County.

ASSIGNOR:

Kastera Pavilion Commons LLC  
**Signed in Counterpart**

By \_\_\_\_\_  
Name: Ronald D. Strongwater  
Title: Authorized Agent

DBSI Pristine Meadows LLC  
**Signed in Counterpart**

By \_\_\_\_\_  
Name: Ronald D. Strongwater  
Title: Authorized Agent

ASSIGNEE:

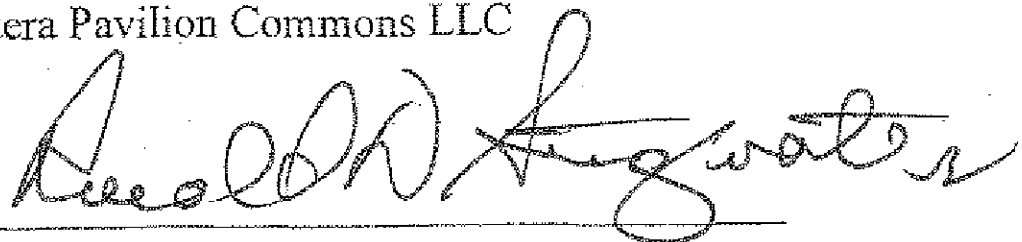
1099, LLC

By  \_\_\_\_\_  
Russell D. Hunemiller, Member

EFFECTIVE as of the date of this Assignment is recorded in the real property records of Canyon County.

ASSIGNOR:

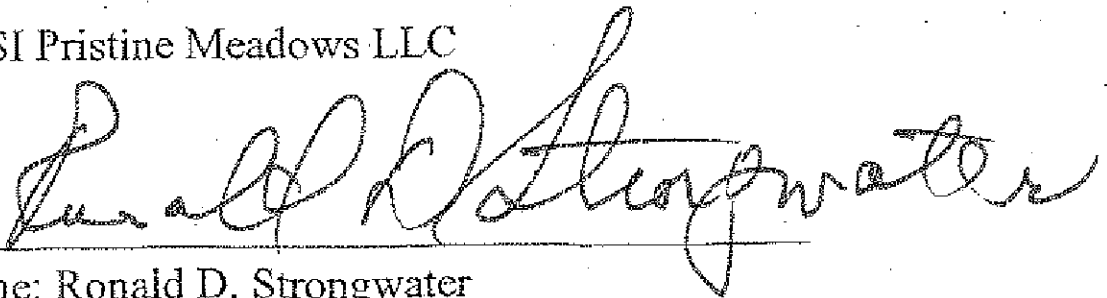
Kastera Pavilion Commons LLC

By 

Name: Ronald D. Strongwater

Title: Authorized Agent

DBSI Pristine Meadows LLC

By 

Name: Ronald D. Strongwater

Title: Authorized Agent

ASSIGNEE:

1099, LLC

**Signed in Counterpart**

By \_\_\_\_\_

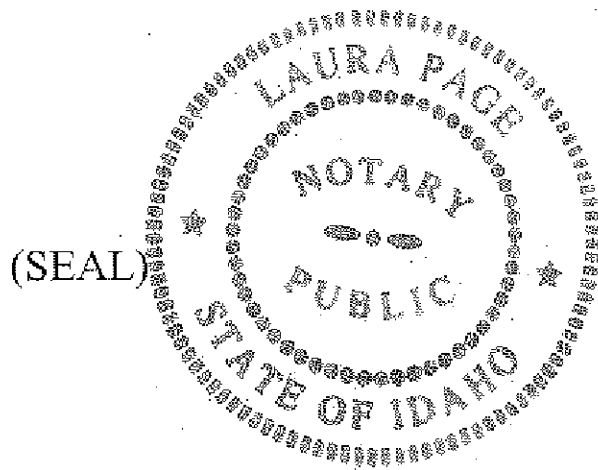
Russell D. Hunemiller, Member



STATE OF IDAHO,    )  
                              : ss.  
County of Ada .        )

On this 27 day of December, 2012, before me, the undersigned, a Notary Public in and for said State, personally appeared Russell Hunemiller, known or identified to me to be the Member of 1099, LLC, an Idaho liability company, that executed the instrument or the person who executed the instrument on behalf of said limited liability company, and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

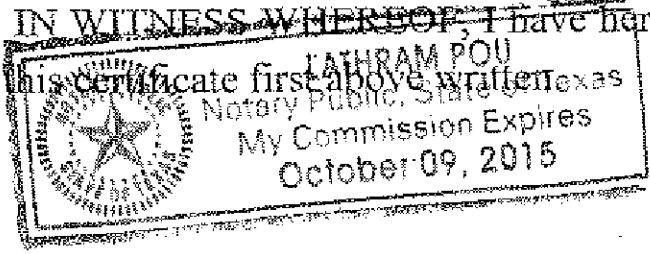


Laura Page  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: Residing in Boise, Idaho  
~~Commission Expires 07/30/2015~~

STATE OF TX )  
 : ss.  
County of Dallas )

On this 27 day of December, 2012, before me, the undersigned, a Notary Public in and for said State, personally appeared Ronald D. Strongwater, known or identified to me to be the Authorized Agent of Kastera Pavilion Commons, LLC, an Idaho liability company, that executed the instrument or the person who executed the instrument on behalf of said limited liability company, and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written



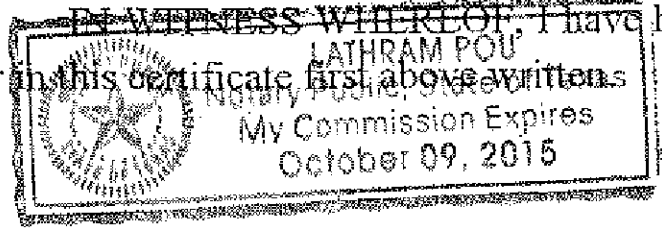
(SEAL)

[Signature]  
Notary Public for Idaho Texas  
Residing at \_\_\_\_\_  
Commission expires: \_\_\_\_\_

STATE OF TX )  
 : ss.  
County of Dallas )

On this 27 day of December, 2012, before me, the undersigned, a Notary Public in and for said State, personally appeared Ronald D. Strongwater, known or identified to me to be the Authorized Agent of DBSI Pristine Meadows, LLC, an Idaho liability company, that executed the instrument or the person who executed the instrument on behalf of said limited liability company, and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written



(SEAL)

[Signature]  
Notary Public for Idaho Texas  
Residing at \_\_\_\_\_  
Commission expires: \_\_\_\_\_

**FIRST SUPPLEMENT TO MASTER DECLARATION OF COVENANTS,  
CONDITIONS AND RESTRICTIONS OF PRISTINE MEADOWS SUBDIVISION**

This First Supplement ("**Supplemental Declaration**") is made as of the 27<sup>th</sup> day of October, 2015, to the Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision ("**CC&Rs**") recorded September 20, 2006 as Instrument No. 106150795, Ada County records.

**Recitals**

A. The CC&Rs were originally made by Kastera Pavilion Commons LLC, an Idaho limited liability company, as 'Grantor.'

B. Corey Barton Homes, Inc. d/b/a CBH Homes, an Idaho corporation (hereinafter "**Grantor**") is the successor in interest to, and the holder of the rights of Kastera Pavilion Commons LLC under the CC&Rs.

C. Pursuant to Article XVI: Section 16.1 of the CC&Rs, Grantor may annex abutting, adjoining or contiguous real property into Pristine Meadows Subdivision (Pavilion) by recording a Supplemental Declaration describing the property to be annexed with the consent of the owners of such annexed property.

**ARTICLE 1: ADDITIONAL PROPERTY.**

1.1 Additional Property. The Grantor declares that all of that real property platted as Pristine Meadows Subdivision No. 2, according to the official plat thereof, recorded in Book 98 of Plats at Pages 12362-12366 (the "**Additional Property**") is made subject to the CC&Rs, and that the CC&Rs shall run with the title to the Additional Property, and the CC&Rs shall be binding upon the future owners of any portion of the Additional Property, their respective heirs, successors, successors in title, and assigns.

1.2 Common Area. The following lots in the Additional Property are hereby designated as Common Areas, as defined in the CC&Rs:

Lots 23 and 31, Block 3 of Pristine Meadows Subdivision No. 2;  
Lot 16, Block 5 of Pristine Meadows Subdivision No. 2; Lot 1,  
Block 6 of Pristine Meadows Subdivision No. 2; Lot 1, Block 7 of  
Pristine Meadows Subdivision No. 2; Lot 1, Block 8 of Pristine  
Meadows Subdivision No. 2; Lot 1, Block 10 of Pristine Meadows  
Subdivision No. 2; and Lot 1, Block 11 of Pristine Meadows

Subdivision No. 2, according to the official plat thereof, filed in Book 98 of Plats at Page 12362-12366, records of Ada County, Idaho.

1.3 Building Lots. Each of the lots of the Additional Property that are not designated as Common Area are hereby designated as 'Building Lots' in Pristine Meadows Subdivision (Pavilion) and shall be considered 'Property' as those terms are defined in the CC&Rs.

1.4 Definitions. All capitalized terms used herein that are not defined shall have the same meanings and definitions as such terms are defined in the CC&Rs.

1.5 Consent. The undersigned owners of the Additional Property consent to this Supplemental Declaration and that the Building Lots owned by them are subject to the CC&Rs.

[Signatures found on following pages.]

IN WITNESS WHEREOF, Grantor has caused this Supplemental Declaration to the CC&Rs to be executed this 27<sup>th</sup> day of October, 2015, and made effective upon the recordation of this Supplemental Declaration.

Corey Barton Homes, Inc.  
dba CBH Homes

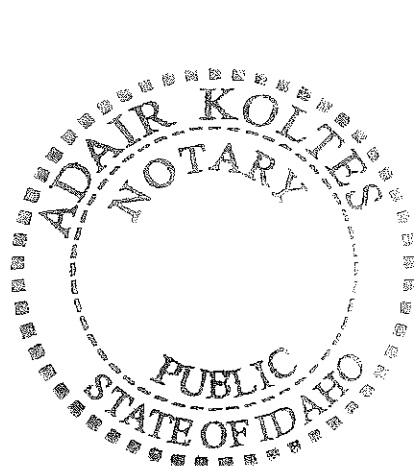
By [Signature]

Corey D. Barton, its President

STATE OF IDAHO, )  
                                  ) ss.  
County of Ada.    )

On this 27<sup>th</sup> day of October, in the year 2015, before me, a Notary Public in and for said State, personally appeared Corey D. Barton, known or identified to me to be the President of Corey Barton Homes, Inc., who executed the within instrument or the person who executed the instrument on behalf of said corporation, and acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



[Signature]  
Notary Public for Idaho  
Residing at: Nampa, ID  
Commission expires: 6-05-16

**CONSENT**

Shawn F. Watters, as Owner of Lot16, Block 3, Pristine Meadows Subdivision No. 2 (the "Subject Lot"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Shawn F. Watters

Date: \_\_\_\_\_

STATE OF IDAHO, )  
  : ss.  
County of Ada.     )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Shawn F. Watters, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Lori L. Watters, as Owner of Lot16, Block 3, Pristine Meadows Subdivision No. 2 (the "Subject Lot"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_  
Lori L. Watters

Date: \_\_\_\_\_

STATE OF IDAHO,    )  
  : ss.  
County of Ada.         )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Lori L. Watters, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires:\_\_\_\_\_

**CONSENT**

Jacob Hughes, Owner of Lot 17, Block 3, Pristine Meadows Subdivision No. 2 (the **"Subject Lot"**) consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Jacob Hughes

Date: \_\_\_\_\_

STATE OF IDAHO, )  
                          : ss.  
County of Ada. )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Jacob Hughes, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires:\_\_\_\_\_



**CONSENT**

Erin Hughes, Owner of Lot 17, Block 3, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_   
 Erin Hughes

Date: \_\_\_\_\_

STATE OF IDAHO, )   
 : ss.   
 County of Ada. )

On this \_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Erin Hughes, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires:\_\_\_\_\_

**CONSENT**

Jesse Flores, Owner of Lot 18, Block 3, Pristine Meadows Subdivision No. 2 (the "Subject Lot") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Jesse Flores

Date: \_\_\_\_\_

STATE OF IDAHO, )  
                                      : ss.  
County of Ada.        )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Jesse Flores, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Edith M. Flores, Owner of Lot 18, Block 3, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_  
Edith M. Flores

Date: \_\_\_\_\_

STATE OF IDAHO, )  
  : ss.  
County of Ada.     )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Edith M. Flores, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Preston G. Ellingford, Owner of Lot 20, Block 3, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Preston G. Ellingford

Date: \_\_\_\_\_

STATE OF IDAHO, )  
  : ss.  
County of Ada.        )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Preston G. Ellingford, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Malia C. Ellingford, Owner of Lot 20, Block 3, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_   
 Malia C. Ellingford

Date: \_\_\_\_\_

STATE OF IDAHO, )   
 : ss.   
 County of Ada. )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Malia C. Ellingford, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
 Notary Public for Idaho  
 Residing at \_\_\_\_\_, Idaho  
 Commission expires:\_\_\_\_\_

CONSENT

The Owner of Lot12, Block 5, Pristine Meadows Subdivision No. 2 (the "Subject Lot") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

Jenny Kaylor  
Jenny Kaylor

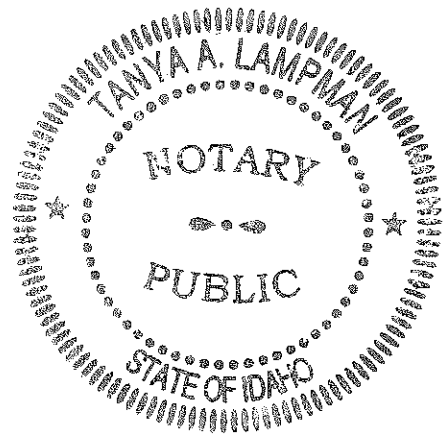
Date: 11/4/15

STATE OF IDAHO, )  
                                  : ss.  
County of Ada.     )

On this 4th day of November, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Jenny Kaylor, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)



Tanya A. Lampman  
Notary Public for Idaho  
Residing at Middleton, Idaho  
Commission expires: 7/16/16

**CONSENT**

Eric Victor, Owner of Lot 14, Block 5, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Eric Victor

Date: \_\_\_\_\_

STATE OF IDAHO, )  
  : ss.  
County of Ada.   )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Eric Victor, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Emily Victor, Owner of Lot 14, Block 5, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_  
Emily Victor

Date: \_\_\_\_\_

STATE OF IDAHO, )  
                          : ss.  
County of Ada.  )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Emily Victor, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_



**CONSENT**

Kevin C. Layton, Owner of Lot 15, Block 5, Pristine Meadows Subdivision No. 2 (the "Subject Lot") consent to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Kevin C. Layton

Date: \_\_\_\_\_

STATE OF IDAHO, )  
                                  : ss.  
County of Ada.     )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Kevin C. Layton, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Sammy Layton, Owner of Lot 15, Block 5, Pristine Meadows Subdivision No. 2 (the "Subject Lot") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_  
Sammy Layton

Date: \_\_\_\_\_

STATE OF IDAHO, )  
  : ss.  
County of Ada.        )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Sammy Layton, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**FIRST SUPPLEMENT TO MASTER DECLARATION OF COVENANTS,  
CONDITIONS AND RESTRICTIONS OF PRISTINE MEADOWS SUBDIVISION**  
\*\*\*\* RE-RECORD TO ATTACH PLAT

This First Supplement ("**Supplemental Declaration**") is made as of the 21<sup>st</sup> day of October, 2015, to the Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision ("**CC&Rs**") recorded September 20, 2006 as Instrument No. 106150795, Ada County records.

**Recitals**

A. The CC&Rs were originally made by Kastera Pavilion Commons LLC, an Idaho limited liability company, as 'Grantor.'

B. Corey Barton Homes, Inc. d/b/a CBH Homes, an Idaho corporation (hereinafter "**Grantor**") is the successor in interest to, and the holder of the rights of Kastera Pavilion Commons LLC under the CC&Rs.

C. Pursuant to Article XVI: Section 16.1 of the CC&Rs, Grantor may annex abutting, adjoining or contiguous real property into Pristine Meadows Subdivision (Pavilion) by recording a Supplemental Declaration describing the property to be annexed with the consent of the owners of such annexed property.

**ARTICLE 1: ADDITIONAL PROPERTY.**

1.1 Additional Property. The Grantor declares that all of that real property platted as Pristine Meadows Subdivision No. 2, according to the official plat thereof, recorded in Book 98 of Plats at Pages 12362-12366 (the "**Additional Property**") is made subject to the CC&Rs, and that the CC&Rs shall run with the title to the Additional Property, and the CC&Rs shall be binding upon the future owners of any portion of the Additional Property, their respective heirs, successors, successors in title, and assigns.

1.2 Common Area. The following lots in the Additional Property are hereby designated as Common Areas, as defined in the CC&Rs:

Lots 23 and 31, Block 3 of Pristine Meadows Subdivision No. 2;  
Lot 16, Block 5 of Pristine Meadows Subdivision No. 2; Lot 1,  
Block 6 of Pristine Meadows Subdivision No. 2; Lot 1, Block 7 of  
Pristine Meadows Subdivision No. 2; Lot 1, Block 8 of Pristine  
Meadows Subdivision No. 2; Lot 1, Block 10 of Pristine Meadows  
Subdivision No. 2; and Lot 1, Block 11 of Pristine Meadows

**FIRST SUPPLEMENT TO MASTER DECLARATION OF COVENANTS,  
CONDITIONS AND RESTRICTIONS OF PRISTINE MEADOWS SUBDIVISION**

This First Supplement ("**Supplemental Declaration**") is made as of the 27<sup>th</sup> day of October, 2015, to the Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision ("CC&Rs") recorded September 20, 2006 as Instrument No. 106150795, Ada County records.

**Recitals**

A. The CC&Rs were originally made by Kastera Pavilion Commons LLC, an Idaho limited liability company, as 'Grantor.'

B. Corey Barton Homes, Inc. d/b/a CBH Homes, an Idaho corporation (hereinafter "**Grantor**") is the successor in interest to, and the holder of the rights of Kastera Pavilion Commons LLC under the CC&Rs.

C. Pursuant to Article XVI: Section 16.1 of the CC&Rs, Grantor may annex abutting, adjoining or contiguous real property into Pristine Meadows Subdivision (Pavilion) by recording a Supplemental Declaration describing the property to be annexed with the consent of the owners of such annexed property.

**ARTICLE 1: ADDITIONAL PROPERTY.**

1.1 Additional Property. The Grantor declares that all of that real property platted as Pristine Meadows Subdivision No. 2, according to the official plat thereof, recorded in Book 98 of Plats at Pages 12362-12366 (the "**Additional Property**") is made subject to the CC&Rs, and that the CC&Rs shall run with the title to the Additional Property, and the CC&Rs shall be binding upon the future owners of any portion of the Additional Property, their respective heirs, successors, successors in title, and assigns.

1.2 Common Area. The following lots in the Additional Property are hereby designated as Common Areas, as defined in the CC&Rs:

Lots 23 and 31, Block 3 of Pristine Meadows Subdivision No. 2;  
Lot 16, Block 5 of Pristine Meadows Subdivision No. 2; Lot 1,  
Block 6 of Pristine Meadows Subdivision No. 2; Lot 1, Block 7 of  
Pristine Meadows Subdivision No. 2; Lot 1, Block 8 of Pristine  
Meadows Subdivision No. 2; Lot 1, Block 10 of Pristine Meadows  
Subdivision No. 2; and Lot 1, Block 11 of Pristine Meadows

Subdivision No. 2, according to the official plat thereof, filed in Book 98 of Plats at Page 12362-12366, records of Ada County, Idaho.

1.3 Building Lots. Each of the lots of the Additional Property that are not designated as Common Area are hereby designated as 'Building Lots' in Pristine Meadows Subdivision (Pavilion) and shall be considered 'Property' as those terms are defined in the CC&Rs.

1.4 Definitions. All capitalized terms used herein that are not defined shall have the same meanings and definitions as such terms are defined in the CC&Rs.

1.5 Consent. The undersigned owners of the Additional Property consent to this Supplemental Declaration and that the Building Lots owned by them are subject to the CC&Rs.

[Signatures found on following pages.]

IN WITNESS WHEREOF, Grantor has caused this Supplemental Declaration to the CC&Rs to be executed this 27<sup>th</sup> day of October, 2015, and made effective upon the recordation of this Supplemental Declaration.

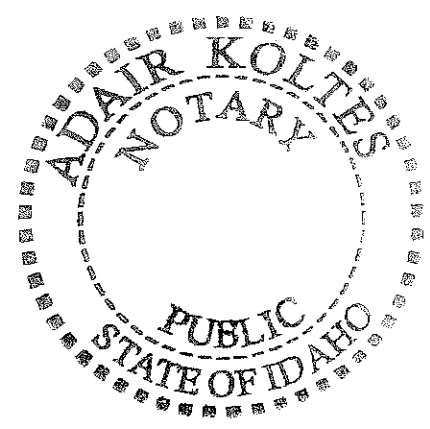
Corey Barton Homes, Inc.  
dba CBH Homes

By [Signature]  
Corey D. Barton, its President

STATE OF IDAHO, )  
  ) ss.  
County of Ada.            )

On this 27<sup>th</sup> day of October, in the year 2015, before me, a Notary Public in and for said State, personally appeared Corey D. Barton, known or identified to me to be the President of Corey Barton Homes, Inc., who executed the within instrument or the person who executed the instrument on behalf of said corporation, and acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Adair Koltjes  
Notary Public for Idaho  
Residing at: Nampa, ID  
Commission expires: 6-05-16

**CONSENT**

Shawn F. Watters, as Owner of Lot16, Block 3, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_   
 Shawn F. Watters

Date: \_\_\_\_\_

STATE OF IDAHO, )   
 : ss.   
 County of Ada. )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Shawn F. Watters, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Lori L. Watters, as Owner of Lot16, Block 3, Pristine Meadows Subdivision No. 2 (the "Subject Lot"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_  
Lori L. Watters

Date: \_\_\_\_\_

STATE OF IDAHO, )  
                                  : ss.  
County of Ada.   )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Lori L. Watters, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_



**CONSENT**

Jacob Hughes, Owner of Lot 17, Block 3, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Jacob Hughes

Date: \_\_\_\_\_

STATE OF IDAHO, )  
  : ss.  
County of Ada.       )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Jacob Hughes, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Erin Hughes, Owner of Lot 17, Block 3, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_  
Erin Hughes

Date: \_\_\_\_\_

STATE OF IDAHO, )  
                                : ss.  
County of Ada.    )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Erin Hughes, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Jesse Flores, Owner of Lot 18, Block 3, Pristine Meadows Subdivision No. 2 (the "Subject Lot") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Jesse Flores

Date: \_\_\_\_\_

STATE OF IDAHO, )  
                                  : ss.  
County of Ada.     )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Jesse Flores, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Edith M. Flores, Owner of Lot 18, Block 3, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_   
Edith M. Flores

Date: \_\_\_\_\_

STATE OF IDAHO, )  
                              : ss.  
County of Ada.        )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Edith M. Flores, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_

**CONSENT**

Preston G. Ellingford, Owner of Lot 20, Block 3, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Preston G. Ellingford

Date: \_\_\_\_\_

STATE OF IDAHO, )  
  : ss.  
County of Ada.     )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Preston G. Ellingford, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires:\_\_\_\_\_

**CONSENT**

Malia C. Ellingford, Owner of Lot 20, Block 3, Pristine Meadows Subdivision No. 2 (the **"Subject Lot"**), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_   
 Malia C. Ellingford

Date: \_\_\_\_\_

STATE OF IDAHO, )   
                                : ss.   
 County of Ada.   )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Malia C. Ellingford, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
 Notary Public for Idaho  
 Residing at \_\_\_\_\_, Idaho  
 Commission expires: \_\_\_\_\_

**CONSENT**

The Owner of Lot12, Block 5, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

Jenny Kaylor  
 Jenny Kaylor

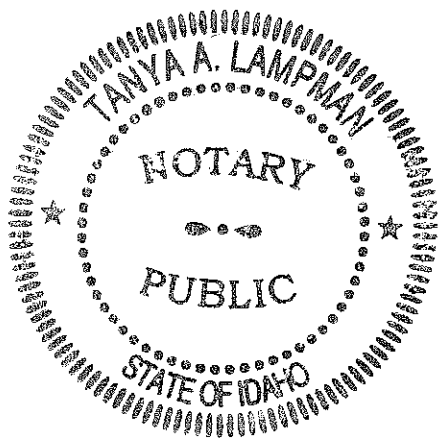
Date: 11/6/15

STATE OF IDAHO, )  
                               : ss.  
 County of Ada.    )

On this 6th day of November, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Jenny Kaylor, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)



Tanya A. Lampman  
 Notary Public for Idaho  
 Residing at Middleton, Idaho  
 Commission expires: 7/16/16

**CONSENT**

Eric Victor, Owner of Lot 14, Block 5, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges his consent by executing this instrument as of the date listed below his name.

\_\_\_\_\_  
Eric Victor

Date: \_\_\_\_\_

STATE OF IDAHO, )  
  : ss.  
County of Ada.    )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Eric Victor, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires: \_\_\_\_\_



**CONSENT**

Emily Victor, Owner of Lot 14, Block 5, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**"), consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_  
Emily Victor

Date: \_\_\_\_\_

STATE OF IDAHO, )

: ss.

County of Ada. )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Emily Victor, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

\_\_\_\_\_  
Notary Public for Idaho

Residing at \_\_\_\_\_, Idaho

Commission expires: \_\_\_\_\_



**CONSENT**

Sammy Layton, Owner of Lot 15, Block 5, Pristine Meadows Subdivision No. 2 (the "**Subject Lot**") consents to the foregoing Supplemental Declaration annexing the Subject Lot into Pristine Meadows Subdivision, and acknowledges her consent by executing this instrument as of the date listed below her name.

\_\_\_\_\_   
 Sammy Layton

Date: \_\_\_\_\_

STATE OF IDAHO, )  
 : ss.  
County of Ada. )

On this \_\_\_\_ day of \_\_\_\_\_, 2015, before me, the undersigned, a Notary Public in and for said State, personally appeared Sammy Layton, known and identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(SEAL)

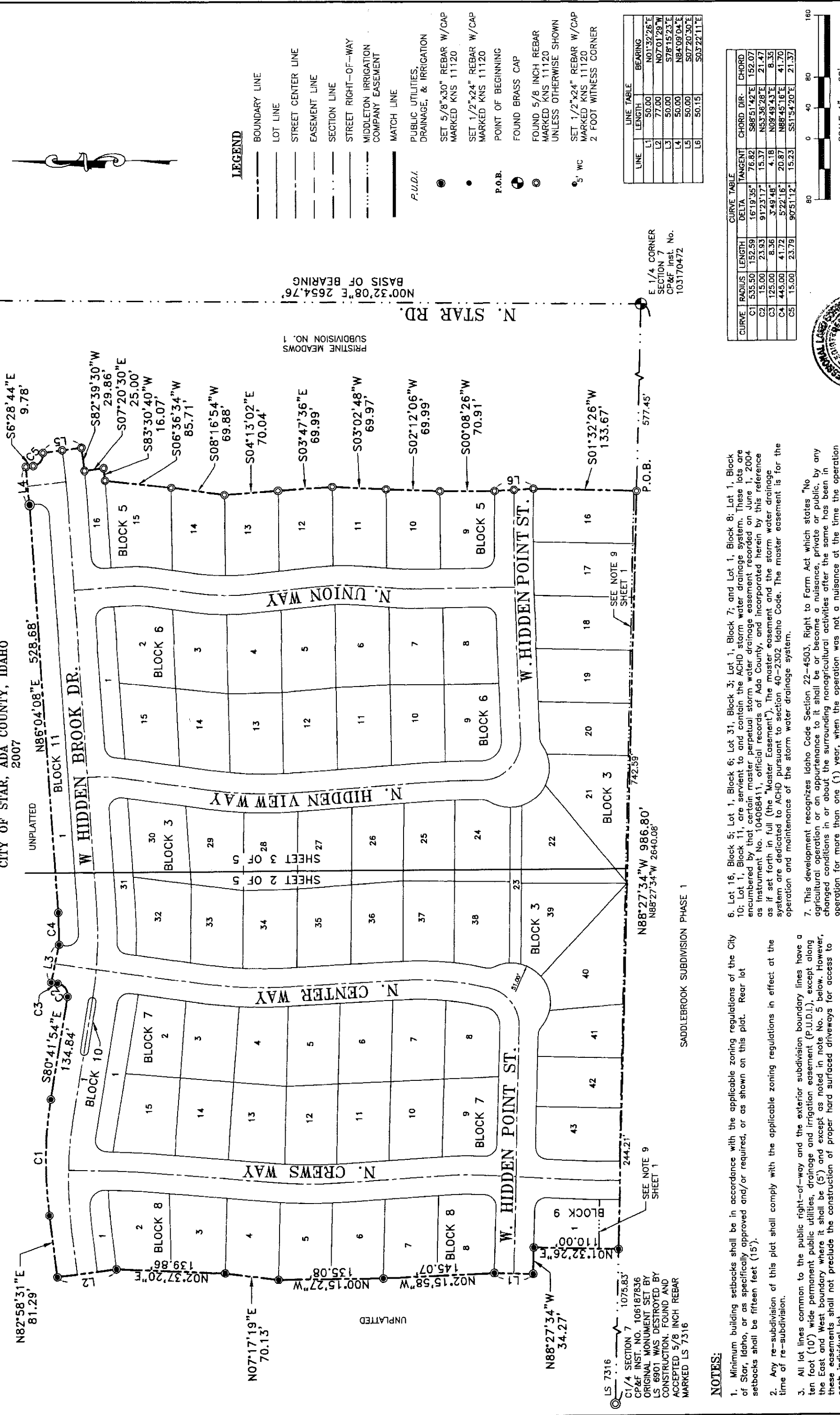
\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_, Idaho  
Commission expires:\_\_\_\_\_

PK 98 1262

# FINAL PLAT FOR PRISTINE MEADOWS SUBDIVISION NO. 2

A PORTION OF THE S1/2 OF THE NE1/4 OF SECTION 7 TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN CITY OF STAR, ADA COUNTY, IDAHO 2007

CP&F Inst. No. 105125343



**LEGEND**

- BOUNDARY LINE
- LOT LINE
- STREET CENTER LINE
- EASEMENT LINE
- SECTION LINE
- STREET RIGHT-OF-WAY
- MIDDLETON IRRIGATION COMPANY EASEMENT
- MATCH LINE

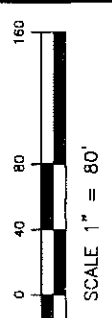
- P.U.D.I.
- PUBLIC UTILITIES, DRAINAGE, & IRRIGATION
  - SET 5/8"x30" REBAR W/CAP MARKED KNS 11120
  - SET 1/2"x24" REBAR W/CAP MARKED KNS 11120
  - P.O.B.
  - FOUND BRASS CAP
  - FOUND 5/8 INCH REBAR MARKED KNS 11120 UNLESS OTHERWISE SHOWN
  - SET 1/2"x24" REBAR W/CAP MARKED KNS 11120 2 FOOT WITNESS CORNER

**LINE TABLE**

LINE	LENGTH	BEARING
L1	50.00	N01°32'26"E
L2	77.00	N07°01'29"W
L3	50.00	S78°15'23"E
L4	50.00	N84°09'04"E
L5	50.00	S07°20'30"E
L6	50.15	S03°22'11"E

**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIR.	CHORD
C1	535.50	152.59	16°19'35"	76.82	S88°51'42"E	192.07
C2	15.00	23.83	91°23'17"	15.37	N53°36'28"E	21.47
C3	125.00	8.36	3°49'48"	4.18	N09°49'43"E	8.35
C4	445.00	41.72	5°22'16"	20.87	N88°45'16"E	41.70
C5	15.00	23.79	90°51'12"	15.23	S51°54'20"E	21.37



**PINNACLE**  
Engineers, Inc.  
12552 W. Executive Dr., Suite B, Boise, Idaho 83713  
(208) 887-7760

DRAWING NO. C056141\_LFP  
SHEET 1 OF 5

- NOTES:**
- Minimum building setbacks shall be in accordance with the applicable zoning regulations of the City of Star, Idaho, or as specifically approved and/or required, or as shown on this plat. Rear lot setbacks shall be fifteen feet (15').
  - Any re-subdivision of this plat shall comply with the applicable zoning regulations in effect at the time of re-subdivision.
  - All lot lines common to the public right-of-way and the exterior subdivision boundary lines have a ten foot (10') wide permanent public utilities, drainage and irrigation easement (P.U.D.I.) centered along said lot line as noted in note No. 5 below. However, the East and West boundary where it shall be (5') and except as noted in note No. 5 below. However, these easements shall not preclude the construction of proper hard surfaced driveways for access to each individual lot.
  - All interior lot lines shall have a ten foot (10') wide permanent public utilities, drainage and irrigation easement (P.U.D.I.) centered along said lot line as noted in note No. 5 below.
  - Lot 23, Block 3; Lot 31, Block 3; Lot 16, Block 5; Lot 1, Block 6; Lot 1, Block 7; Lot 1, Block 8; Lot 1, Block 10; and Lot 1, Block 11 are common lots owned and maintained by Pristine Meadows Subdivision No. 2 Homeowners Association, and shall have a blanket public utilities, drainage and irrigation easement (P.U.D.I.).
  - Lot 16, Block 5; Lot 1, Block 6; Lot 31, Block 3; Lot 1, Block 7; and Lot 1, Block 8; Lot 1, Block 10; Lot 1, Block 11, are servient to and contain the ACHD storm water drainage system. These lots are encumbered by that certain master perpetual storm water drainage easement recorded on June 1, 2004 as Instrument No. 104068411, official records of Ada County, and incorporated herein by this reference as if set forth in full (the "Master Easement"). The master easement and the storm water drainage system are dedicated to ACHD pursuant to section 40-2302 Idaho Code. The master easement is for the operation and maintenance of the storm water drainage system.
  - This development recognizes Idaho Code Section 22-4503, Right to Farm Act which states "No agricultural operation or an appurtenance to it shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after the same has been in operation for more than one (1) year, when the operation was not a nuisance at the time the operation began; provided that the provisions of this section shall not apply whenever a nuisance results from the improper or negligent operation of any agricultural operation or appurtenance to it."
  - A blanket public right-of-way easement for sidewalks is located in Lot 16, Block 5; Lot 1, Block 6; Lot 31, Block 3; Lot 1, Block 7; Lot 1, Block 8; and Lot 1, Block 11 as recorded under Instrument No. 106124850, Ada County, Idaho.
  - An easement in favor of Middleton Mill Ditch Company, Middleton Irrigation Association, Inc.; and Flaks Ditch Company, Ltd. for the purpose of operation and maintenance is granted along Lots 16 through 22, and 39 through 43, Block 3, and Lot 1, Block 9, as shown on Sheet 2 and 3.

LS 7316  
C1/4 SECTION 7 1075.83  
CP&F INST. NO. 108187836  
ORIGINAL MONUMENT SET BY  
LS 6901 WAS DESTROYED BY  
CONSTRUCTION. FOUND AND  
ACCEPTED 5/8 INCH REBAR  
MARKED LS 7316

SADDLEBROOK SUBDIVISION PHASE 1

N88°27'34"W 986.80'  
N88°27'34"W 2640.08'

P.O.B.  
577.45'

E 1/4 CORNER  
SECTION 7  
CP&F Inst. No.  
103170472

N00°32'08"E 2654.76'  
BASIS OF BEARING

PRISTINE MEADOWS SUBDIVISION NO. 1

BK 98 pg 1263

# FINAL PLAT FOR PRISTINE MEADOWS SUBDIVISION NO. 2

A PORTION OF THE S1/2 OF THE NE1/4 OF SECTION 7 TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN CITY OF STAR, ADA COUNTY, IDAHO 2007

### LEGEND

- BOUNDARY LINE
- LOT LINE
- STREET CENTER LINE
- EASEMENT LINE
- SECTION LINE
- STREET RIGHT-OF-WAY
- IRRIGATION EASEMENT
- MATCH LINE

P.U.D.I.

PUBLIC UTILITIES, DRAINAGE, & IRRIGATION

SET 5/8"x30" REBAR W/CAP MARKED KNS 11120

SET 1/2"x24" REBAR W/CAP MARKED KNS 11120

POINT OF BEGINNING

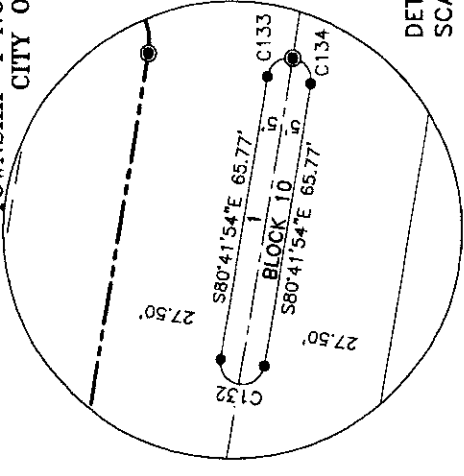
FOUND BRASS CAP

FOUND 5/8" INCH REBAR MARKED KNS 11120 UNLESS OTHERWISE SHOWN

CALCULATED POINT

SET 1/2"x24" REBAR W/CAP MARKED KNS 11120

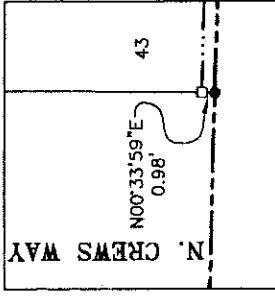
2 FOOT WITNESS CORNER



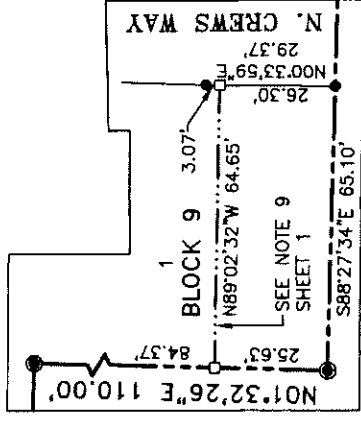
DETAIL "A" SCALE 1"=30'

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIR	CHORD
C1	535.50	152.59	16°19'35"	76.82	S88°51'42"E	152.07
C2	15.00	23.93	91°23'17"	15.37	N53°38'28"E	21.47
C3	125.00	8.36	3°49'48"	4.18	N09°49'43"E	8.35
C4	445.00	41.72	5°22'16"	20.87	N88°45'16"E	41.70
C5	520.00	44.62	4°54'58"	22.32	N89°31'37"E	44.60
C6	525.00	47.00	8°24'52"	23.51	S49°36'25"W	49.83
C7	525.00	47.00	5°07'44"	23.51	S05°39'53"W	46.98
C8	525.00	47.00	5°22'09"	23.51	S00°09'57"W	53.76
C9	425.00	2.63	0°21'18"	1.32	N02°35'28"W	2.63
C10	425.00	66.25	6°55'54"	33.19	N02°03'08"E	66.19
C11	425.00	66.25	5°44'44"	33.19	N09°23'27"E	42.60
C12	15.00	20.87	38°02'43"	5.17	S06°45'32"E	9.78
C13	51.00	15.13	16°59'45"	7.62	N06°09'31"E	15.07
C14	51.00	30.58	34°21'00"	15.76	N31°49'54"E	30.12
C15	51.00	48.02	53°57'08"	25.96	N75°58'58"E	46.27
C16	51.00	24.76	27°49'08"	12.53	S63°07'54"E	24.52
C17	15.00	10.27	39°14'14"	5.35	N88°50'27"W	10.07
C18	15.00	23.12	88°19'08"	14.57	S47°22'52"W	20.90
C19	475.00	22.01	2°39'18"	11.01	S01°53'38"W	22.01
C20	525.00	24.33	2°39'19"	12.17	S01°53'38"W	24.33
C21	15.00	24.00	91°40'52"	15.45	N42°37'08"W	21.52
C22	15.00	23.28	88°55'40"	14.72	N36°14'04"W	21.01
C23	575.00	61.10	6°05'19"	30.58	S00°16'32"W	61.08
C24	375.00	55.68	8°30'25"	27.89	N01°29'05"E	55.63
C25	375.00	51.63	7°53'16"	25.85	N09°40'56"E	51.58
C26	25.00	34.00	77°54'52"	20.21	N52°35'00"E	31.44
C27	425.00	24.02	91°45'31"	15.47	S42°34'49"W	21.54
C28	425.00	24.02	6°51'29"	25.47	N00°07'48"W	50.84
C29	525.00	67.06	7°19'08"	33.57	S00°30'57"W	67.01
C30	525.00	67.06	0°54'09"	4.14	S04°37'34"W	8.27
C31	725.00	44.75	3°32'13"	22.38	N03°18'52"E	44.75
C32	484.00	28.48	3°22'19"	14.25	S84°39'41"W	28.48
C33	20.00	33.23	95°11'36"	21.80	N46°03'22"W	29.54
C34	675.00	41.67	3°32'13"	20.84	N03°18'52"E	41.66
C35	575.00	6.42	0°38'22"	3.21	S04°45'27"W	6.42
C36	575.00	67.23	6°41'56"	33.65	S01°05'18"W	67.19
C37	575.00	67.23	1°17'52"	6.51	S02°54'36"E	13.02
C38	575.00	13.02	1°17'52"	6.51	S02°54'36"E	13.02
C39	525.00	100.78	10°58'53"	50.54	S02°43'49"W	100.82
C40	425.00	110.37	10°58'53"	55.56	S02°43'49"W	110.20
C41	425.00	111.50	15°01'56"	56.07	N04°44'51"E	111.18
C42	100.00	37.50	16°23'41"	54.02	N05°25'43"E	106.94
C43	51.00	139.36	156°33'34"	245.83	N52°29'53"E	99.87
C44	525.00	79.13	8°38'11"	39.64	S00°45'33"W	79.06
C45	525.00	66.67	8°38'11"	33.65	S00°45'33"W	66.59
C46	510.00	79.24	8°54'08"	39.70	S07°25'35"W	79.16
C47	510.00	66.08	7°25'26"	33.09	N84°24'37"W	66.04
C48	510.00	145.32	16°19'35"	73.16	N88°51'42"W	144.83
C49	495.00	77.58	8°58'47"	38.87	S88°26'28"E	77.50
C50	495.00	36.74	4°15'11"	18.36	S87°49'30"E	36.74
C51	495.00	114.32	13°13'58"	57.42	S87°18'53"E	114.07
C52	590.00	105.57	10°59'53"	52.95	S02°43'49"W	105.41
C53	400.00	114.46	16°23'41"	57.62	N05°25'43"E	114.07
C54	400.00	34.00	38°57'26"	17.66	N33°06'17"E	33.35
C55	400.00	34.00	38°57'26"	17.66	N72°03'43"E	33.35
C56	50.00	67.99	7°54'52"	40.43	N82°36'00"E	62.87
C57	700.00	43.21	3°32'13"	21.61	N82°36'00"E	43.20
C58	400.00	82.90	8°38'11"	41.53	S00°45'33"W	82.82
C59	400.00	47.34	6°48'50"	23.70	S00°45'33"W	47.31
C60	500.00	23.17	2°39'19"	11.59	S01°53'38"W	23.17
C61	500.00	15.71	18°00'00"	INFINITE	S08°18'06"W	10.00
C62	500.00	7.85	90°00'00"	5.00	N35°14'54"W	7.07
C63	500.00	7.85	90°00'00"	5.00	N54°18'06"E	7.07
C64	470.00	29.80	90°00'00"	5.00	N87°53'08"E	29.80
C65	15.00	25.79	96°31'36"	17.42	S41°02'03"E	22.73
C66	75.00	5.01	3°49'48"	2.51	S09°49'43"W	5.01
C67	545.00	63.12	6°38'10"	31.60	N89°23'13"E	63.09
C68	459.00	46.61	5°49'05"	23.32	S85°53'04"W	46.58
C69	100.00	6.68	3°49'48"	3.34	S09°49'43"W	6.68

LINE	LENGTH	BEARING
L1	50.00	N01°32'26"E
L2	77.00	N07°01'29"W
L3	50.00	S78°15'23"E
L7	3.08	N08°13'46"E
L8	29.80	N00°33'59"E



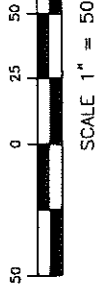
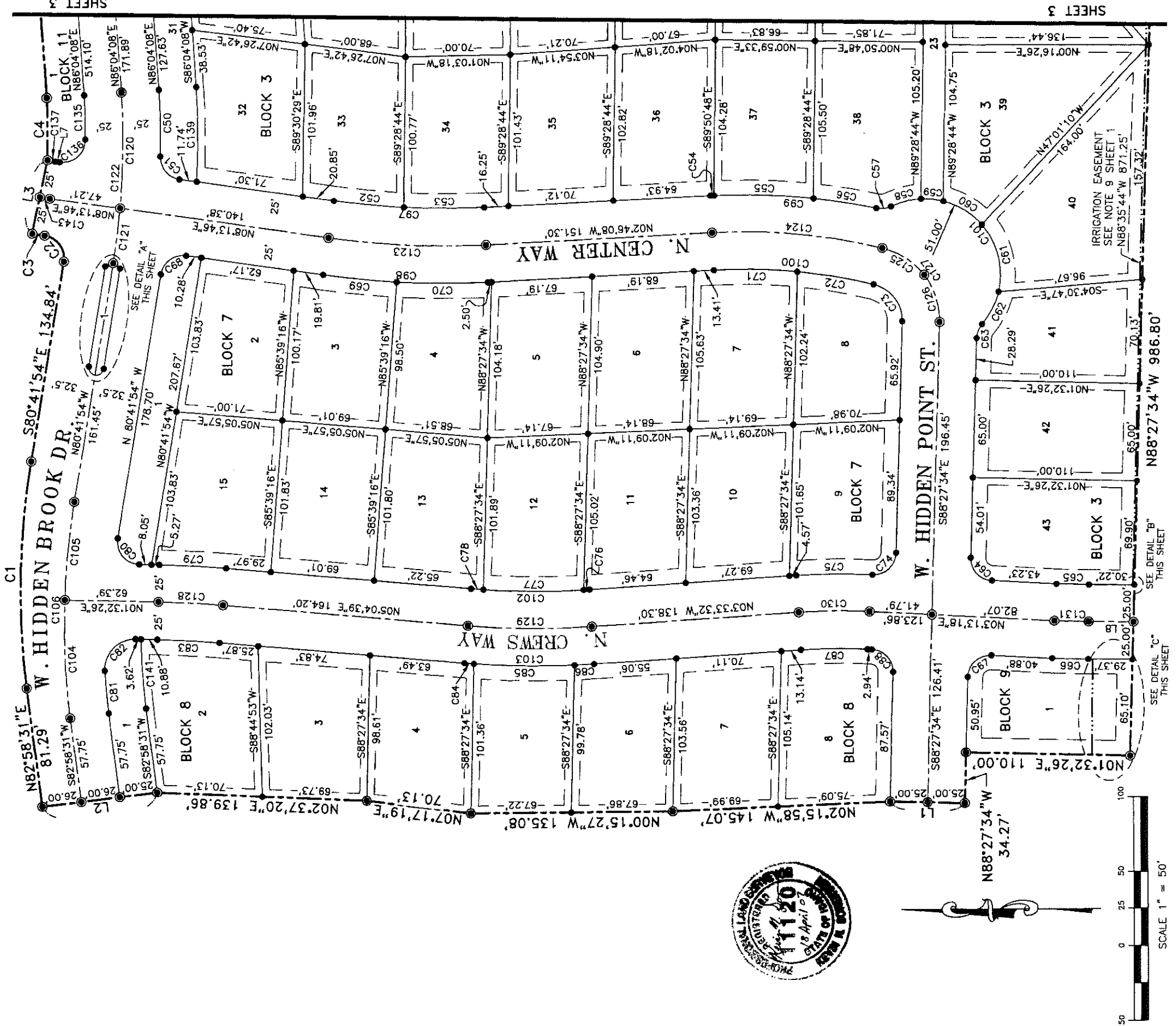
DETAIL "B" SCALE 1"=10'



DETAIL "C" SCALE 1"=30'

DRAWING NO. C056141\_FFP SHEET 2 OF 5

**PINNACLE**  
**Engineers, Inc.**  
 12552 W. Executive Dr., Suite B, Boise, Idaho 83713  
 (208) 887-7760



BK 98 PG 12864

# FINAL PLAT FOR PRISTINE MEADOWS SUBDIVISION NO. 2

A PORTION OF THE S1/2 OF THE NE1/4 OF SECTION 7 TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN CITY OF STAR, ADA COUNTY, IDAHO 2007



### LEGEND

- BOUNDARY LINE
- LOT LINE
- STREET CENTER LINE
- EASEMENT LINE
- SECTION LINE
- STREET RIGHT-OF-WAY
- IRRIGATION EASEMENT
- MATCH LINE
- P.U.D.I.
- PUBLIC UTILITIES, DRAINAGE, & IRRIGATION
- SET 5/8"x30" REBAR W/CAP MARKED KNS 11120
- SET 1/2"x24" REBAR W/CAP MARKED KNS 11120
- POINT OF BEGINNING
- FOUND BRASS CAP
- FOUND 5/8 INCH REBAR MARKED KNS 11120 UNLESS OTHERWISE SHOWN
- CALCULATED POINT
- SET 1/2"x24" REBAR W/CAP MARKED KNS 11120 2 FOOT WITNESS CORNER



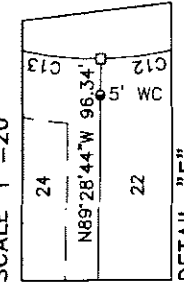
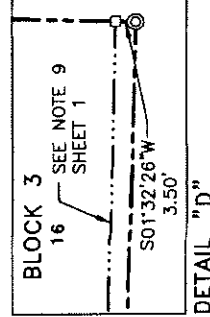
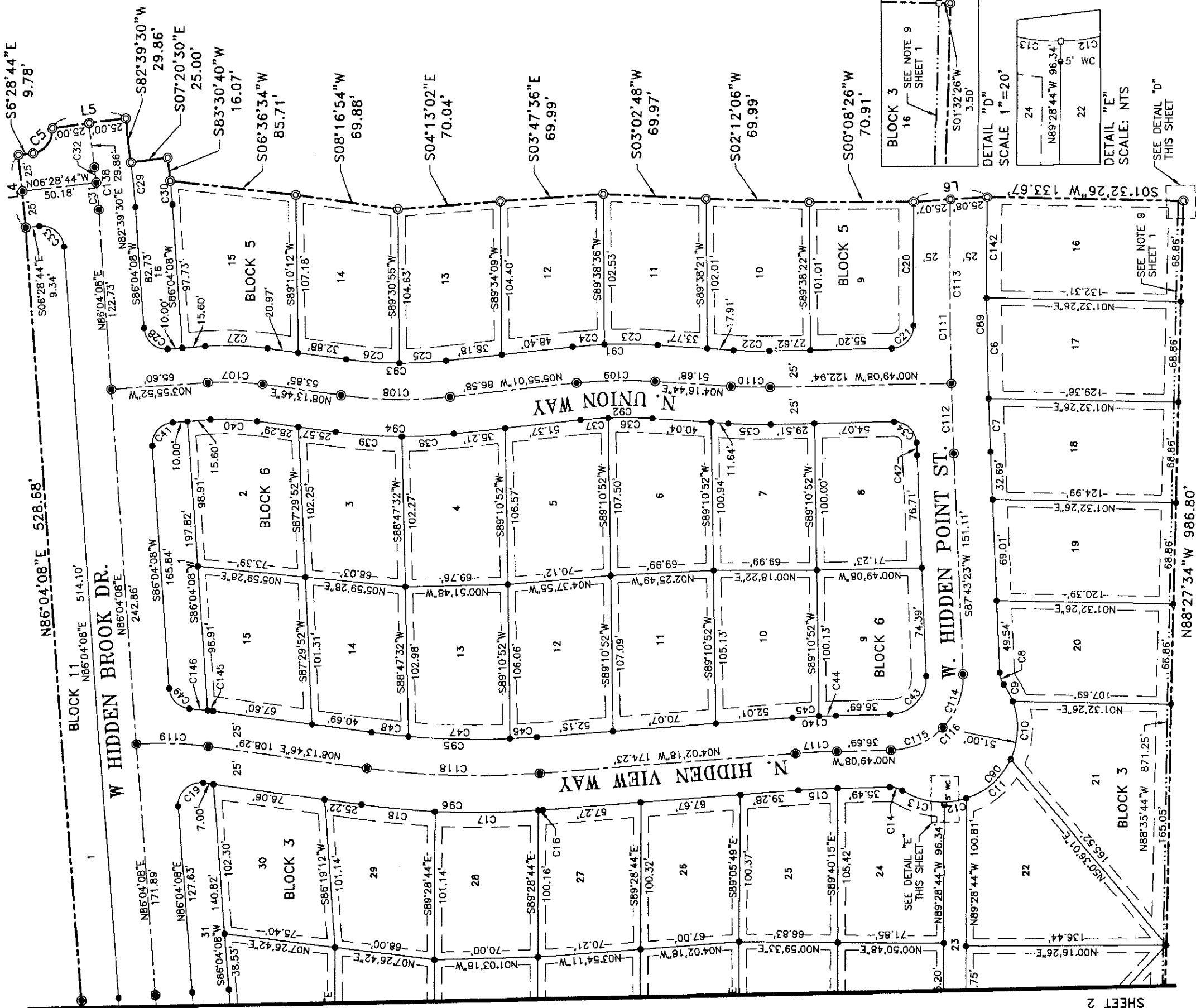
SCALE 1" = 50'

DRAWING NO. C056141\_FP SHEET 3 OF 5

**PINNACLE**  
Engineers, Inc.  
12552 W. Executive Dr., Suite B, Boise, Idaho 83713  
(208) 887-7760

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIR	CHORD
C5	15.00	23.79	90°51'12"	15.23	S51°54'20"E	21.37
C6	2975.00	68.92	1°19'39"	34.46	S89°05'10"W	68.92
C7	2975.00	36.31	0°41'57"	18.15	S86°04'22"W	36.31
C8	15.00	8.63	32°58'50"	4.44	S71°13'58"W	8.52
C9	15.00	13.17	14°42'51"	6.62	N62°08'29"E	13.13
C10	51.00	41.13	46°12'18"	21.76	S87°21'26"E	40.02
C11	51.00	41.47	46°35'37"	21.96	S40°57'28"E	40.34
C12	51.00	15.27	17°09'19"	7.69	S09°05'00"E	15.21
C13	51.00	29.83	33°30'56"	15.36	N16°15'07"E	29.41
C14	51.00	8.86	33°48'44"	4.56	N16°05'44"E	8.73
C15	475.00	26.89	5°13'09"	13.35	N02°25'43"W	26.69
C16	575.00	2.95	0°17'38"	1.47	S03°53'28"E	2.95
C17	575.00	70.02	6°58'39"	35.05	S00°15'20"E	69.98
C18	575.00	50.14	4°59'46"	25.09	S05°43'52"W	50.12
C19	15.00	26.75	102°09'37"	18.58	N42°51'03"W	23.34
C20	3025.00	84.89	1°56'28"	42.45	N89°48'04"W	84.88
C21	15.00	23.51	89°47'10"	14.94	S45°42'43"E	21.17
C22	275.00	24.47	5°05'52"	12.24	S01°43'48"W	24.46
C23	325.00	36.23	6°23'16"	18.14	N01°05'06"E	36.22
C24	325.00	21.60	3°48'29"	10.80	N04°00'47"W	21.60
C25	275.00	31.83	6°37'51"	15.93	S02°36'05"E	31.81
C26	275.00	36.07	7°30'55"	18.06	S04°28'18"W	36.05
C27	200.00	42.45	12°09'37"	21.30	N02°08'57"E	42.37
C28	15.00	23.56	90°00'00"	15.00	S41°04'08"W	21.21
C29	515.00	30.66	3°24'38"	15.33	N84°21'49"E	30.65
C30	540.00	16.07	1°42'19"	8.04	N85°12'59"E	16.07
C31	490.00	17.99	2°06'13"	9.00	N85°01'02"E	17.99
C32	490.00	11.18	1°18'25"	5.59	N83°18'43"E	11.18
C33	15.00	24.23	92°32'53"	15.68	N39°47'42"E	21.68
C34	15.00	23.22	88°42'22"	14.66	N43°32'02"E	20.97
C35	325.00	28.92	5°05'52"	14.47	S01°43'48"W	28.91
C36	275.00	30.11	6°18'23"	15.07	N01°08'33"E	30.09
C37	275.00	18.83	3°55'22"	9.42	N03°57'20"W	18.82
C38	325.00	35.42	6°14'39"	17.73	S02°47'41"E	35.40
C39	325.00	44.82	7°54'07"	22.45	S04°16'42"W	44.79
C40	150.00	31.84	12°09'37"	15.98	N02°08'57"E	31.78
C41	15.00	23.56	90°00'00"	15.00	N48°55'52"W	21.21
C42	3025.00	86.65	0°09'50"	43.33	S87°48'18"W	86.65
C43	25.00	39.91	91°27'28"	25.64	S46°32'53"E	35.80
C44	525.00	11.43	1°14'52"	5.72	N01°26'36"W	11.43
C45	525.00	18.06	1°58'17"	9.03	N03°03'09"W	18.06
C46	525.00	17.91	1°57'17"	8.96	S03°03'39"E	17.91
C47	525.00	69.18	7°33'00"	34.64	S01°41'29"W	69.13
C48	525.00	25.32	2°45'46"	12.66	S06°50'53"W	25.31
C49	15.00	21.33	81°28'37"	12.92	S45°19'50"W	19.58
C50	2975.00	174.11	3°21'11"	87.08	S89°23'58"W	174.08
C51	51.00	140.88	196°16'16"	265.73	S46°07'18"E	100.17
C52	325.00	57.83	10°11'45"	28.99	N00°49'08"W	57.76
C53	275.00	48.94	10°11'45"	24.53	N00°49'08"W	48.67
C54	275.00	67.90	14°08'47"	34.12	S01°08'22"W	67.72
C55	325.00	80.24	14°08'47"	40.33	S01°08'22"W	80.04
C56	525.00	112.41	12°16'03"	56.42	S02°05'44"W	112.19
C57	575.00	123.11	12°16'03"	61.79	S02°05'44"W	122.88
C58	175.00	37.14	12°09'37"	18.64	N02°08'57"E	37.07
C59	300.00	74.07	14°08'47"	37.22	S01°08'22"W	73.88
C60	300.00	53.39	10°11'45"	26.76	N00°49'08"W	53.31
C61	300.00	28.89	5°05'52"	13.36	S01°43'48"W	28.88
C62	3000.00	125.95	2°24'20"	62.98	S89°50'11"W	125.94
C63	3000.00	47.68	0°54'38"	23.84	S89°10'42"W	47.68
C64	3000.00	173.63	3°18'58"	86.84	S89°22'52"W	173.60
C65	50.00	40.28	46°09'39"	21.31	S69°11'50"E	39.20
C66	50.00	39.53	45°17'34"	20.86	S23°28'06"E	38.51
C67	50.00	79.81	91°27'28"	51.29	S46°32'53"E	71.60
C68	500.00	26.09	3°13'09"	14.05	N02°25'43"W	26.09
C69	500.00	117.76	12°16'03"	59.11	S02°05'44"W	117.54
C70	225.89	48.79	12°09'37"	24.49	N02°08'57"E	48.70
C71	490.00	28.17	3°24'38"	14.59	N84°21'49"E	28.16
C72	525.00	29.50	3°13'09"	14.75	N02°25'43"W	29.49
C73	254.89	3.77	0°50'52"	1.89	N07°48'20"E	3.77
C74	254.89	12.41	2°47'22"	6.21	N05°58'13"E	12.41

LINE	LENGTH	BEARING
L4	50.00	N84°08'04"E
L5	50.00	S07°20'30"E
L6	50.15	S03°22'11"E



SHEET 2

PX 98 PG 12365

# FINAL PLAT OF PRISTINE MEADOWS SUBDIVISION NO. 2

## CERTIFICATE OF OWNERS

Know all men by these presents, that Kastera Pavilion Commons, LLC is the owner of the real property hereafter described:

A parcel of land situated in the S1/2 of the NE1/4 of Section 7, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho, and more particularly described as follows:

Commencing at a brass cap monument marking the E1/4 corner of said Section 7 from which a brass cap monument marking the NE corner of said Section 7 bears N00°32'08"E a distance of 2654.76 feet, thence along the South line of said S1/2 of the NE1/4 N88°27'34"W a distance of 577.45 feet to a 5/8 inch rebar marking the SW corner of Pristine Meadows Subdivision No. 1 as recorded in the official records of Ada County, Idaho, in Book 95 at Pages 11741 through 11744 and on the North boundary line of Saddlebrook Subdivision Phase 1 as recorded in the official records of Ada County, Idaho, in Book 87 at Pages 9841 through 9845 and being the POINT OF BEGINNING;

Thence along the line common to said South line and said North boundary line N88°27'34"W a distance of 986.80 feet to a 5/8 inch rebar;

Thence leaving said South line N01°32'26"E a distance of 110.00 feet to a 5/8 inch rebar;

Thence N88°27'34"W a distance of 34.27 feet to a 5/8 inch rebar;

Thence N01°32'26"E a distance of 50.00 feet to a 5/8 inch rebar;

Thence N07°15'58"W a distance of 145.07 feet to a 5/8 inch rebar;

Thence N00°15'27"W a distance of 135.08 feet to a 5/8 inch rebar;

Thence N07°17'19"E a distance of 70.13 feet to a 5/8 inch rebar;

Thence N02°37'20"E a distance of 139.86 feet to a 5/8 inch rebar;

Thence N07°01'29"W a distance of 77.00 feet to a 5/8 inch rebar;

Thence N82°58'31"E a distance of 81.29 feet to a 5/8 inch rebar;

Thence along the arc of a curve to the right having a radius of 535.50 feet, an arc length of 152.59 feet, a central angle of 16°19'35", a chord bearing S88°51'42"E a distance of 152.07 feet to a 5/8 inch rebar;

Thence S80°41'54"E a distance of 134.84 feet to a 5/8 inch rebar;

Thence along the arc of a curve to the left having a radius of 15.00 feet, an arc length of 23.93 feet, a central angle of 91°23'17", a chord bearing N53°36'28"E a distance of 21.47 feet to a 5/8 inch rebar;

Thence along the arc of a curve to the right having a radius of 125.00 feet, an arc length of 8.36 feet, a central angle of 3°49'48", a chord bearing N09°49'43"E a distance of 8.35 feet to a 5/8 inch rebar;

Thence S78°15'23"E a distance of 50.00 feet to a 5/8 inch rebar;

Thence along the arc of a curve to the left having a radius of 445.00 feet, an arc length of 41.72 feet, a central angle of 5°22'16", and a chord bearing N88°45'16"E a distance of 41.70 feet to a 5/8 inch rebar;

Thence N86°04'08"E a distance of 528.68 feet to a 5/8 inch rebar marking the NW corner of said Pristine Meadows Subdivision No. 1;

Thence along the West boundary line of said Pristine Meadows Subdivision No. 1 the following courses, S06°28'44"E a distance of 9.78 feet to a 5/8 inch rebar;

Thence along the arc of a curve to the left having a radius of 15.00 feet, an arc length of 23.79 feet, a central angle of 90°51'12", a chord bearing S51°54'20"E a distance of 21.37 feet to a 5/8 inch rebar;

Thence S07°20'30"E a distance of 50.00 feet to a 5/8 inch rebar;

Thence S82°39'30"W a distance of 29.86 feet to a 5/8 inch rebar;

Thence S07°20'30"E a distance of 25.00 feet to a 5/8 inch rebar;

Thence S83°30'40"W a distance of 16.07 feet to a 5/8 inch rebar;

Thence S08°36'34"W a distance of 85.71 feet to a 5/8 inch rebar;

Thence S08°16'54"W a distance of 89.88 feet to a 5/8 inch rebar;

Thence S04°13'02"E a distance of 70.04 feet to a 5/8 inch rebar;

Thence S03°47'36"E a distance of 69.99 feet to a 5/8 inch rebar;

Thence S03°02'48"W a distance of 89.97 feet to a 5/8 inch rebar;

Thence S02°12'06"W a distance of 89.99 feet to a 5/8 inch rebar;

Thence S00°08'26"W a distance of 70.91 feet to a 5/8 inch rebar;

Thence S03°22'11"E a distance of 50.15 feet to a 5/8 inch rebar;

Thence S01°32'26"W a distance of 133.67 feet to the POINT OF BEGINNING;

Said parcel contains 17.56 acres, more or less.

That it is the intention of the undersigned to and they hereby include said land in this plat. The easements indicated on said plat are not dedicated to the public but the right to use said easements is perpetually reserved for public utilities and for such other uses as designated hereon and no structure other than for such utility purposes are to be erected within the limits of said easements.

The undersigned, by these presents, dedicates to the public all public streets as shown on this plat. All of the lots in this subdivision will receive water service from the Star Sewer and Water District which has agreed in writing to serve all lots.

Irrigation water has been provided from Middleton Irrigation District in compliance with Idaho Code 31-3805(b). Lots within the subdivision will be entitled to irrigation water rights, and will be obligated for assessments from Middleton Irrigation District.

In witness whereof, I have set my hand this 6th day of April, year of 2007.

Kastera Pavilion Commons, LLC  
an Idaho limited liability company

By: Kastera Development, LLC, its manager

By: Kastera, LLC, its sole member

*Tam Morris*  
Tam Morris, Secretary and General Counsel of Kastera, L.L.C.

## CERTIFICATE OF ACKNOWLEDGMENT

STATE OF IDAHO) S.S.  
COUNTY OF ADA)

On this 6th day of April, in the year of 2007, before me, the undersigned, a notary public in and for the State of Idaho, personally appeared Tom Morris, known or identified to me to be Secretary and General Counsel of Kastera, L.L.C., which is a sole member of Kastera Development, L.L.C., which is a Manager of Kastera Pavilion Commons, L.L.C., an Idaho limited liability company, who subscribed said limited liability company's names to the foregoing instrument, and acknowledged to me that he executed the within instrument on behalf of said corporation, and that such corporation executed the same in said limited liability company's name.

*Kevin N. Sorensen*  
Notary Public for Idaho  
Residing at: ada city  
My commission expires on: 3-3-11

## CERTIFICATE OF SURVEYOR

I, Kevin N. Sorensen, do hereby state that I am a registered Professional Land Surveyor, licensed by the State of Idaho, and that this plat as described in the certificate of owners was drawn from an actual survey made on the ground by me or under my supervision, and accurately represents the points plotted thereon, and is in conformance with the State of Idaho Code relating to plats and surveys.



Kevin N. Sorensen  
P.L.S. 11120

# FINAL PLAT OF PRISTINE MEADOWS SUBDIVISION NO. 2

### CERTIFICATE OF SURVEYOR

I, Kevin N. Sorensen, do hereby state that I am a registered Professional Land Surveyor, licensed by the State of Idaho, and that this plat as described in the certificate of owners was drawn from an actual survey made on the ground by me or under my supervision, and accurately represents the points plotted thereon, and is in conformance with the State of Idaho Code relating to plats and surveys.



Kevin N. Sorensen P.L.S. 11120

### APPROVAL OF ADA COUNTY HIGHWAY DISTRICT

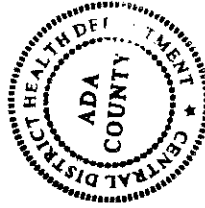
The foregoing plat was accepted and approved by the board of Ada County Highway District commissioners on this 15 day of December year of 2007.



\_\_\_\_\_  
Ada County Highway District Chairman

### APPROVAL OF CENTRAL DISTRICT HEALTH

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.



\_\_\_\_\_  
Central District Health Department

### APPROVAL OF STAR CITY ENGINEER

The foregoing plat was accepted and approved by the City Engineer of Star, Ada County, Idaho this 5<sup>th</sup> day of SEPTEMBER year of 2006.

R. J. H.  
Star City Engineer

### APPROVAL OF STAR CITY COUNCIL

The foregoing plat was accepted and approved this 15<sup>th</sup> day of SEPTEMBER year of 2007 by the City of Star, Ada County, Idaho.



\_\_\_\_\_  
Star City Clerk

### CERTIFICATE OF ADA COUNTY SURVEYOR

I, the undersigned, County Surveyor for Ada County, Idaho, do hereby certify that I have checked this plat and that it complies with the State of Idaho Code relating to plats and surveys.



Jerry L. Hattig  
Acting Ada County Surveyor  
PLS 5359 4-25-2007

### CERTIFICATE OF THE ADA COUNTY TREASURER

This is to certify that the undersigned, per the requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this plat have been paid in full. This certification is valid for the next thirty (30) days only.



Cecilia Sugarmy Maguire  
Ada County Treasurer  
Date: 4-30-07

### CERTIFICATE OF ADA COUNTY RECORDER

Instrument no. 107062927

STATE OF IDAHO) S.S.  
COUNTY OF ADA)

I hereby certify that this plat was filed at the request of Kastara Pavilion Commons, LLC at 09 minutes past 10 o'clock A.m. this 20<sup>th</sup> day of MAY, a.d. 2007, in my office and was duly recorded in book 13362 through 13366 of plats at pages 98.

J. F. MAW  
Deputy Recorder  
Fee: \$ 26.00  
J. P. MAW  
Ex-Officio Recorder



**FOURTH SUPPLEMENT TO MASTER DECLARATION OF COVENANTS,  
CONDITIONS AND RESTRICTIONS FOR PRISTINE MEADOWS SUBDIVISION**

This Fourth Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision ("Fourth Supplemental Declaration") is made this 25<sup>th</sup> day of March, 2021, by Challenger Development Inc., an Idaho corporation ("Grantor").

**ARTICLE I: SUPPLEMENT AND AUTHORITY**

**1.1 Supplement to Declaration.** This Fourth Supplemental Declaration is a supplement to:

- a. That certain Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on September 20, 2006, as Ada County, Idaho Instrument Number 106150795 ("Master Declaration"); and
- b. That certain First Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on November 13, 2015, as Ada County, Idaho Instrument Number 2015-104635 and re-recorded on November 18, 2015, as Ada County, Idaho Instrument Number 2015-105801 ("First Supplement"); and
- c. That certain First Amendment to the Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on January 7, 2016, as Ada County, Idaho Instrument Number 2016-001589 ("First Amendment"); and
- d. That certain Second Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on September 7, 2018, as Ada County, Idaho Instrument Number 2018-085188 ("Second Supplement"); and
- e. That certain Third Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on April 8, 2020, as Ada County, Idaho Instrument Number 2020-040716 ("Third Supplement").

The Master Declaration, First Supplement, First Amendment, Second Supplement and Third Supplement shall collectively be referred to herein as the "Existing CC&Rs".

This Fourth Supplemental Declaration supplements the Existing CC&Rs with respect to that certain real property legally described on the attached Exhibit A, which is made a part hereof ("Fourth Supplement Property"). The Fourth Supplement Property is shown on the Reunion Subdivision No. 3 final plat, a copy of which is attached hereto as Exhibit B, and made a part hereof ("Fourth Supplement Plat"). The covenants, conditions and restrictions contained in this Fourth Supplemental Declaration are in addition to those covenants, conditions and restrictions contained in the Existing CC&Rs, except insofar as such covenants, conditions and restrictions are hereinafter expressly modified.

1.2 Grantor is Successor in Interest to Kastera Pavilion Commons LLC. Grantor is the successor in interest to Kastera Pavilion Commons LLC, the original “Grantor” under the Master Declaration. Accordingly, Grantor has the full and proper authority to execute this Fourth Supplemental Declaration.

## ARTICLE II: DECLARATION

Pursuant to Article XVI, Section 16.1 of the Master Declaration, Grantor hereby declares that the Fourth Supplement Property and any parcel or portion thereof is hereby annexed into the Property, as that term is defined in the Master Declaration, and shall be held, sold, conveyed, encumbered, hypothecated, leased, used, occupied and improved subject to all of the terms, covenants, conditions and restrictions of the Existing CC&Rs and this Fourth Supplemental Declaration. All Owners of Building Lots within the Fourth Supplement Property shall be subject to all the terms, covenants, conditions and restrictions of the Existing CC&Rs and this Fourth Supplemental Declaration, including, without limitation, being voting members in the Association.

## ARTICLE III: COMMON AREA/RESIDENTIAL BUILDING LOTS/DRAINAGE/LANDSCAPING

3.1 Common Area. Lot 1, Block 4, Lots 1 and 15, Block 5, Lots 1 and 11, Block 6, Lots 1 and 7, Block 7, and Lot 1, Block 8, as shown on the Fourth Supplement Plat, are Common Areas to be owned and maintained by the Association.

3.2 Residential Building Lots. All platted lots comprising the Fourth Supplement Property, other than the Common Areas, shall be used and developed as residential Building Lots.

3.3 Drainage. All of Lots 1 and 11, Block 6 and Lot 7, Block 7, as well as portions of Lot 1, Block 4 and Lot 1, Block 5, as shown on the Fourth Supplement Plat, are servient to and contain the Ada County Highway District (“ACHD”) storm water drainage system. These Common Areas are encumbered by that certain First Amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015, as Instrument No. 2015-103256, official records of Ada County, and are incorporated herein by this reference as if set forth in full (“Master Easement”). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section 40-2302 of the Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system. Said easement shall remain free of all encroachments and obstructions (including fences and trees) which may adversely affect the operation and maintenance of the storm drainage facilities.

There shall be no interference with the established drainage pattern over any portion of these Common Areas, unless an adequate alternative provision is made for proper drainage and is first approved in writing by the Architectural Control Committee and ACHD. For the purposes hereof, “established” drainage is defined as the system of drainage, whether natural or otherwise, which exists at the time the overall grading of any portion of these Common Areas is completed by the Grantor.

The Association shall be responsible for the maintenance, repair and/or replacement of any other storm water drainage systems located on the Fourth Supplement Property (other than storm water drainage systems on, and serving only, individual Building Lots). Such maintenance, repair and/or replacement shall be done in accordance with that certain Reunion Subdivision No. 3 Operation and Maintenance Manual, dated September, 2020, a copy of which is attached hereto as Exhibit C, and made a part hereof (“O&M Manual”). The O&M Manual shall not be revised or otherwise amended without the prior written consent of ACHD.

ACHD shall have the right to inspect any of the aforementioned storm water drainage systems and, if necessary, perform any maintenance, repairs or replacements caused by the Association or Owners. The cost of any such maintenance, repairs and/or replacements shall be promptly paid by the Association within thirty (30) days of receiving an invoice therefore. In the event any such cost is not timely paid by the Association, ACHD shall be entitled to enforce its collection rights pursuant to all rights and remedies afforded it pursuant to applicable law, including, without limitation, the right to place a lien on the Fourth Supplement Property until such costs are paid in full.

All other Owners, at his/her/their sole cost and expense, shall be responsible for the maintenance, repair and/or replacement of any storm water drainage system located on, and serving only, his/her/their individual Building Lot. Such maintenance, repair and/or replacement shall be done in accordance with all applicable laws, rules, regulations and/or ordinances.

Notwithstanding any of the foregoing, all Building Lots and Common Area shall be graded such that all storm water and other water drainage shall run across a curb or to a drainage easement and no drainage shall cross from a Building Lot or Common Area onto another Building Lot or Common Area except within an applicable drainage easement.

**3.4 Initial Back and Side Yard Landscaping/Over Watering.** Each Owner of a Building Lot originally purchased from Grantor shall complete his/her back and side yard landscaping within six (6) months from the closing date thereof. **Such landscaping shall be in accordance with the landscaping plan(s) approved by the Architectural Control Committee and must adequately address on-site drainage and erosion control.**

**In the event any Owner violates either of the back yard or side yard landscaping time requirements contained herein, said Owner shall pay to the Association a fine of \$100/day for as long as the violation persists.** Any fine, or fines, shall be due and payable within thirty (30) days of receiving an invoice therefore.

**Neither Grantor nor the Association shall be responsible, in any fashion, for the over watering of any landscaping (including lawns) by the Owner of any Building Lot.**

#### ARTICLE IV: GENERAL PROVISIONS

**4.1 Enforcement.** The Association, Grantor and/or any Owner, shall have the right to enforce, by any proceeding at law or in equity, all terms, covenants, conditions or restrictions imposed by the provisions of this Fourth Supplemental Declaration. Failure by the Association, Grantor or any Owner to immediately enforce any such term, covenant, condition or restriction shall in no event be deemed a waiver of the right to do so in the future.

**4.2 Severability.** Invalidation of any one of these terms, covenants, conditions or restrictions by judgment or court order shall in no way affect any other provisions which shall remain in full force and effect.

**4.3 Term and Amendment.** The terms, covenants, conditions and restrictions of this Fourth Supplemental Declaration shall run with and bind the Fourth Supplement Property for so long as the Master Declaration runs with and binds the Property. This Fourth Supplemental Declaration may be amended pursuant to the same amendment terms contained in the Master Declaration.

4.4 Duration and Applicability to Successors. The terms, covenants, conditions, and restrictions set forth in this Fourth Supplemental Declaration shall run with the land and shall inure to the benefit of and be binding upon the Grantor, the Association and all Owners and their successors in interest.

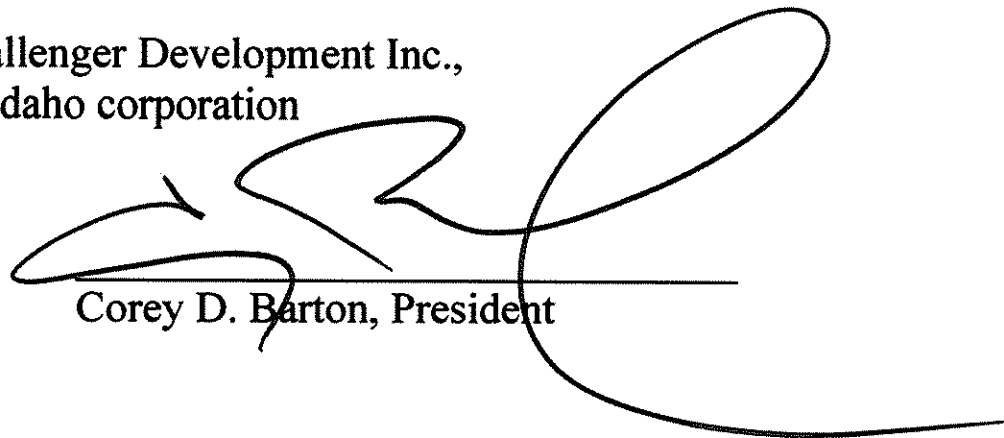
4.5 Governing Law. This Fourth Supplemental Declaration shall be construed and interpreted in accordance with the laws of the State of Idaho.

4.6 Definitions. Terms not otherwise defined herein shall have the same meanings as are ascribed to them in the Master Declaration.

IN WITNESS WHEREOF, the undersigned has duly executed this Fourth Supplemental Declaration as of the date first above written.

Challenger Development Inc.,  
an Idaho corporation

By:



Corey D. Barton, President

STATE OF IDAHO     )  
  ) ss.  
County of Ada         )

This record was acknowledged before me on March 25<sup>th</sup>, 2021, by Corey D. Barton as the President of Challenger Development Inc.

Adair K  
Signature of Notary Public

My commission expires: 6-05-22



**EXHIBIT A**  
**LEGAL DESCRIPTION OF FOURTH SUPPLEMENT PROPERTY**

Lots 1 through 14, Block 4; Lots 1 through 15, Block 5; Lots 1 through 11, Block 6; Lots 1 through 14, Block 7; and Lots 1 through 8, Block 8, Reunion Subdivision No. 3, according to the official plat thereof, filed in Book 120 of plats at pages 18731 through 18738, records of Ada County, Idaho.

**EXHIBIT B**  
**REUNION SUBDIVISION NO. 3 FINAL PLAT**

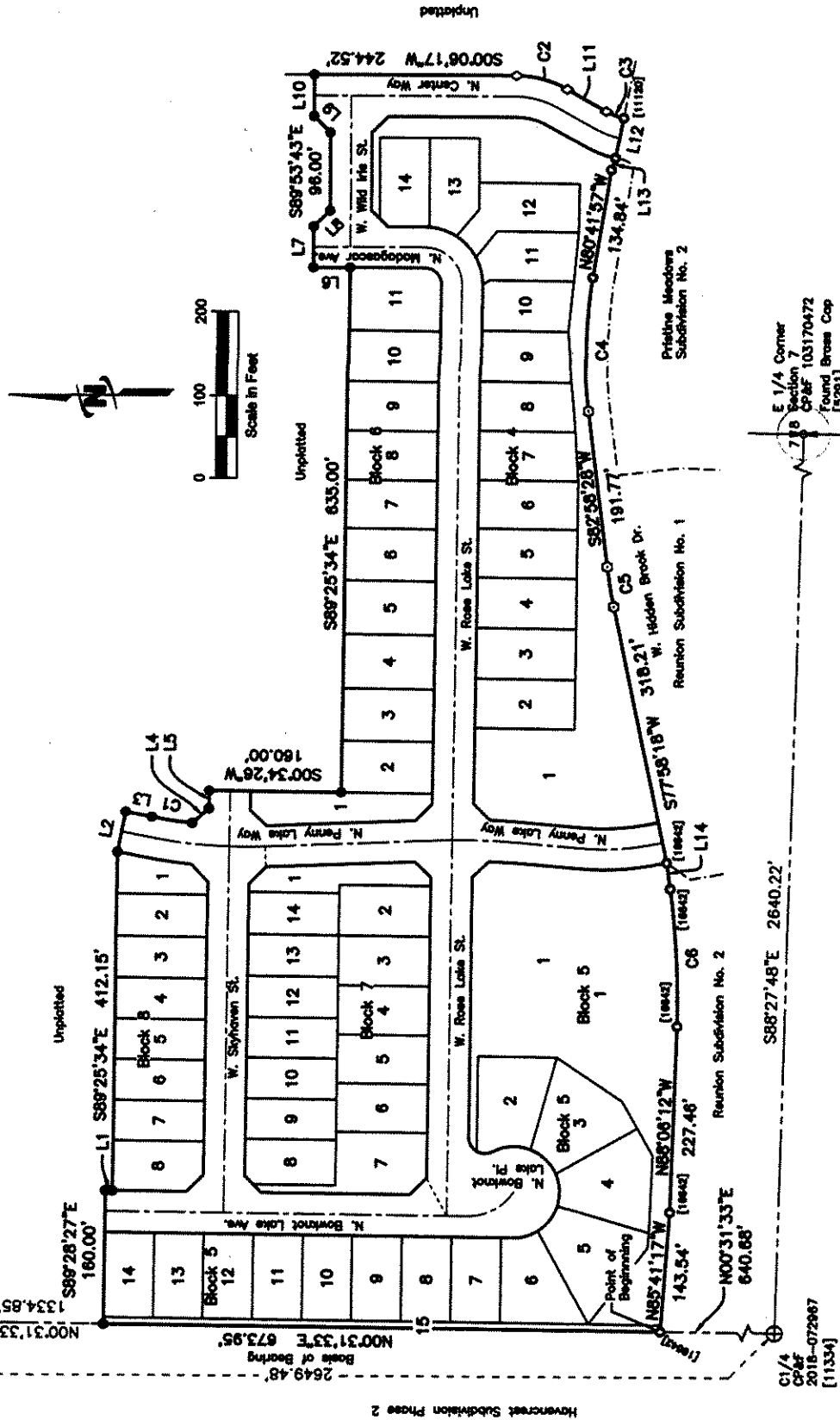
See attached.

# PLAT SHOWING Reunion Subdivision No. 3

Situated in the Northeast Quarter of  
Section 7, Township 4 North, Range 1 West, Boise Meridian,  
City of Star, Ada County, Idaho.  
2021

N 1/4 Corner  
Section 7  
C&G# 2017-088259  
Found Aluminum Cap  
M. Florens, Feather Rd.  
[1002]

- Legend**
- Subdivision Boundary Line
  - Lot Line
  - Right-of-way Line
  - Section Line
  - Center Line
  - Tie Line
  - Adjacent Property Line
  - Match Line
  - Utility Easement Line
  - Irrigation Easement Line
  - ACHD Drainage Easement Line
  - Gravity Irrigation Easement Line
  - Quarter-Section Corner
  - ⊕ Found Aluminum Cap, as noted
  - Found 1/2" Rebar with Plastic Cap  
"PLS 11334", Unless Noted Otherwise
  - Found 5/8" Rebar with Plastic Cap  
"PLS 11334", Unless Noted Otherwise
  - Found 5/8" Rebar capped "PLS 11334", destroyed  
by Construction, Reel "J-U-B 16842"
  - Found 5/8" Rebar capped "PLS 7729", destroyed  
by Construction, Reel "J-U-B 16842"
  - Found 1/2" Rebar capped "PLS 11334", destroyed  
by Construction, Reel "J-U-B 16842"
  - Found 1/2" Rebar capped "PLS 11334", destroyed  
by Construction, Reel "J-U-B 16842"
  - Set 1/2"x24" Rebar, with  
Plastic Cap Marked "J-U-B 16842"
  - Set 5/8"x24" Rebar, with  
Plastic Cap Marked "J-U-B 16842"
  - Point Not Set or Found
  - △ Curve Number (Typical)
  - ▽ Curve Number (Typical)
  - ⊞ Lot Number (Typical)
  - ⊞ Lot Number (Typical)
  - ⊞ PLS Number Found on Monument



Key Map 1" = 500'



**JUB**

**J-U-B ENGINEERS, INC.**  
250 South Redwood Avenue, Suite 201, Boise, ID 83709-0944  
P: 208.375.7330 or www.jub.com  
JUB Project No. 10-19-016

18 MAR 2021

Sheet 1: Legend  
See Sheets 2-5 for Plat Map Detail  
See Sheet 6 for Notes, Easement Notices, & Reference Documents  
See Sheet 7 for Certificates of Owners  
See Sheet 8 for Certificates & Approvals

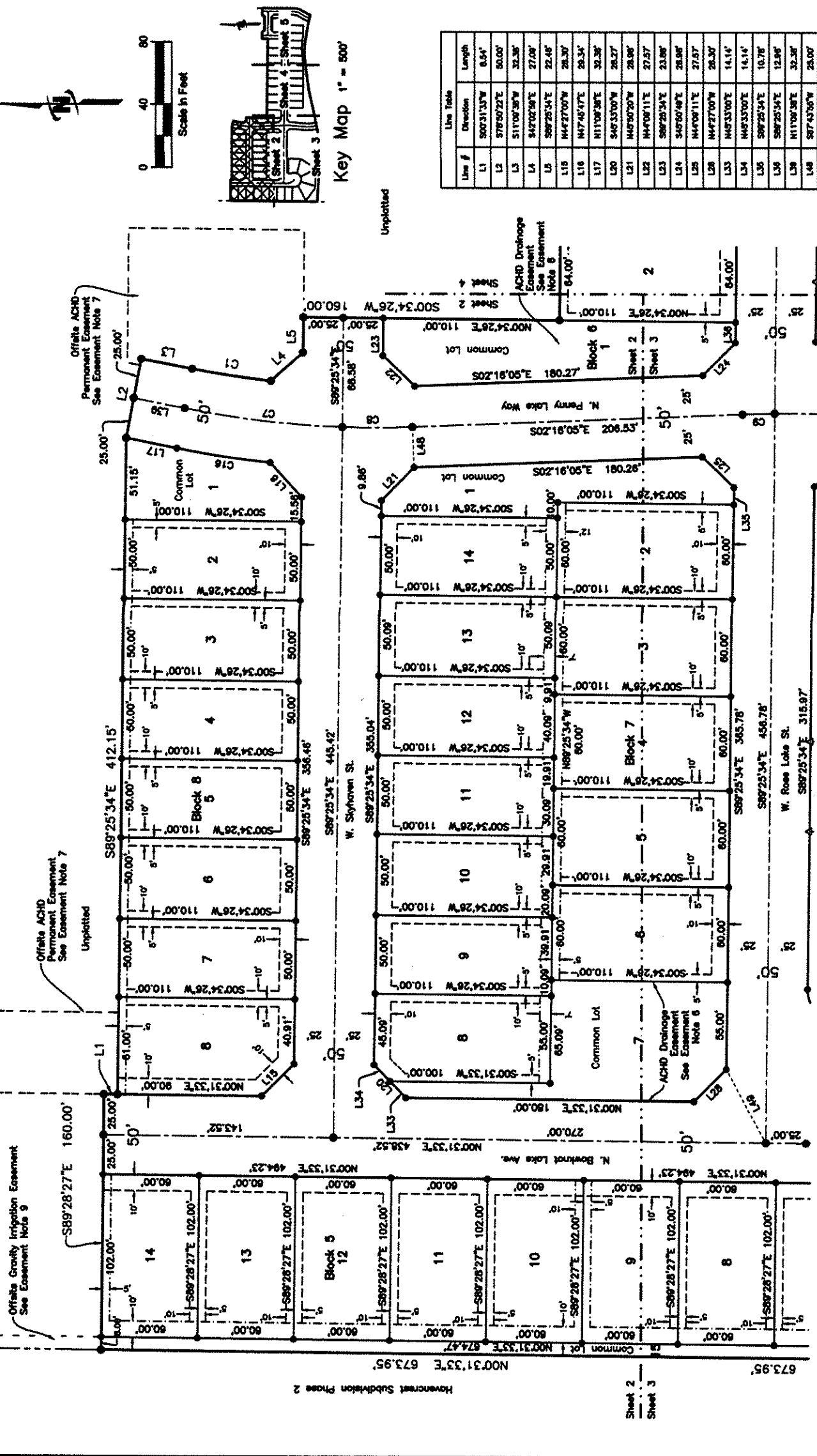
Line #	Direction	Length
L1	S89°25'34"E	318.21'
L2	S89°25'34"E	181.77'
L3	S89°25'34"E	191.77'
L4	S89°25'34"E	134.84'
L5	S89°25'34"E	134.84'
L6	S89°25'34"E	134.84'
L7	S89°25'34"E	134.84'
L8	S89°25'34"E	134.84'
L9	S89°25'34"E	134.84'
L10	S89°25'34"E	134.84'
L11	S89°25'34"E	134.84'
L12	S89°25'34"E	134.84'
L13	S89°25'34"E	134.84'
L14	S89°25'34"E	134.84'

Line #	Direction	Length
L1	S89°25'34"E	318.21'
L2	S89°25'34"E	181.77'
L3	S89°25'34"E	191.77'
L4	S89°25'34"E	134.84'
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L7	S89°25'34"E	134.84'
L8	S89°25'34"E	134.84'
L9	S89°25'34"E	134.84'
L10	S89°25'34"E	134.84'
L11	S89°25'34"E	134.84'
L12	S89°25'34"E	134.84'
L13	S89°25'34"E	134.84'
L14	S89°25'34"E	134.84'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	48.57'	565.00'	43°11'18"	S09°44'00"W	48.50'
C2	83.70'	125.00'	28°11'53"	S14°42'08"W	63.01'
C3	33.01'	74.57'	17°40'43"	S09°27'42"W	23.87'
C4	180.00'	561.50'	18°18'25"	S09°21'44"W	138.44'
C5	48.20'	582.00'	0°00'10"	S09°28'23"W	48.18'
C6	185.34'	948.00'	10°00'18"	S09°37'36"W	185.33'

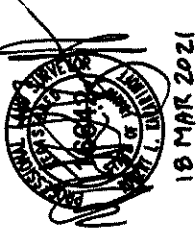
# Reunion Subdivision No. 3

PLAT SHOWING



Key Map 1" = 500'

Line #	Direction	Length
L1	S00°31'33"W	8.54'
L2	S78°59'22"E	50.00'
L3	S11°00'39"W	32.38'
L4	S47°02'36"E	27.08'
L5	S89°25'34"E	22.48'
L15	N44°27'00"W	28.30'
L16	N47°48'47"E	28.34'
L17	N11°00'39"E	32.38'
L20	S48°33'00"W	28.27'
L21	N48°50'30"W	28.98'
L22	N47°08'11"E	27.57'
L23	S89°25'34"E	32.08'
L24	S48°50'48"E	28.98'
L25	N47°08'11"E	27.57'
L26	N44°27'00"W	28.30'
L33	N48°33'00"E	14.14'
L34	N48°33'00"E	14.14'
L35	S89°25'34"E	10.76'
L36	S89°25'34"E	12.98'
L39	N11°00'39"E	32.38'
L48	S87°43'56"W	25.00'
L49	S81°30'29"W	51.48'



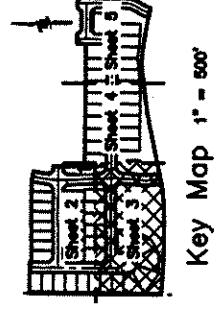
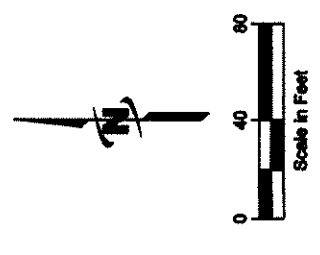
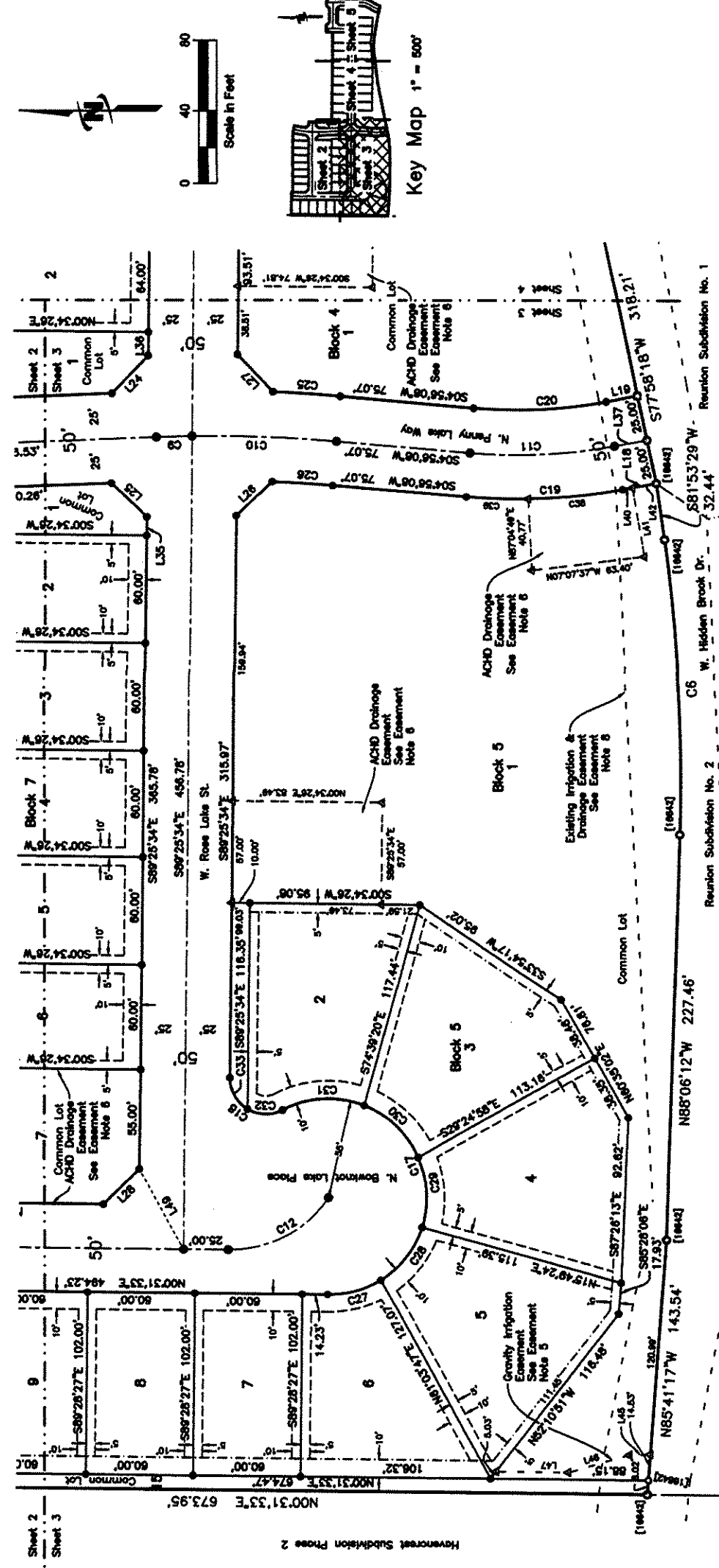
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18 MAR 2021

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	48.27'	585.00'	43°11'16"	S08°44'30"W	48.25'
C7	99.21'	810.00'	81°09'05"	S08°30'04"W	96.10'
C8	43.78'	810.00'	80°35'35"	S08°12'47"E	43.75'
C9	19.99'	800.00'	72°52'50"	N01°33'07"W	19.99'
C16	66.81'	635.00'	81°02'27"	S08°30'27"W	66.79'



# PLAT SHOWING Reunion Subdivision No. 3



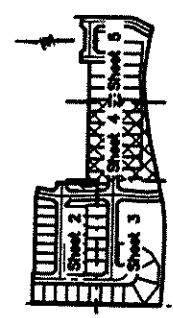
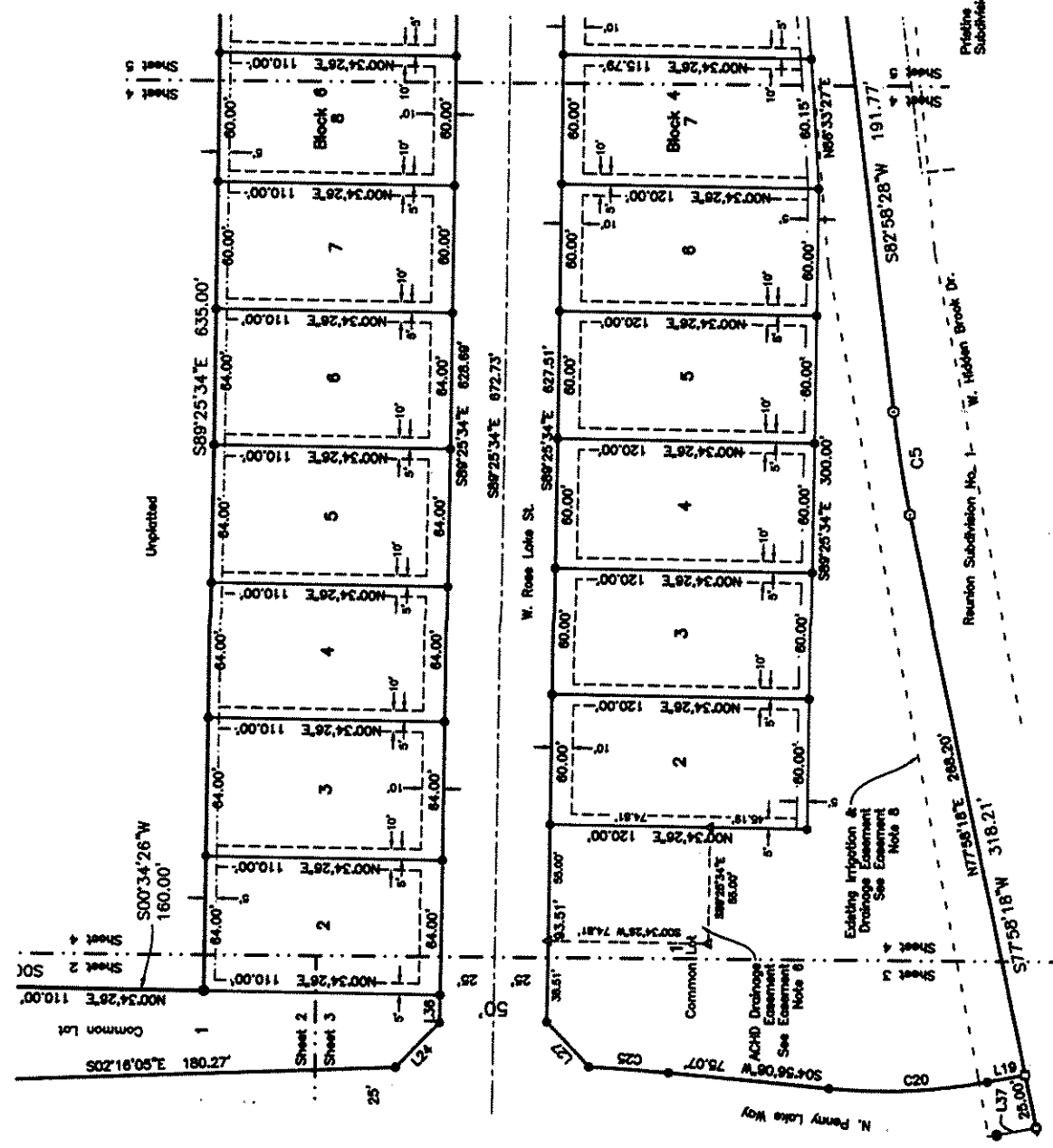
Line #	Direction	Length
L16	N103°12'27\"W	18.54'
L17	N103°12'27\"W	17.85'
L18	S49°05'48\"E	28.88'
L19	N44°08'11\"E	27.87'
L20	N43°51'36\"W	28.00'
L21	N44°08'21\"E	28.50'
L22	N44°27'00\"W	28.30'
L23	S89°25'34\"E	10.78'
L24	S89°25'34\"E	12.90'
L25	N103°12'27\"W	18.08'
L26	S103°12'27\"E	5.54'
L27	S89°15'45\"W	39.83'
L28	S103°12'27\"E	13.70'
L29	S101°15'22\"E	11.79'
L30	S100°04'48\"E	38.37'
L31	S00°31'33\"W	40.18'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C8	165.54'	848.00'	170°11'18\"	S89°33'28\"W	165.33'
C9	18.89'	800.00'	178°58'55\"	N01°33'07\"W	18.89'
C10	80.59'	800.00'	8°46'18\"	N02°02'09\"E	80.85'
C11	80.95'	300.00'	19°27'35\"	S02°47'40\"E	80.70'
C12	85.82'	84.73'	58°38'30\"	S37°46'37\"E	83.37'
C13	200.01'	55.00'	208°21'46\"	N78°20'40\"E	104.85'
C14	41.33'	20.00'	118°24'38\"	S12°22'07\"W	34.38'
C15	87.88'	325.00'	197°17'35\"	S02°47'40\"E	87.43'
C16	74.30'	275.00'	197°17'35\"	S02°47'40\"E	73.88'
C17	37.49'	885.00'	2°38'13\"	N03°38'02\"E	37.48'
C18	33.66'	775.00'	2°28'24\"	N03°41'26\"E	33.88'
C19	31.25'	56.00'	32°33'02\"	S19°44'08\"E	30.83'
C20	38.91'	56.00'	40°32'17\"	S02°17'38\"E	38.11'
C21	38.82'	56.00'	41°28'12\"	N08°41'38\"E	38.88'
C22	42.87'	56.00'	44°39'44\"	N43°37'08\"E	41.80'
C23	47.18'	56.00'	49°07'30\"	N03°18'28\"W	46.33'
C24	20.38'	20.00'	89°54'38\"	S01°22'07\"W	19.82'
C25	20.84'	20.00'	87°00'00\"	S00°34'28\"W	20.00'
C26	53.14'	355.00'	87°03'31\"	S05°05'28\"E	53.08'
C27	34.58'	355.00'	89°05'32\"	S01°33'22\"W	34.54'



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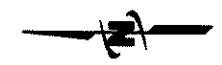
PLAT SHOWING  
Reunion Subdivision No. 3



Key Map 1" = 800'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C5	48.30'	502.00'	5707.10'	S89°25'34"W	48.18'
C6	74.30'	278.00'	1977.30'	S02°47'40"E	73.98'
C7	37.46'	625.00'	2387.13'	N03°38'02"E	37.46'

Line #	Direction	Length
L1	N10°31'27"W	17.33'
L4	S45°59'46"E	28.98'
L7	N48°08'21"E	28.65'
L8	S89°25'34"E	12.96'
L7	N10°31'27"W	18.58'

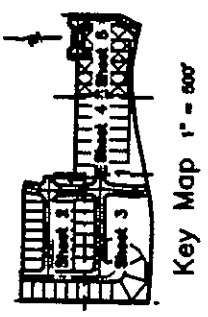
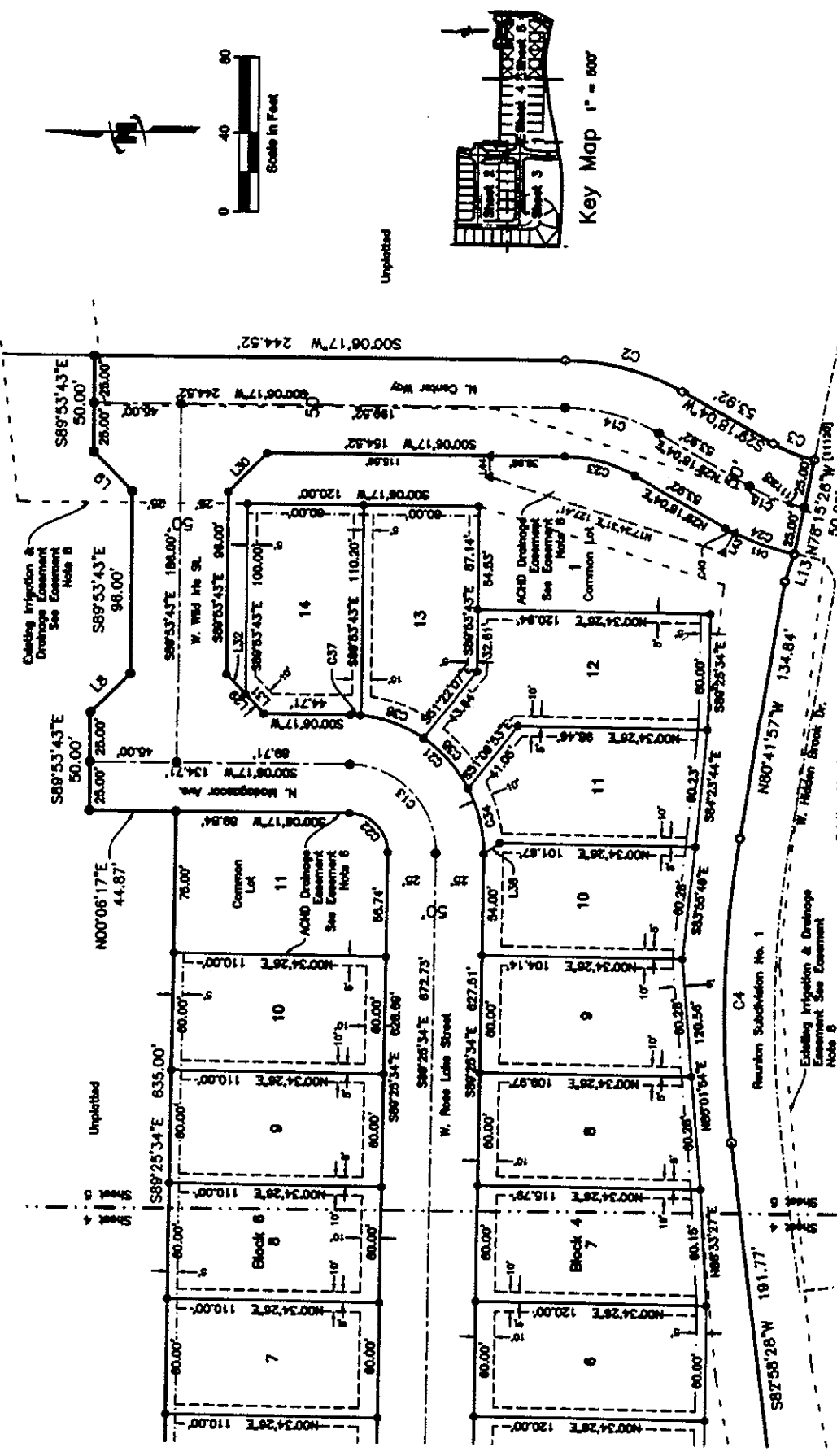


18 MAR 2021



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# PLAT SHOWING Reunion Subdivision No. 3



Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C2	63.70	126.00	291.193	S14°02'00"W	63.01
C3	23.01	74.87	174.643	S02°27'45"W	22.82
C4	166.00	961.26	1818.38	N89°11'44"W	166.48
C5	71.00	43.00	972.00	N89°20'22"E	63.80
C6	62.87	100.00	291.193	N14°02'00"E	62.87
C7	30.87	94.87	173.874	S89°20'22"E	30.87
C8	118.57	70.00	972.00	N89°20'22"E	118.57
C9	31.88	30.00	972.00	N89°20'22"E	31.88
C10	38.37	76.00	591.193	N14°02'00"E	37.81
C11	38.37	124.87	173.874	S89°20'22"E	38.18
C12	30.00	70.00	291.193	N89°20'22"E	30.00
C13	30.00	70.00	291.193	N89°20'22"E	30.00
C14	30.00	70.00	291.193	N89°20'22"E	30.00
C15	30.00	70.00	291.193	N89°20'22"E	30.00
C16	30.00	70.00	291.193	N89°20'22"E	30.00
C17	30.00	70.00	291.193	N89°20'22"E	30.00
C18	30.00	70.00	291.193	N89°20'22"E	30.00
C19	30.00	70.00	291.193	N89°20'22"E	30.00
C20	30.00	70.00	291.193	N89°20'22"E	30.00

Line #	Bearing	Length
L8	S44°53'43"E	26.38
L9	N00°06'17"E	26.38
L10	N72°08'48"W	15.38
L11	S40°08'17"W	26.38
L12	S44°53'43"E	26.38
L13	N00°06'17"E	14.14
L14	S27°28'48"E	10.84
L15	N07°41'06"W	11.84
L16	S07°53'43"E	10.84



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PLAT SHOWING  
Reunion Subdivision No. 3

Notes

1. Any re-subdivision of this plat shall comply with the applicable zoning regulations in effect at the time of re-subdivision.
2. Lot 1, Block 4; Lots 1 and 15, Block 5; Lots 1 & 11, Block 6; Lots 1 & 7, Block 7; and Lot 1, Block 8 are common lots which shall be owned and maintained by the Pridette Meadows Subdivision, Inc. (the homeowners association).
3. Direct lot access to W. Hidden Brook Dr. is prohibited.
4. Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on the plat.
5. Lots shall not be reduced in area without prior approval from the health authority.
6. No additional domestic water supplies shall be installed beyond the water system approved in the sanitary restriction release.
7. Reference is made to the public health letter on file with Ada County Recorder regarding additional restrictions.
8. This subdivision is subject to an Agreement with Middleston Hill Ditch Company, Middleston Irrigation Association, Inc., and Pridette Ditch Company, Ltd. dated August 23, 2005 and recorded as instrument number 105121342 and as amended by instrument numbers 106102235 and 2018-027195.
9. This subdivision is located within zone X (area of Minimal Flood Hazard) as shown on FEMA National Flood Hazard FIRM Panel Nos. 1600100125 J and 1600100130 J, Effective date 06/19/2020.
10. This subdivision is subject to a License Agreement instrument number 2020-079661 with Drainage District No. 2.
11. This subdivision is subject to a License Agreement instrument number 106053993 with Drainage District No. 2.
12. This subdivision is subject to a License Agreement instrument number 2020-078014 with Middleston Hill Ditch Company and Middleston Irrigation Association, Inc.
13. This subdivision is subject to a License Agreement instrument number 2020-011834 with Ada County Highway District.
14. This development recognizes Section 22-4503 of Idaho Code, Right to Farm Act, which states, "No agricultural operation, agricultural facility, or equipment shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities, other than those which result from the normal operation of the agricultural operation, facility or expansion was not a nuisance at the time it was established. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."

Surveyor's Narrative

SURVEY PURPOSE: To determine the boundary of land as described in that Warranty Deed, recorded under instrument No. 2020-112899, Ada County Records, Idaho, and to include a portion of said land within this subdivision.

DOCUMENTS USED: See Reference Documents below.  
BOUNDARY CONTROLLED BY: The authority boundary is controlled by Reunion Subdivision No. 1, Reunion Subdivision No. 2, and Pridette Meadows Subdivision No. 2. The west boundary is controlled by the west line of the Hidden Brook Drive, formerly known as Pridette Drive, Range 1 West, Boise Meridian. The north boundary and the eastern boundary are controlled by the boundary line created by the client reflecting how the land of heretofore said Warranty Deed is defined to be subdivided.

Reference Documents

- Subdivisions:  
Soddie Brook, Phases 1, 2, & 6; Meadowbrook No. 2; Rhinoceros Bay, Pridette Meadows Nos. 1 & 2; Hovencrest Phase 2; and Clearlake Subdivision Nos. 1 & 2; Reunion Subdivision Nos. 1 & 2;
- Surveys:  
R05s 569, 5822, 5823, 8243, and 9125.
- Deeds:  
114002607, 2016-115038, 2019-057091 (re-recording 2019-101368) and 2020-112999.
- Easements:  
102064183, 105147568, 105121342, 105102235 & 2019-014180.
- Off-site Easements:  
2020-078016 & 2020-131772.

Easement Notes

1. All Utility Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of public & private utilities, pressurized irrigation, sewer service, cable television/datas; opportunities thereto; and lot drainage.
2. All Pressure Irrigation Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of pressure irrigation lines and opportunities thereto.
3. Lot 1, Block 4; Lot 1, Block 5; Lots 1 & 11, Block 6; Lots 1 & 7, Block 7; and Lot 1, Block 8 are hereby designated as having a Utility Easement co-situates with said lots.
4. Lot 15, Block 5 is hereby designated as having a non-exclusive, perpetual Gravity Irrigation Easement co-situates with said Lot 15, Block 5, is appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleston Hill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the opportunities thereto.
5. The Gravity Irrigation Easement across Lot 1, Block 5 as shown and designated hereon is non-exclusive, perpetual, appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleston Hill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the opportunities thereto.
6. Portions of Lot 1, Block 4; Lot 1, Block 5; and all of Lots 1 & 11, Block 6; and all of Lot 7, Block 7 are reserved to and contain the ACHD stormwater drainage system. The lots are encumbered by that certain First amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015 as instrument No. 2015-103256, official records of Ada County, and incorporated herein by this reference as if set forth in full (the "Master Easement"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section 40-2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system.
7. See instrument Number 2020-131772 for Off-site ACHD Permanent Easement.
8. See License Agreement instrument Number 2019-014180 for Existing Drainage District #2 Irrigation and Drainage Easement (Drain #10).
9. See instrument Number 2020-078016 for Off-site Gravity Irrigation Easement.
10. No Utility Easement shown or designated hereon shall preclude the construction and maintenance of hard-surfaced driveways, landscaping, patios, sidewalks & rear property line fences, or other such nonpermanent improvements.
11. All easements are parallel (or concentric) to the lines (or area) that they are dimensioned from unless otherwise noted.



PLAT SHOWING  
Reunion Subdivision No. 3

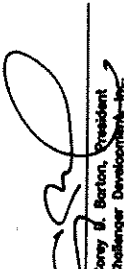
**Certificate of Owners**

Know all people by these presents that Challenger Development, Inc., an Idaho Corporation, does hereby certify that it is the owner of that real property to be known as Reunion Subdivision No. 3, and that it intends to include said real property, as described below, in this plat to wit:

A parcel of land situated in the northeast quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian, City of Star, County of Ada, State of Idaho, particularly described as follows:  
The northwest corner of the northeast quarter (center quarter-section corner) of Section 7, Township 4 North, Range 1 West, Boise Meridian, from which the north quarter-section corner of said Section 7 bears North 07°31'33" East, 2646.48 feet; Thence North 07°31'33" East, 150.00 feet; Thence South 87°25'27" East, 150.00 feet; Thence South 07°31'33" West, 8.54 feet; Thence South 89°25'54" East, 412.15 feet; Thence South 78°00'22" East, 50.00 feet; Thence South 11°07'58" West, 32.36 feet to the beginning of a curve; Thence along said curve to the right on an arc length of 48.57 feet, having a radius of 565.00 feet, a central angle of 04°51'16", a chord bearing of South 08°44'00" West, and a chord length of 48.55 feet; Thence South 47°02'26" East, 27.08 feet; Thence South 87°25'24" East, 22.48 feet; Thence South 07°34'26" West, 150.00 feet; Thence South 89°25'54" East, 635.00 feet; Thence South 07°06'17" East, 44.87 feet; Thence South 84°53'43" East, 58.00 feet; Thence South 89°25'54" East, 48.00 feet; Thence South 87°25'27" East, 48.00 feet; Thence South 45°06'17" East, 28.28 feet; Thence South 89°25'54" East, 50.00 feet; Thence South 07°06'17" West, 244.82 feet to the beginning of a curve; Thence along said curve to the right on an arc length of 63.70 feet, having a radius of 125.00 feet, a central angle of 29°11'53", a chord bearing of South 14°42'08" West, and a chord length of 63.01 feet; Thence South 29°16'04" West, 53.92 feet to the beginning of a curve; Thence along said curve to the right on an arc length of 74.97 feet, having a radius of 135.00 feet, a central angle of 17°45'45", a chord bearing of South 27°27'42" West, and a chord length of 22.82 feet to the northern boundary of Prairie Meadows Subdivision No. 2 according to the plat thereof filed in Book 98 of Plats of Pikes in Boise, Idaho; Thence North 78°15'26" West, 50.00 feet along said subdivision boundary to the boundary of Reunion Subdivision No. 1 according to the plat thereof filed in Book 114 of Plats of Pikes in Boise, Idaho through 18633, Ada County Records; Thence along said subdivision boundary the following ab (b) courses:  
North 72°05'45" West, 15.25 feet;  
Thence North 87°41'07" West, 134.84 feet to the beginning of a curve;  
Thence along said curve to the right on an arc length of 180.00 feet, having a radius of 561.50 feet, a central angle of 16°19'35", a chord bearing of North 86°51'44" West, and a chord length of 156.48 feet;  
Thence South 87°25'27" East, 150.00 feet; Thence South 77°05'16" West, 318.21 feet;  
Thence South 81°53'26" West, 32.44 feet to the beginning of a curve;  
Thence along said curve to the right on an arc length of 165.54 feet, having a radius of 948.00 feet, a central angle of 10°00'16", a chord bearing of South 89°25'26" West, and a chord length of 165.33 feet;  
Thence North 87°41'17" West, 143.54 feet to the POINT OF BEGINNING, containing 18.44 acres, more or less.

The public streets shown on this plat are hereby dedicated to the public. The easements shown on this plat are not dedicated to the public, however the right to use said easements is hereby reserved for the use specifically depicted on the plat, and for any other purposes designated herein, and no easement structure, or other improvement, shall be erected within the lines of said easements. All of the lots within this subdivision are eligible to receive water service from Star Sewer and Water District and Star Sewer and Water District has agreed in writing to serve all lots within this subdivision. Irrigation water has been provided from Middleton Hill Ditch Company, in compliance with Idaho Code 31-3805(1)(b). Lots within this subdivision will be entitled to irrigation water rights, and will be obligated for assessments from Middleton Hill Ditch Company.


In witness whereof, I have hereunto set my hands:

  
Corey B. Barton,  
President  
Challenger Development, Inc.

**Acknowledgment**

State of Idaho }  
County of Ada } ss.  
On this 15<sup>th</sup> day of October, 2020, before me, a Notary Public in and for the State of Idaho, personally appeared Corey D. Barton, known or identified to me to be the President of Challenger Development, Inc. that executed the within instrument and acknowledged to me that Challenger Development, Inc. executed the same.



  
Notary Public for Idaho  
My commission expires 07-28-23

**Certificate of Surveyor**  
I, Robert L. Kozarhoff, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat of Reunion Subdivision No. 3, as described in the Certificate of Owners and as shown on the attached plat is correct and was surveyed in accordance with Idaho Code relating to plats and surveys.



Robert L. Kozarhoff, PLS 10642




**J-U-B ENGINEERS, INC.**  
250 South Beachwood Avenue, Suite 201, Boise, ID 83706-0944  
P 208.378.7330 F www.jub.com

PLAT SHOWING  
Reunion Subdivision No. 3


Approval of Central District Health

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.

  
Central District Health  
ADA COUNTY  
4-22-2020  
Date

Approval of Ada County Highway District

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the 17<sup>th</sup> day of March, 2020.

  
Commission President  
Ada County Highway District  
Signed by Bruce S. Wynn, Director for President  
ADA COUNTY  
SEAL  
REUNION DISTRICT

Approval of City Engineer

I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on this day

  
3/17/2020, hereby approve this plat.  
PE 1861  
City Engineer, Star, Idaho

Approval of City Council

The foregoing plat was accepted and approved this 11<sup>th</sup> day of July

  
by the City of Star, Idaho.  
City Clerk, Star, Idaho

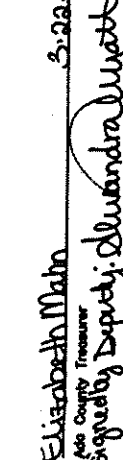
Certificate of County Surveyor

I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and find that it complies with the State of Idaho Code relating to plats and surveys.

  
Ada County Surveyor  
PLS 5357  
3-19-2021  
Date

Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1306, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.

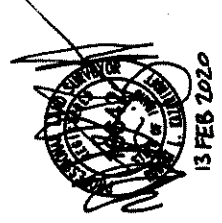
  
Ada County Treasurer  
Signed by Deputy: Duandra Lygett  
3-22-2021  
Date

County Recorder's Certificate

I hereby certify that this instrument was filed at the request of JUB Engineers, Inc. of

State of Idaho }  
County of Ada } ss. Instrument No. 2021-048286  
I hereby certify that this instrument was filed at the request of JUB Engineers, Inc. of  
Ada, Idaho, on this 13<sup>th</sup> day of March, 2021, in my office, and was recorded in  
Book 120 of Plats of Pages 18731 through 18738  
Fee: \$41.-

  
Phil McGowan  
County Recorder



JUB ENGINEERS, INC.  
250 South Beachwood Avenue, Suite 201, Boise, ID 83709-0944  
P 208 374 7330 or www.jub.com

**EXHIBIT C  
O&M MANUAL**

See attached.

Trilogy Development

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# Reunion Subdivision No. 3

*Operation & Maintenance Manual*

September 2020

Prepared by:



**J-U-B ENGINEERS, Inc.**  
250 South Beechwood Avenue, Suite 201  
Boise, ID 83709-0944  
208-376-7330 / 208-323-9336 (fax)  
[www.J-U-B.com](http://www.J-U-B.com)





# Reunion Subdivision No. 3

*Operation & Maintenance Manual*

September 2020

Prepared By:

*Engineer:*

**J-U-B ENGINEERS, Inc.**

250 South Beechwood Avenue, Suite 201

Boise, Idaho 83709-0944

208-376-7330

[www.J-U-B.com](http://www.J-U-B.com)

*Developer:*

**Trilogy Development**

9839 W. Cable Car Street

Boise, Idaho 83709

(208) 895-8858

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Maintenance Report Form

Stormwater Pond Details

Improvement Plans

# 1. Contact Information

## 1.1 Developer:

Trilogy Development  
9839 W. Cable Car Street  
Boise, Idaho 83709  
(208) 895-8858

## 1.2 Contractor:

Same as Developer

## 1.3 City:

City of Star  
10769 W. State Street  
P.O. Box 130  
Star, ID 83669  
(208) 286-7247

## 1.5 Engineer:

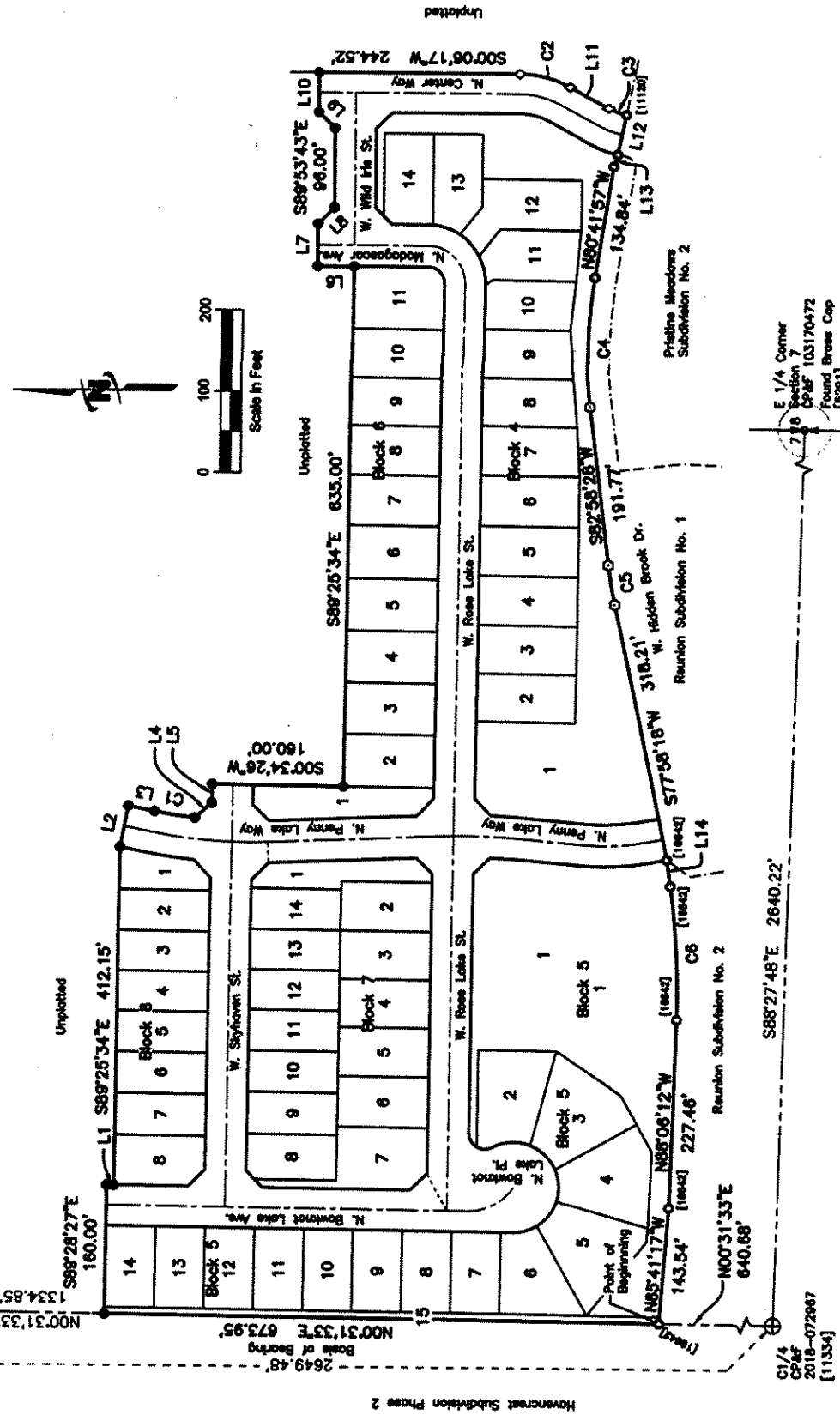
J-U-B Engineers, Inc.  
250 S. Beechwood, Suite 201  
Boise, ID 83709  
(208) 376-7330

## 2. Final Plat

# PLAT SHOWING Reunion Subdivision No. 3

Situated in the Northeast Quarter of  
Section 7, Township 4 North, Range 1 West, Boise Meridian,  
City of Star, Ada County, Idaho.  
2021

- Legend**
- Subdivision Boundary Line
  - - - Lot Line
  - - - Right-of-way Line
  - - - Section Line
  - - - Center Line
  - - - Tie Line
  - - - Adjacent Property Line
  - - - Match Line
  - - - Utility Easement Line
  - - - Irregular Easement Line
  - - - ACHD Drainage Easement Line
  - - - Gravelly Irregular Easement Line
  - - - Quarter-Section Corner
  - ⊕ Found Aluminum Cap, as noted
  - Found 1/2" Rebar with Plastic Cap
  - Found 5/8" Rebar with Plastic Cap
  - Found 5/8" Rebar with Plastic Cap
  - Found 5/8" Rebar with Plastic Cap
  - Found 5/8" Rebar capped "PLS 11334", destroyed by Construction, Reel 5/8"-24" Rebar with Plastic Cap Marked "J-U-B 18642"
  - Found 5/8" Rebar capped "PLS 11334", destroyed by Construction, Reel 5/8"-24" Rebar with Plastic Cap Marked "J-U-B 18642"
  - Found 1/2" Rebar capped "PLS 11334", destroyed by Construction, Reel 1/2"-24" Rebar with Plastic Cap Marked "J-U-B 18642"
  - Found 1/2" Rebar capped "PLS 11334", destroyed by Construction, Reel 1/2"-24" Rebar with Plastic Cap Marked "J-U-B 18642"
  - Set 1/2"-24" Rebar, with Plastic Cap Marked "J-U-B 18642"
  - Set 5/8"-24" Rebar, with Plastic Cap Marked "J-U-B 18642"
  - Point Not Set or Found
  - △ Curve Number (Typical)
  - △ Course Number (Typical)
  - △ Lot Number (Typical)
  - (###) PLS Number Found on Monument



Key Map 1" = 500'



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JUB Project No. 10-18-018



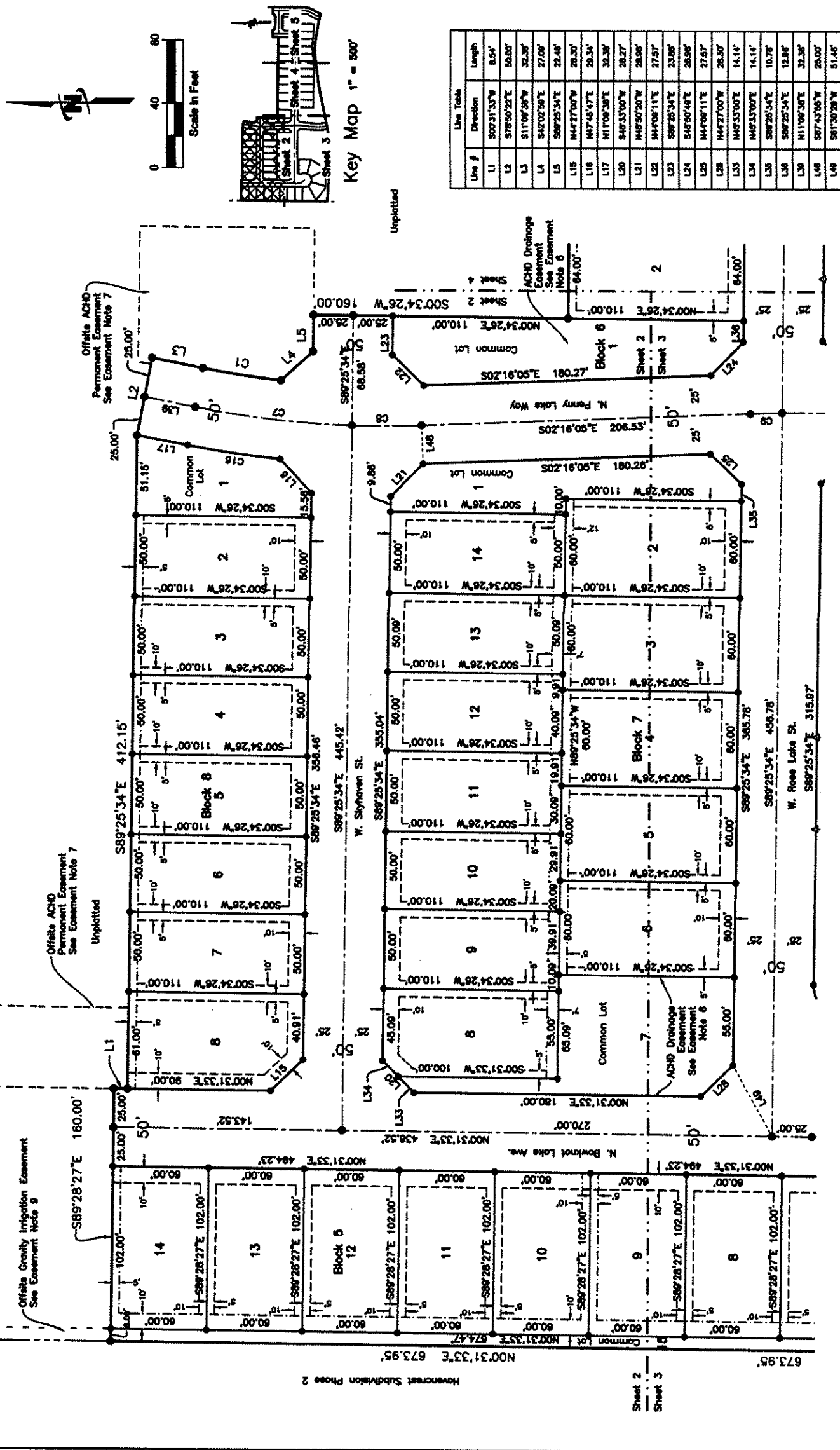
Sheet 1: Legend  
See Sheets 2-5 for Plat Map Detail  
See Sheet 6 for Notes, Easement Notes, & Reference Documents  
See Sheet 7 for Certificates of Owners  
See Sheet 8 for Certificates & Approvals

Line #	Direction	Length
L8	S44°35'43"E	28.28'
L9	N45°06'17"E	28.28'
L10	S89°53'43"E	50.00'
L11	S29°18'04"W	53.82'
L12	N78°15'28"W	50.00'
L13	N72°06'45"W	19.25'
L14	S81°53'29"W	32.44'

Line #	Direction	Length
L1	S00°31'33"W	83.54'
L2	S78°50'22"E	50.00'
L3	S11°06'25"W	32.38'
L4	S42°02'06"E	27.09'
L5	S89°25'34"E	22.46'
L6	N00°06'17"E	44.87'
L7	S89°53'43"E	50.00'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	48.37'	585.00'	45°11'18"	S08°44'00"W	48.35'
C2	63.70'	125.00'	28°11'53"	S14°42'06"W	63.61'
C3	23.01'	74.57'	17°40'43"	S20°27'45"W	22.82'
C4	180.00'	581.20'	18°18'30"	N88°51'44"W	198.48'
C5	48.20'	582.00'	9°09'10"	S80°28'23"W	48.18'
C8	185.54'	948.00'	10°00'18"	S89°53'36"W	185.33'

PLAT SHOWING  
Reunion Subdivision No. 3



Line Table

Line #	Direction	Length
L1	S00°31'33"W	8.54'
L2	S78°50'22"E	50.00'
L3	S11°00'30"W	22.38'
L4	S42°02'58"E	27.08'
L5	S89°25'34"E	22.48'
L6	S89°25'34"E	22.48'
L7	S89°25'34"E	22.48'
L8	S89°25'34"E	22.48'
L9	S89°25'34"E	22.48'
L10	S89°25'34"E	22.48'
L11	S89°25'34"E	22.48'
L12	S89°25'34"E	22.48'
L13	S89°25'34"E	22.48'
L14	S89°25'34"E	22.48'
L15	S89°25'34"E	22.48'
L16	S89°25'34"E	22.48'
L17	S89°25'34"E	22.48'
L18	S89°25'34"E	22.48'
L19	S89°25'34"E	22.48'
L20	S89°25'34"E	22.48'
L21	S89°25'34"E	22.48'
L22	S89°25'34"E	22.48'
L23	S89°25'34"E	22.48'
L24	S89°25'34"E	22.48'
L25	S89°25'34"E	22.48'
L26	S89°25'34"E	22.48'
L27	S89°25'34"E	22.48'
L28	S89°25'34"E	22.48'
L29	S89°25'34"E	22.48'
L30	S89°25'34"E	22.48'
L31	S89°25'34"E	22.48'
L32	S89°25'34"E	22.48'
L33	S89°25'34"E	22.48'
L34	S89°25'34"E	22.48'
L35	S89°25'34"E	22.48'
L36	S89°25'34"E	22.48'
L37	S89°25'34"E	22.48'
L38	S89°25'34"E	22.48'
L39	S89°25'34"E	22.48'
L40	S89°25'34"E	22.48'
L41	S89°25'34"E	22.48'
L42	S89°25'34"E	22.48'
L43	S89°25'34"E	22.48'
L44	S89°25'34"E	22.48'
L45	S89°25'34"E	22.48'
L46	S89°25'34"E	22.48'
L47	S89°25'34"E	22.48'
L48	S89°25'34"E	22.48'
L49	S89°25'34"E	22.48'
L50	S89°25'34"E	22.48'

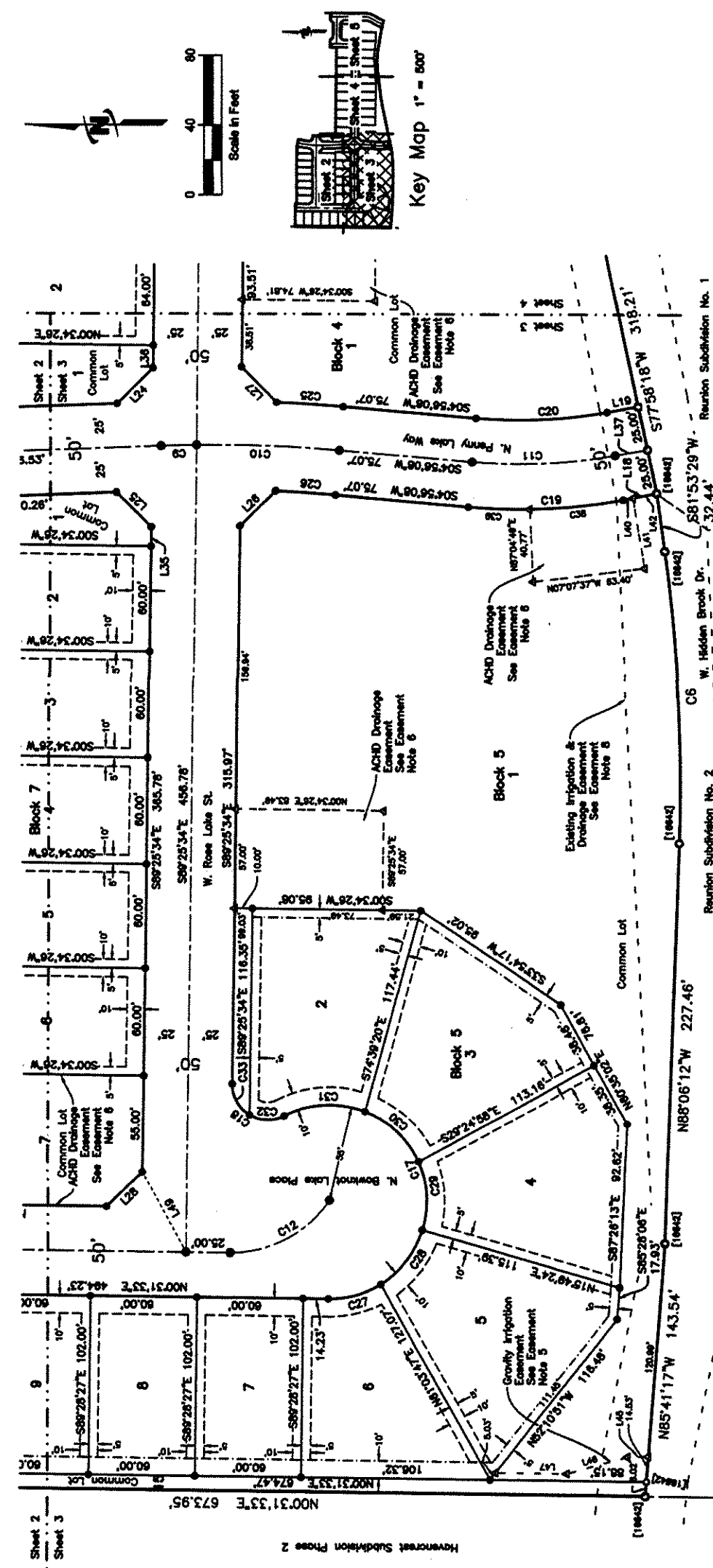
Curve Table

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	48.37'	565.00'	4°11'18"	S08°44'00"W	48.55'
C7	88.21'	810.00'	8°18'05"	S08°30'04"W	88.10'
C8	43.78'	810.00'	4°08'30"	S00°12'47"E	43.78'
C9	18.99'	800.00'	1°25'50"	N01°33'07"W	18.99'
C10	58.81'	835.00'	8°18'22"	S08°30'27"W	58.79'



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PLAT SHOWING  
Reunion Subdivision No. 3



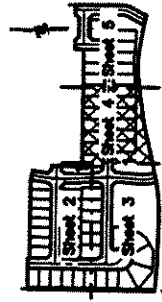
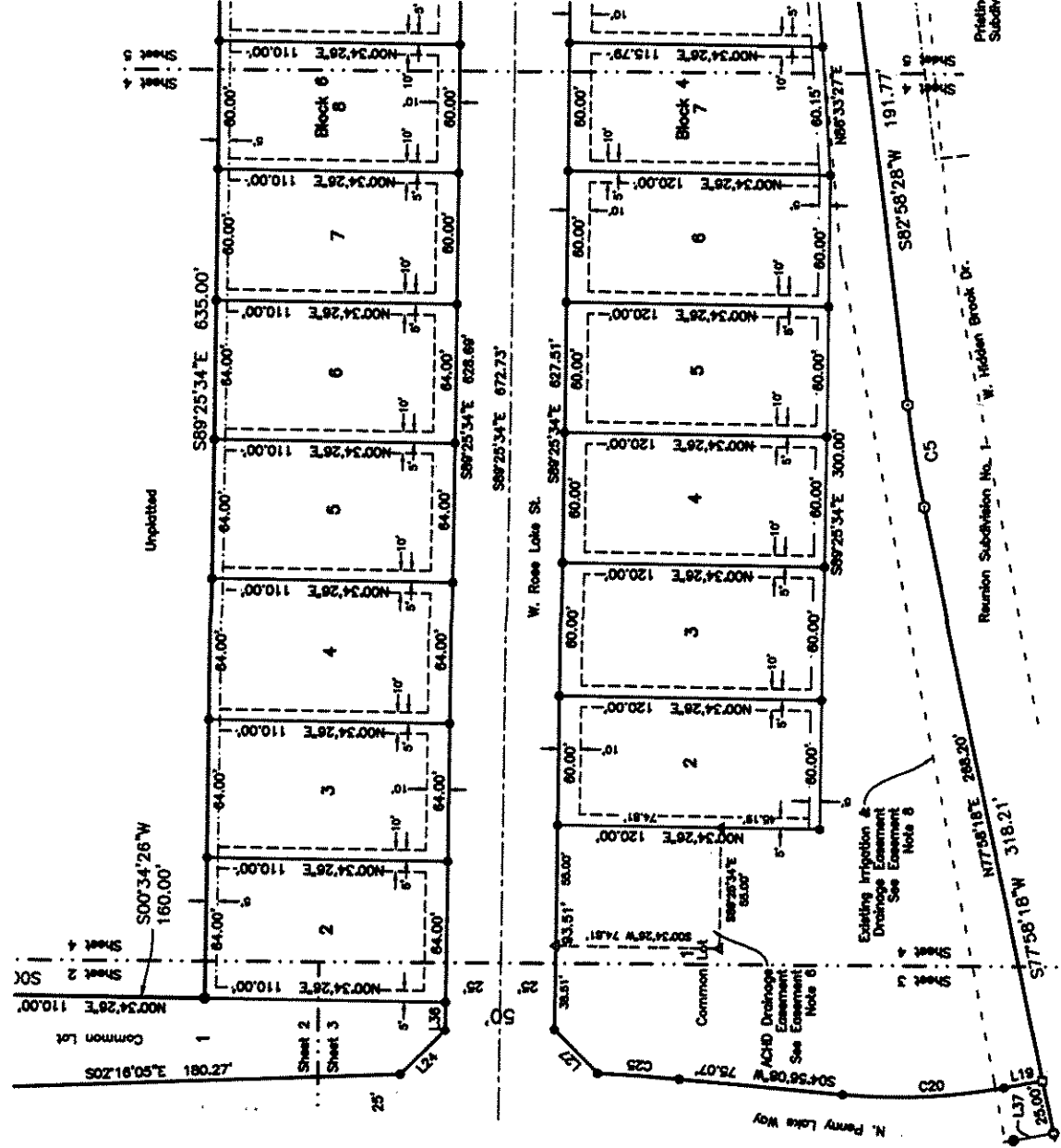
Line #	Direction	Length
L16	N10°31'27"W	19.24'
L19	N10°31'27"W	17.63'
L24	S45°50'48"E	20.85'
L25	N44°08'11"E	27.87'
L26	N43°01'38"W	26.00'
L27	N44°08'21"E	26.00'
L28	N44°27'00"W	28.30'
L35	S89°25'34"E	10.79'
L36	S89°25'34"E	12.86'
L37	N10°31'27"W	18.59'
L40	S10°31'27"E	5.24'
L41	S89°15'45"W	39.83'
L42	S10°31'27"E	13.79'
L45	S01°19'27"E	11.79'
L48	S16°00'48"E	35.27'
L47	S00°31'33"W	40.16'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C9	183.54'	848.00'	107°00'18"	S89°53'36"W	183.33'
C8	18.89'	800.00'	1°28'28"	N01°33'07"W	18.89'
C10	80.59'	800.00'	5°44'18"	N02°02'36"E	80.55'
C11	80.95'	300.00'	18°27'35"	S02°47'40"E	80.70'
C12	86.52'	64.75'	89°38'20"	S27°46'37"E	63.27'
C17	200.01'	65.00'	208°21'44"	N78°20'40"E	106.60'
C18	41.33'	20.00'	118°24'38"	S31°22'07"W	34.28'
C19	87.89'	325.00'	19°27'35"	S02°47'40"E	87.43'
C20	74.20'	275.00'	15°27'35"	S02°47'40"E	73.98'
C22	37.46'	625.00'	2°38'13"	N03°38'02"E	37.46'
C26	33.88'	775.00'	2°28'24"	N03°41'28"E	33.88'
C27	31.25'	65.00'	32°33'02"	S18°44'58"E	30.53'
C28	38.91'	65.00'	40°22'17"	S02°17'38"E	38.11'
C29	38.82'	65.00'	41°28'12"	N08°41'38"E	38.86'
C30	42.87'	65.00'	44°38'44"	N43°37'08"E	41.88'
C31	47.18'	65.00'	49°07'30"	N03°18'38"W	45.73'
C32	20.38'	20.00'	88°24'38"	S01°22'07"W	19.82'
C33	20.84'	20.00'	80°00'00"	S89°54'28"W	20.00'
C35	53.14'	325.00'	8°22'03"	S05°50'28"E	53.05'
C39	34.86'	325.00'	8°05'32"	S01°13'22"W	34.84'



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PLAT SHOWING  
Reunion Subdivision No. 3



Key Map 1" = 800'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C5	48.20'	852.00'	5°00'10"	S89°25'34"E	48.18'
C20	74.20'	275.00'	19°27'30"	S02°17'40"E	73.98'
C25	37.48'	825.00'	2°36'15"	N03°30'02"E	37.48'

Line #	Direction	Length
L18	N10°31'27"W	17.83'
L24	S40°00'48"E	28.88'
L27	N40°00'21"E	28.88'
L38	S89°25'34"E	13.98'
L37	N10°31'27"W	18.98'



18 MAR 2021

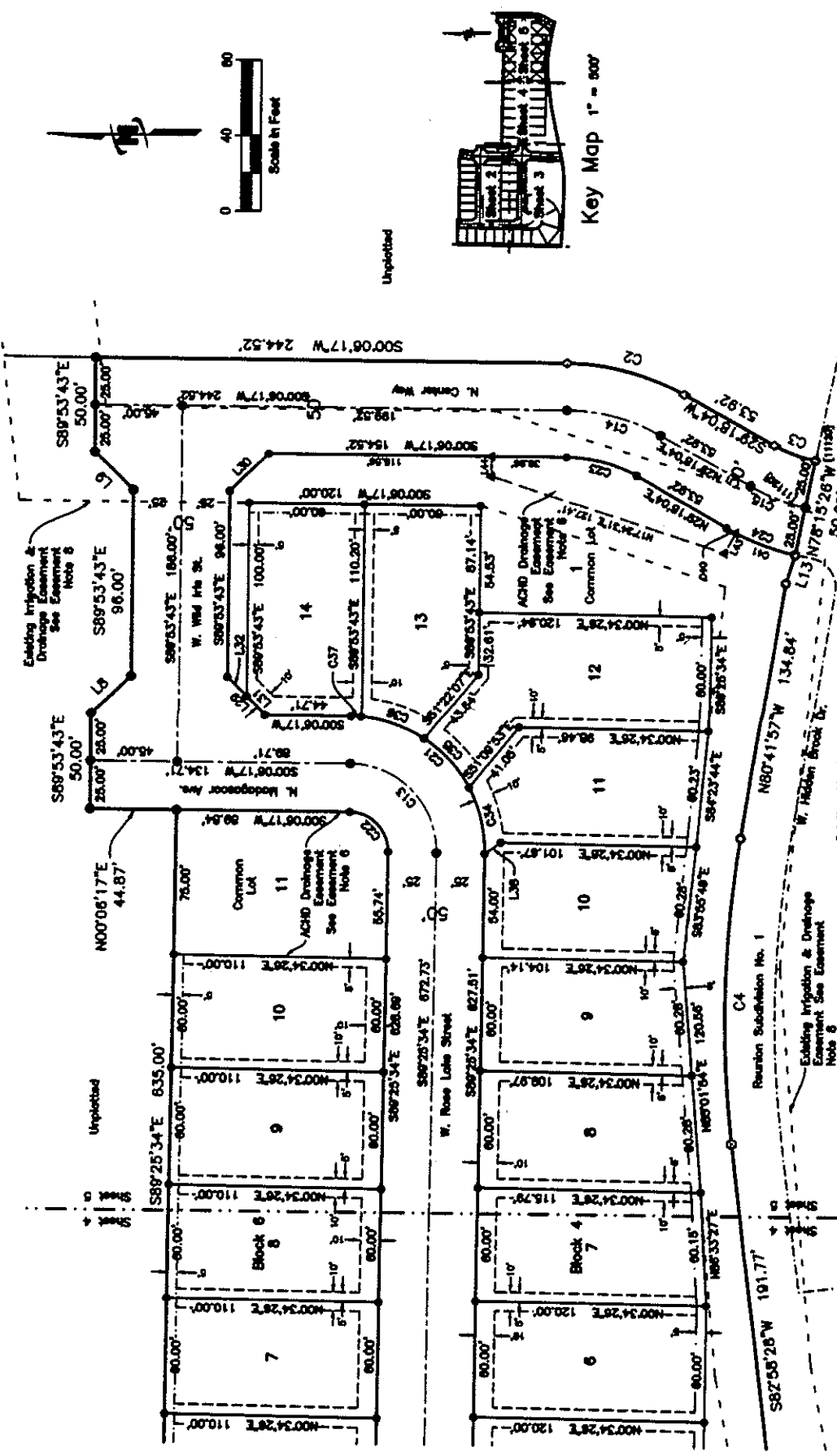


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PLAT SHOWING  
Reunion Subdivision No. 3



Curve #	Length	Radius	Chord	Bearing	Chord Length
C2	63.70'	126.00'	28.1133'	S14°47'09"W	63.01'
C3	23.01'	74.87'	17.6743'	S82°27'42"E	23.02'
C4	140.00'	80.00'	140.00'	N89°51'44"W	140.00'
C13	71.00'	45.00'	87.2809'	N47°52'27"E	63.50'
C14	80.00'	100.00'	28.1133'	N14°47'09"E	80.01'
C18	20.87'	64.87'	17.2874'	S20°28'37"W	20.88'
C21	14.83'	70.00'	6.7280'	N42°22'27"E	14.84'
C22	31.88'	30.00'	60.7870'	N42°22'27"E	31.89'
C23	28.37'	70.00'	28.1133'	N14°47'09"E	28.38'
C24	38.33'	141.67'	17.3746'	S82°28'18"E	38.34'
C26	35.00'	70.00'	28.1133'	N14°47'09"E	35.01'
C28	35.00'	70.00'	28.1133'	N14°47'09"E	35.01'
C27	6.30'	70.00'	6.3004'	N82°02'57"W	6.30'
C40	8.44'	144.87'	2.3818'	S82°02'57"W	8.44'
C41	32.88'	144.87'	18.0738'	S14°12'28"E	32.89'

Line #	Direction	Length
L8	S44°53'43"E	24.30'
L9	N89°51'44"W	24.30'
L13	S89°53'43"E	11.28'
L14	S89°53'43"E	24.30'
L15	N89°51'44"W	14.14'
L16	S89°53'43"E	10.84'
L17	N89°51'44"W	11.28'
L18	S89°53'43"E	10.84'



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PLAT SHOWING  
Reunion Subdivision No. 3

PLAT BOOK 120 PAGE 18730

Notes

1. Any re-subdivision of this plot shall comply with the applicable zoning regulations in effect at the time of re-subdivision.
2. Lot 1, Block 4; Lots 1 and 15, Block 5; Lots 1 & 11, Block 6; Lots 1 & 7, Block 7; and Lot 1, Block 8 are common lots which shall be owned and maintained by the Pristine Meadows Subdivision, Inc. (the homeowners association).
3. Direct lot access to W. Hidden Brook Dr. is prohibited.
4. Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on this plat.
5. Lots shall not be reduced in size without prior approval from the health authority.
6. No additional domestic water supplies shall be installed beyond the water system approved in the sanitary restriction releases.
7. Reference is made to the public health letter on file with Ada County Recorder regarding additional restrictions.
8. This subdivision is subject to an Agreement with Middleston Mill Ditch Company, Middleston Irrigation Association, Inc., and Flats Ditch Company, Ltd. dated August 23, 2003 and recorded as Instrument Number 105121542 and as amended by Instrument Numbers 106102235 and 2018-027185.
9. This Subdivision is located within zone X (area of Minimal Flood Hazard) as shown on FEMA National Flood Hazard FRM Panel No. 18001C0125 J and 18001C0130 J, Effective date 06/19/2020.
10. This subdivision is subject to a License Agreement Instrument Number 2020-079861 with Drainage District No. 2.
11. This subdivision is subject to a License Agreement Instrument Number 106053983 with Drainage District No. 2.
12. This subdivision is subject to a License Agreement Instrument Number 2020-078014 with Middleston Mill Ditch Company and Middleston Irrigation Association, Inc.
13. This subdivision is subject to a License Agreement Instrument Number 2020-011834 with Ada County Highway District.
14. The development recognizes Section 22-4503 of Idaho Code, Right to Farm Act, which states, "No agricultural operation, operation, facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding non-agricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion thereof or expansion thereof began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."

Surveyor's Narrative

SURVEY PURPOSE: To determine the boundary of land as described in that Warranty Deed recorded under Instrument No. 2020-123989, Ada County Records, Idaho, and to include a portion of said land within this subdivision.

DOCUMENTS USED: See Reference Documents below.

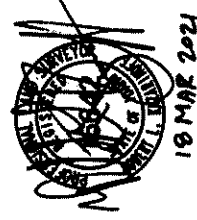
BOUNDARY CONTROLLED BY: The southern boundary is controlled by Reunion Subdivision No. 1, Reunion Subdivision No. 2, and Pristine Meadows Subdivision No. 2. The west boundary is controlled by the western boundary of Section 7, Township 4 North, Range 1 West, Boise Meridian. The northern boundary and the eastern boundary are created by a boundary line created by the client reflecting how the land of heretofore said Warranty Deed is desired to be subdivided.

Reference Documents

Subdivisions:  
Saddle Brook Phases 1, 2, & 6; Meadowbrook No. 2; Rhinoceros Bay Prairie Meadows Nos. 1 & 2;  
Hovencrest Phase 2; and Clearcreek Subdivision Nos. 1 & 2; Reunion Subdivision Nos. 1 & 2;  
Survey:  
R05s 568, 5822, 5823, 8243, and 9125.  
Deeds:  
114002807, 2018-115038, 2019-057091 (re-recording 2019-101398) and 2020-112999.  
Easements: 102084183, 105167588, 105121342, 106102235 & 2019-014180.  
Off-site Easements: 2020-078016 & 2020-131772

Easement Notes

1. All Utility Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of public & private utilities, pressurized irrigation, sewer service, cable television/data; opportunities thereto; and lot drainage.
2. All Pressure Irrigation Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of pressure irrigation lines and appurtenances thereto.
3. Lot 1, Block 4; Lot 1, Block 5; Lots 1 & 11, Block 6; Lots 1 & 7, Block 7; and Lot 1, Block 8 are hereby designated as having a Utility Easement co-situates with said lots.
4. Lot 15, Block 5 is hereby designated as having a non-exclusive, perpetual Gravity Irrigation Easement co-situates with said Lot 15, Block 5, is appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleston Mill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the appurtenances thereto.
5. The Gravity Irrigation Easement across Lot 1, Block 5 as shown and designated hereon is non-exclusive, perpetual, appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleston Mill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the appurtenances thereto.
6. Portions of Lot 1, Block 4; Lot 1, Block 5; and all of Lots 1 & 11, Block 6; and all of Lot 7, Block 7 are hereby reserved for a storm water drainage system. These lots are encumbered by that certain first amended Master Plan Instrument No. 2015-03256, recorded on November 10, 2015 as Instrument No. 2015-03256, official records of Ada County, and incorporated herein by this reference as if set forth in full (the "Master Easement"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section 4B-2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system.
7. See Instrument Number 2020-131772 for Off-site ACHD Permanent Easement.
8. See License Agreement Instrument Number 2019-014180 for Existing Drainage District #2 Irrigation and Drainage Easement (Drain #10).
9. See Instrument Number 2020-078016 for Off-site Gravity Irrigation Easement.
10. No Utility Easement shown or designated hereon shall preclude the construction and maintenance of new or improved highways, landscaping, parking, side & rear property line fences, or other such non-purportment improvements.
11. All easements are parallel (or concentric) to the lines (or area) that they are dimensioned from unless otherwise noted.



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P 208 378 7330 or www.jub.com

PLAT SHOWING  
Reunion Subdivision No. 3


Certificate of Owners

Know all people by these presents that Challenger Development, Inc., an Idaho Corporation, does hereby certify that it is the owner of that real property to be known as Reunion Subdivision No. 3, and that it intends to include said real property, as described below, in this plat to wit:

A parcel of land situated in the northeast quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian, City of Star, County of Ada, State of Idaho, particularly described as follows:  
COMMENCING at the southwest corner of the northeast quarter (center quarter-section corner) of Section 7, Township 4 North, Range 1 West, Boise Meridian, from which the north quarter-section corner of said Section 7 bears North 07°31'33" East, 2648.48 feet; Thence North 07°31'33" East, 640.88 feet along the west line of the northeast quarter of said section 7 to the POINT OF BEGINNING;  
Thence North 07°31'33" East, 673.86 feet continuing along the west line of the northeast quarter and the east boundary of Homecrest Subdivision Phase 2 according to the plat thereof filed in Book 87 of Plats of Ada County Records;  
Thence South 82°51'33" East, 85.42 feet;  
Thence South 82°51'33" East, 412.15 feet;  
Thence South 79°50'22" East, 50.00 feet;  
Thence South 11°09'30" West, 32.36 feet to the beginning of a curve;  
Thence along said curve to the left on an arc length of 48.57 feet, having a radius of 685.00 feet, a central angle of 04°51'16", a chord bearing of South 06°44'00" West, and a chord length of 49.55 feet;  
Thence South 42°02'09" East, 27.08 feet;  
Thence South 82°51'33" East, 27.08 feet;  
Thence South 82°51'33" East, 430.00 feet;  
Thence North 07°06'17" East, 44.87 feet;  
Thence South 82°51'33" East, 50.00 feet;  
Thence South 44°53'45" East, 23.28 feet;  
Thence South 82°51'33" East, 98.00 feet;  
Thence South 82°51'33" East, 23.28 feet;  
Thence South 07°06'17" West, 244.59 feet to the beginning of a curve;  
Thence along said curve to the right on an arc length of 83.70 feet, having a radius of 125.00 feet, a central angle of 29°11'53", a chord bearing of South 14°42'06" West, and a chord length of 83.01 feet;  
Thence South 29°18'04" West, 53.52 feet to the beginning of a curve;  
Thence along said curve to the left on an arc length of 23.01 feet, having a radius of 74.57 feet, a central angle of 17°40'45", a chord bearing of South 20°27'42" West, and a chord length of 22.82 feet to the northern boundary of Relative Meadows Subdivision No. 2 according to the plat thereof filed in Book 95 of Plats of Ada County Records;  
Thence North 19°12'36" West, 50.00 feet along said subdivision boundary to the boundary of Reunion Subdivision No. 1 according to the plat thereof filed in Book 114 of Plats of Ada County Records through 18933, Ada County Records;  
Thence along said subdivision boundary the following set (S) courses:  
North 77°05'45" West, 18.25 feet;  
Thence North 80°41'57" West, 134.84 feet to the beginning of a curve;  
Thence along said curve to the left on an arc length of 160.00 feet, having a radius of 561.50 feet, a central angle of 16°19'30", a chord bearing of North 80°31'44" West, and a chord length of 158.48 feet;  
Thence South 82°58'20" West, 181.77 feet to the beginning of a curve;  
Thence along said curve to the left on an arc length of 48.20 feet, having a radius of 352.00 feet, a central angle of 05°00'10", a chord bearing of South 80°29'23" West, and a chord length of 48.18 feet;  
Thence South 81°57'20" West, 32.44 feet to the beginning of a curve;  
Thence along said curve to the right on an arc length of 185.54 feet, having a radius of 648.00 feet, a central angle of 10°00'18", a chord bearing of South 82°53'38" West, and a chord length of 185.33 feet;  
Thence North 82°41'17" West, 143.54 feet to the POINT OF BEGINNING, containing 18.44 acres, more or less.

The public streets shown on this plat are hereby dedicated to the public. The easements shown on this plat are not dedicated to the public, however the right to use said easements is hereby reserved for the use specifically depicted on the plat, and for any other purpose designated herein, and no permanent structures, other than for such uses and purposes, are to be erected within the lines of said easements. All of the lots within this subdivision are eligible to receive water services from Star Sewer and Water District and other Districts that have agreed in writing to serve all lots within this subdivision. Irrigation water has been provided from Middleton Hill Ditch Company. In compliance with Idaho Code 31-3606(1)(b), Lots within this subdivision will be entitled to irrigation water rights, and will be obligated for assessments from Middleton Hill Ditch Company.

In witness whereof, I have hereunto set my hand:

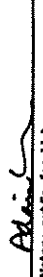
  
Corey E. Barton, President  
Challenger Development, Inc.

Acknowledgment

State of Idaho }  
County of Ada }

On this 16 day of October, in the year 2020, before me, a Notary Public in and for the State of Idaho, personally appeared Corey D. Barton, known and identified to me to be the President of Challenger Development, Inc., the same person whose name and address are stated on the attached plat, and acknowledged to me that Challenger Development, Inc. executed the same.



  
Notary Public for Idaho  
My commission expires 10-15-23

Certificate of Surveyor

I, Robert L. Kazanoff, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat of Reunion Subdivision No. 3, as described in the Certificate of Owners and as shown on the attached plat is correct and was surveyed in accordance with Idaho Code relating to plats and surveys.

  
15 OCT 2020

Robert L. Kazanoff, PLS 18642



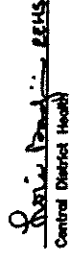
J-U-B ENGINEERS, INC.

250 South Broadway Avenue, Suite 203, Boise, ID 83720-0944  
P. 208.379.7330 or www.jub.com

PLAT SHOWING  
Reunion Subdivision No. 3


Approval of Central District Health

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read with the plat. The plat is hereby approved. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.

  
Central District Health  
PLS  
ADA COUNTY HEALTH DISTRICT  
11-22-2020  
Date

Approval of Ada County Highway District

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on this 20th day of November, 2020.

  
Commission President  
Ada County Highway District  
Stephen B. Wynn, Director for President  
ADA COUNTY HIGHWAY DISTRICT  
SEAL

Approval of City Engineer

I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on this day of November, 2020, hereby approve this plat.

  
PE # 1864  
City Engineer, Star, Idaho

Approval of City Council

The foregoing plat was accepted and approved this 11th day of July, 2020 by the City of Star, Idaho.

  
City Clerk, Star, Idaho  

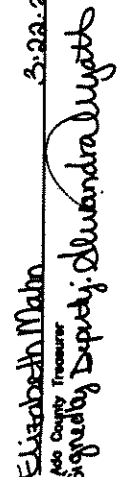


Certificate of County Surveyor

I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and find that it complies with the State of Idaho Code relating to plats and surveys.

  
Ada County Surveyor  
PLS 5357  
  
3-19-2021  
Date

Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1326 do hereby certify that all current tax/ or delinquent county property taxes for the property included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.

  
Ada County Treasurer  
Elizabeth Mabin  
Signed by Deputy: Duandra Lygett  
3-22-2021  
Date  



County Recorder's Certificate

State of Idaho }  
County of Ada } ss. Instrument No. 2021-042286

I hereby certify that this instrument was filed at the request of JUB Engineers, Inc. of

6 minutes past 3 o'clock P.M.,  
this 23rd day of March, 2021, in my office, and was recorded in  
Book 120 of Plats of Pages 1873 through 1878  
Fee: 44-

  
Deputy  
Phil McGowan  
Ex-Officio Recorder

  
13 FEB 2020



JUB ENGINEERS, INC.  
200 South Beachwood Avenue, Suite 201, Boise, ID 83709-0944  
P. 208.374.7330 www.jub.com

### **3. Storm System**

This manual outlines the duties to be performed by the Ada County Highway District (ACHD) and the Home Owner's Association (HOA) and its members for the maintenance of the site facilities including parking areas, landscape areas, and stormwater facilities located within the development.

This section is intended to familiarize the HOA with the stormwater system design, function, and maintenance to ensure that the system is adequately maintained and that stormwater runoff does not create a hazard within the community.

Every stormwater system needs to be properly maintained to reduce or eliminate costly repair problems and to properly treat stormwater. The lack of proper maintenance is the most common cause of stormwater system failure.

The homeowners association will be responsible for administering the light maintenance requirements for Reunion Subdivision Phase 3 until another qualified and approved organization or agency accepts this responsibility, as more particularly described in section 3.4.

#### **3.1 Purpose**

The primary purpose of the stormwater facilities is to provide collection, conveyance, storage and discharge of stormwater runoff. The stormwater structures located within the development consist of a pond, storm drain piping, manholes, and concrete sand and grease traps. The sand and grease trap structures are designed to provide additional water quality treatment of the storm water discharging from the underground drainage pipe system prior to entering the stormwater storage facility. The stormwater pond and seepage beds are designed to contain storm water runoff generated during a 100-year, 24-hour storm event until the stormwater infiltrates through the storage facility.

#### **3.2 Definitions**

##### **LIGHT MAINTENANCE**

The maintenance required to routinely maintain common areas. Typically this maintenance consists of mowing, weeding, hedge trimming, fertilizing, minor excavation, raking, and regularly monitoring all areas where stormwater runoff is present. Unless specifically excluded herein, all light maintenance shall be performed by the homeowners association or its designated representative.

##### **HEAVY MAINTENANCE**

Any labor required to repair or regularly maintain all structures not maintained by the homeowners association. These structures include, but are not limited to, curb inlets, manholes and storm drain pipe. In general, these structures are located either within the public right-of-way or within the stormwater master perpetual easement (see attached final plat) and will be maintained at the discretion of the Ada County Highway District (ACHD).

### **3.3 Design Overview**

Generally throughout the site there are curb inlets which have been placed within the roadways to capture the stormwater at designed low points. At this point the water is directed to an underground pipe network consisting of storm drain pipes and manholes to transmit the water to a storm water treatment system where oils and solids are separated from the stormwater before allowing the water to outfall into a stormwater pond. The ponds are shown on the improvement plans contained in section 4 of this manual.

### **3.4 Maintenance Requirements**

For the various maintenance items involved, periodic inspections are to be made of the sand and grease traps and storm drain facilities, in addition to any work required in each of the categories below. These inspections shall be performed and documented using the schedule and maintenance report found in the appendix.

#### **STORMWATER PONDS**

Drainage ponds are composed of sloped banks down to a depressed area in which stormwater percolates into the ground. The landscaping, Per the ACHD Revegetation Manual may consist of grassy lawn and will require regular mowing and weed control. The entire area within the Pond is to be kept in a weed free and healthy state. No grass clippings are to accumulate within the pond or area immediately surrounding it. This maintenance is to be done a minimum of once every week.

If during the periodic inspections the pond are noted to hold water for long periods of time, heavy maintenance may be necessary. The pond is located within a common area of the development.

The primary purpose for the pond is stormwater management. Landscaping and/or amenity features such as park benches or monuments may need to be removed for heavy maintenance as required. Replacement of these items will be the responsibility of the homeowners association.

#### **MOWING AND LANDSCAPE MAINTENANCE:**

The HOA shall perform the normal routine surface maintenance such as lawn mowing, weed control, and ensuring proper irrigation of landscaping and lawn areas. Weed control shall be applied at least annually utilizing a weed control. Application shall be by broadcast or spray methods following the manufacturer's recommended application rate. Care should be taken to sweep up any particles broadcast to surrounding concrete and asphalt surfaces after each application.

The grass within the site common areas and in public right of way must also be maintained in a good-healthy condition. Grass clippings should be swept or blown from surrounding concrete and asphalt surfaces after each mowing. If blown, clippings will be blown back onto grassed areas for decomposition.

**TRASH CLEANUP:**

During the periodic inspections, any trash found within the boundary of the parking areas, swale areas, discharge manholes and all frontage landscape areas shall be collected and disposed of in a safe and legal manner.

**GREASE, OIL, AND GAS:**

During the periodic inspections, the parking areas and stormwater pond areas shall be checked for any evidence of grease, oil or gas spillage. Small drops and spots, less than 6" in diameter will be absorbed using appropriate absorbent pads and materials. Larger spills may require professional assistance from duly licensed professionals. If these or other chemicals are found, the HOA shall clean up the spills appropriately according to local and State environmental and safety requirements.

**PAVEMENT CLEANING:**

The paved areas will be inspected for general trash and debris; oils, gas and grease; and dust and sediment. General trash and debris will be collected and disposed of in accordance with local and State requirements. Grease, oil and gas will be addressed as described above. Sediment will be swept up and disposed of in a safe and legal manner. The following guidelines shall govern the cleaning process:

- Sweep when weather is conducive to sweeping.
- Inspect inlet grates for debris. Stop sweeper and hand clean debris away from grates, then sweep with the sweeper.
- When maintenance of weeds in the gutter is necessary, sweeping should occur the same day after the weed trimming operations; or weed trimmings should be manually cleaned up and disposed of.
- Small objects that are blocking the sweeping operations should be removed prior to sweeping. Sweeping should occur when the parking lot is free from large objects such as parked vehicles.
- Areas where trees or other obstructions do not allow the use of a mechanical sweeper shall be hand swept.

Sweeping should occur at least quarterly with one occurrence being during the fall after most leaves have fallen from the trees.

## **4. Attachments**



## MINIMIZING DIRECTLY CONNECTED IMPERVIOUS AREAS (DCIAs)

Stormwater system feature	✓	Are any of these conditions present?	Problem	Recommendation
Landscaped or natural area		Sediment accumulation exceeds 2" in depth	Sediment buildup on vegetation	Remove sediment carefully to avoid damaging the existing vegetation. Dispose of sediment properly.
		Grass becomes excessively tall or weeds invade the area	Tall grass or weeds	Mow vegetation regularly. Grass should be mowed to a height between 4-9" for best storm water treatment.  Remove weeds, if necessary. Call the University of Idaho Cooperative Extension System for information on eradicating weeds in storm water systems. (Ada County) Phone: (208) 377-2107 Fax: (208) 375-8715 e-mail: <a href="mailto:ada@uidaho.edu">ada@uidaho.edu</a>
		Trash and debris are present	Trash and debris accumulation	Remove waste and dispose of properly.
		Offensive color, odor, or sludge is present	Unknown or uncharacteristic substance	Remove substance and eliminate its source. If you are unsure whether the substance is hazardous, take a sample or contact a qualified hazardous waste consultant for assistance.
		Erosion or scouring is evident	Excessive flows or flow channelization	Re-grade and re-seed area to eliminate high velocity or channelized flows. Overseed areas where bare spots are present. Contact a licensed contractor for "heavy maintenance"

Inspection Checklist for Basins & Swales (Revised 5/12/17)

Basin Location				
	Inspection 1	Inspection 2	Inspection 3	Inspection 4
Date & Time:				
Site Status:				
Approx. Date & Amount of Last Rainfall:				
Inspector				

Copy of this complete inspection checklist along with pictures to file

Type of Basin:  Retention  Detention  Wet  Swale

Provide a copy of the O&M Plan with this checklist.

Note: This form may be used for four different inspections

Maintenance Item	Pass/Fail				Comments
	1	2	3	4	
Irrigation (Daily)					N/A if not applicable
Control of nuisance water from lots and common areas to street					
Control of watering within basin landscape					
Retention/Detention Basins & Swales (Monthly, After Storms)					N/A if not applicable
Remove cobble or other non-draining material from sand infiltration areas.					
Remove sediment accumulation from sand infiltration areas, rake/till sand for positive drainage					
Remove litter and debris					
Low flow channels clear of obstructions					
Standing water or wet spots, source of water?					
Wet Basins (Monthly, After Major Storms)					N/A if not applicable
Undesirable vegetative growth					
Floating or floatable debris removal required					
Visible pollution					
Shoreline problem					

Inspection Checklist for Basins & Swales (Revised 5/12/17)

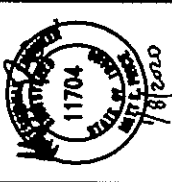
Maintenance Item	Pass/Fail				Comments
	1	2	3	4	
Other (specify)					
Basin Sediment Forebays (monthly, After Major Storms)					N/A if not applicable
Sedimentation noted					
Sediment cleanout when depth > 50% design depth					
Basin Primary Cell (Annual, After Major Storms)					
Vegetation and ground cover adequate					
Weed Control					
Unauthorized planting					
Slope protection/erosion					
Animal burrows					
Condition of overflow spillway (if applicable)					
Seeps/leaks					
Inlet pipe trash rack					
Endwalls/Headwalls					
Energy dissipation at inlet (riprap or concrete)					
Other (specify)					
Basin Riser and Principal Spillway Outfall (Annual)					N/A if Not Applicable
Type: <input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Corrugated pipe <input type="checkbox"/> Other					
Low flow orifice obstructed					
Low flow trash rack					
• Debris removal necessary					
• Corrosion control					
Weir trash rack maintenance					
• Debris removal necessary					
• Corrosion control					
Excessive sediment accumulation in or around riser					

Inspection Checklist for Basins & Swales (Revised 5/12/17)

Maintenance Item	Pass/Fail				Comments
	1	2	3	4	
Condition of riser and barrels					
<ul style="list-style-type: none"> <li>• Minor spalling (&lt;1")</li> </ul>					
<ul style="list-style-type: none"> <li>• Major spalling (rebars exposed)</li> </ul>					
<ul style="list-style-type: none"> <li>• Joint failures</li> </ul>					
<ul style="list-style-type: none"> <li>• Water tightness</li> </ul>					
Outfall channels functioning					
Other (specify)					
Other (Monthly)					
Encroachment on pond or easement area					
Complaints from residents					
Aesthetics					
<ul style="list-style-type: none"> <li>• Grass growing required</li> </ul>					
<ul style="list-style-type: none"> <li>• Other (specify)</li> </ul>					
Any public hazards (specify)					
Constructed Wetland Area (Annual)					
Vegetation healthy and growing					
Evidence of invasive species					
Excessive sedimentation in wetland area					
Other (specify)					



## **STORMWATER POND PLANS**

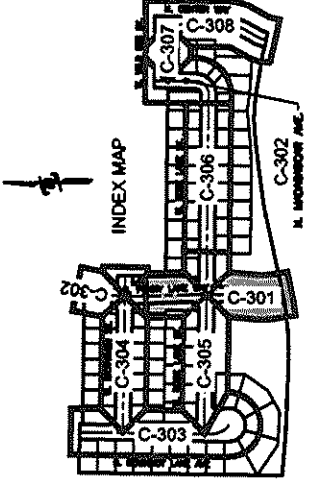


NO.	DESCRIPTION	DATE
1	REVISION	

**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**  
**STREET PLAN AND PROFILE**  
**N. PENNY LAKE WAY**

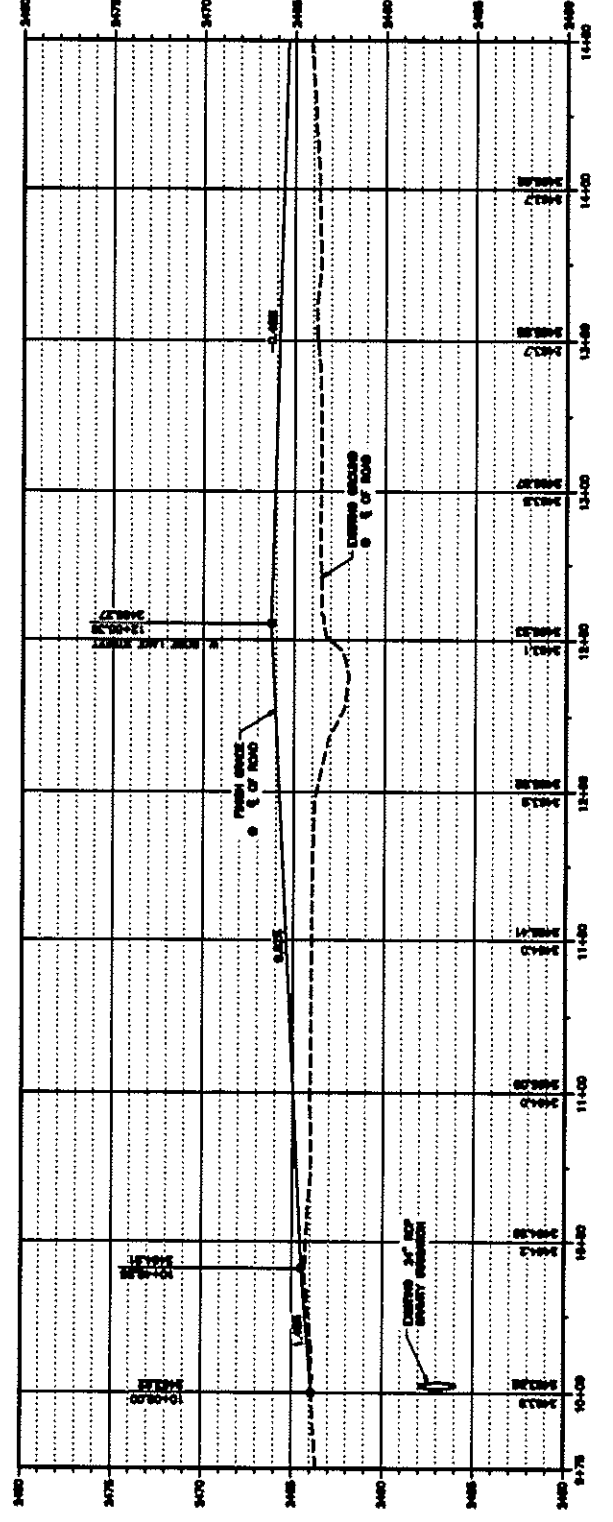
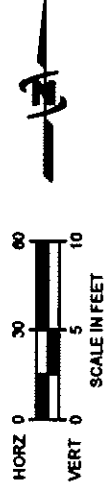
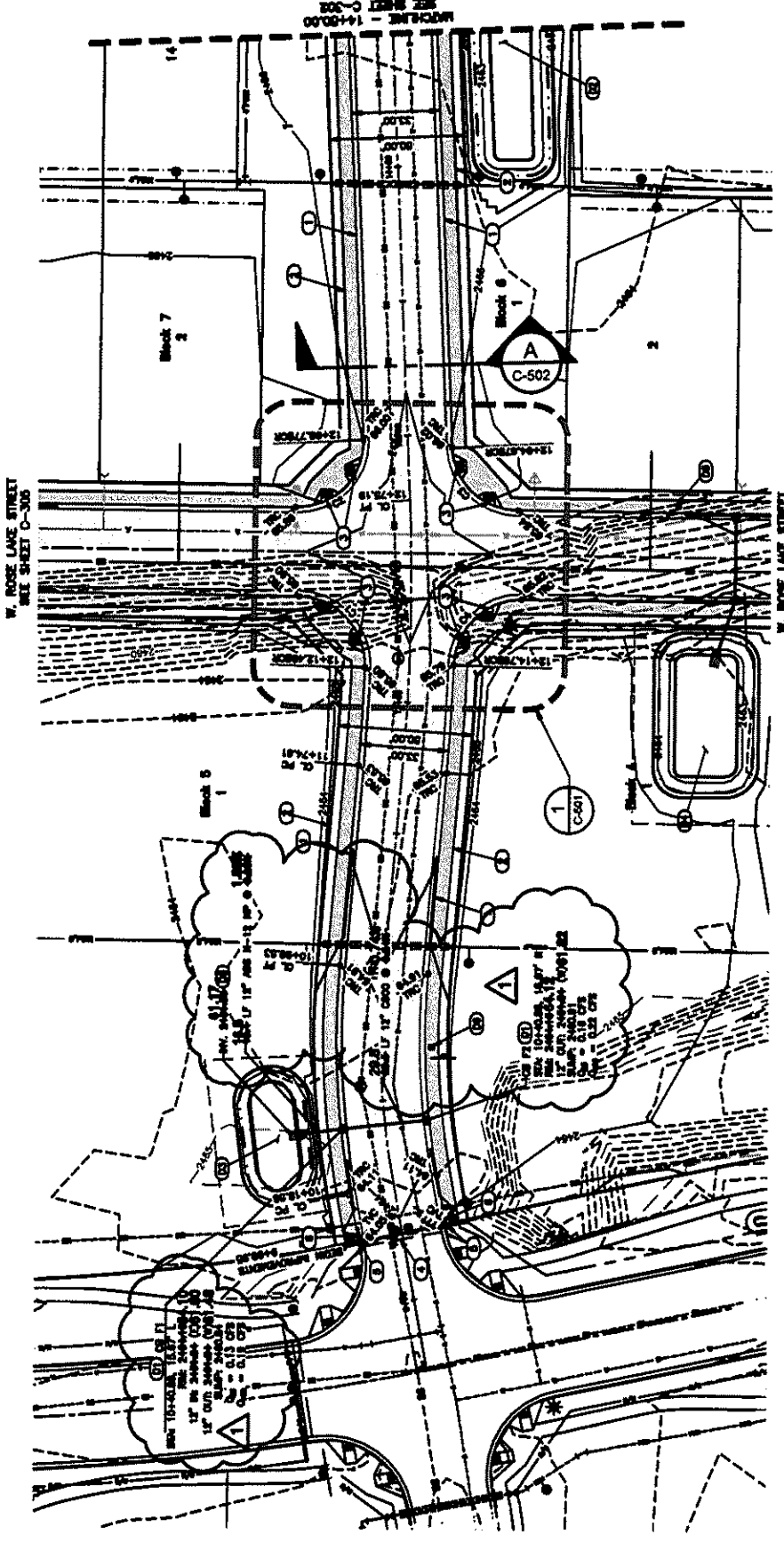
FILE: REUNION SUBD  
 DATE: 11/18/2020  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 SHEET NUMBER: **C-301**

**RECORD DRAWINGS**



- ROADWAY NOTES**
- (1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO SPWC 90-702
  - (2) 8" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SPWC 90-709, 2.10% MAX. CROSS SLOPE
  - (3) PROPOSED RAMP TYPE "B" PER ACHD SUPPLEMENT TO SPWC 90-712 WITH DETRIABLE MARKING PER ACHD SUPPLEMENT TO SPWC 90-712
  - (4) SAMPLE PANELMENT (BY THESE EXISTING EDGES) PER ACHD ROADWAY NOTE 5 ON SHEET C-302 ALSO PER ACHD SUPPLEMENT TO SPWC 90-303, MATCH EXISTING
  - (5) MATCH EXISTING CURB, GUTTER, AND SIDEWALK
  - (6) 6" CURB TRANSITION FROM 8" VERTICAL CURB TO 3" ROLLED CURB
- DRAINAGE NOTES**
- (1) TYPE IV CATCH BASIN PER ACHD SUPPLEMENT TO SPWC 90-604A
  - (2) STORM POND D
  - (3) STORM POND F
  - (4) STORM POND H
  - (5) PREPARED/INSTALLED END SECTION WITH ROCK IMP RMP 4"x4" WITH 4" TO 8" CORIBLES 1' DEEP
  - (6) GROUNDWATER OBSERVATION WELL PER ACHD SUPPLEMENT TO SPWC 90-827

**RECORD DRAWING**  
 This drawing has been prepared based on the information provided by the client and the contractor. The engineer has not conducted a field inspection of the site and is not responsible for the accuracy of the information provided. The contractor shall be responsible for the accuracy of the information provided and for the safety of the project. The engineer's only responsibility is to provide professional engineering services based on the information provided. The engineer shall not be held liable for any errors or omissions in this drawing.

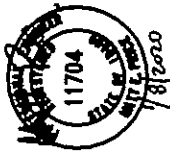


**CURVE TABLE**

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	38.88'	25.00'	25.73'	91°38'53"	N43°30'07"W	38.88'
C2	40.51'	25.00'	26.27'	82°00'31"	N44°00'11"E	38.82'
C3	38.03'	25.00'	23.78'	87°08'29"	S45°50'49"E	34.47'
C4	38.82'	25.00'	24.35'	89°30'33"	S46°19'00"W	34.89'

**NOTES TO CONTRACTOR**

- ALL SHOWN FEET TO ALL SHOWN DIMENSIONS TO EXTREME ACTUAL.
- SEWER LINES ARE HORIZONTALLY (HO) MEASURED FROM INSIDE FACE TO INSIDE FACE OF STRUCTURE.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND THE IDAHO DEPARTMENT OF TRANSPORTATION AND PUBLIC SAFETY (IDOTPS) PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND SHALL BE FULLY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND MARKERS TO BE SHOWN ON ANY PORTION OF THIS DRAWING.
- THIS DRAWING OR ANY PORTION OF IT SHALL NOT BE USED ON ANY PROJECT OR EXTENSION OF PROJECT WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.



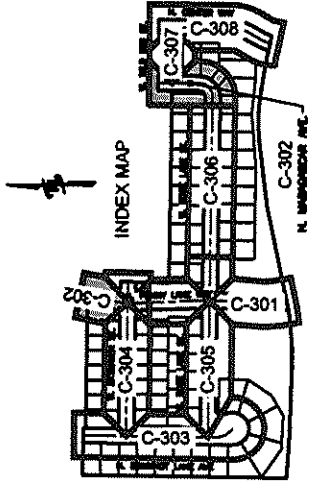
NO.	DESCRIPTION	DATE

N. PENNY LAKE WAY - N. MADAGASCAR AVE.

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO

DATE: 08-03-2020  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 ALL DIMENSIONS SHALL BE IN FEET UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.  
 SHEET NUMBER: C-302

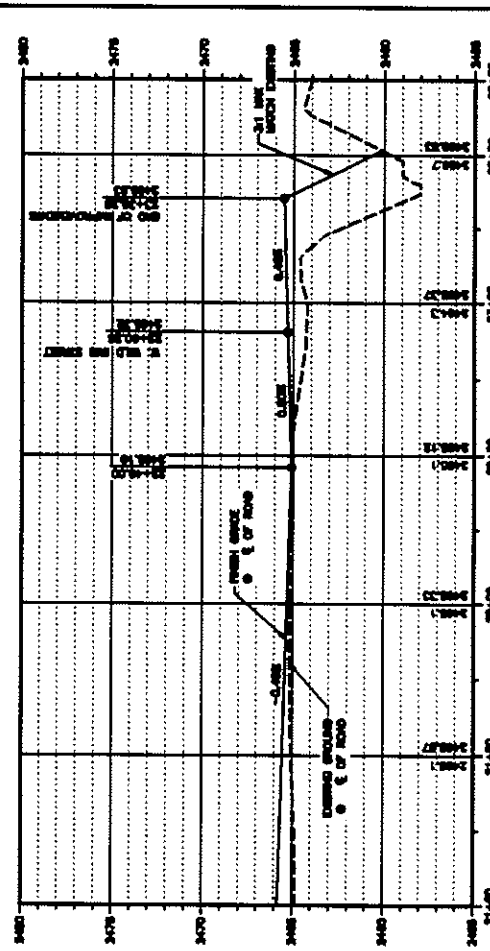
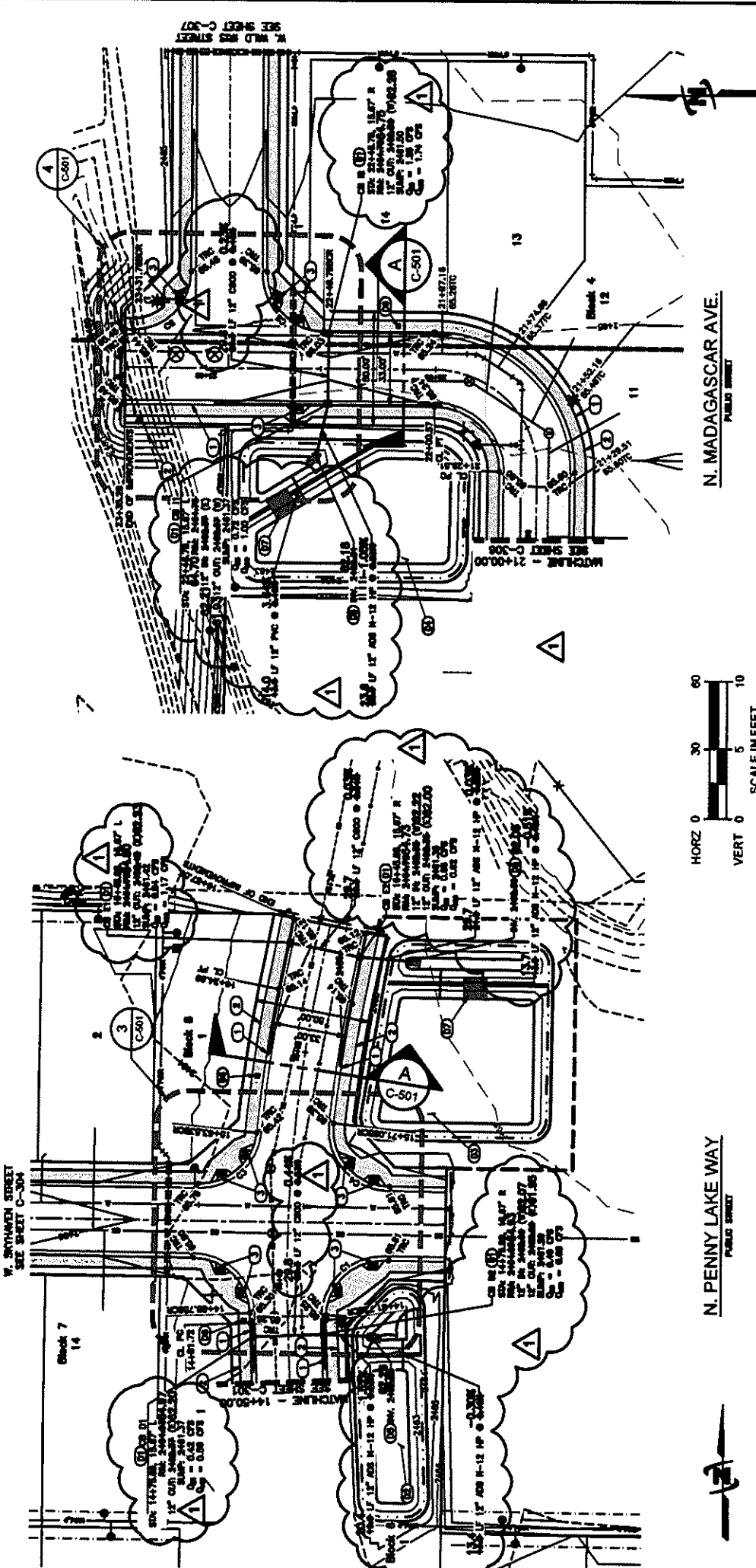
RECORD DRAWINGS



- ROADWAY NOTES**
- (1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO SPWC SD-702
  - (2) 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SPWC SD-704, 5/8" MAX. CRACKS MAX. 1/8"
  - (3) RECONSTRUCT TYPE 2.5" PER ACHD SUPPLEMENT TO SPWC SD-712A WITH 10% OVERLAY PER ACHD SUPPLEMENT TO SPWC SD-712
- DRAINAGE NOTES**
- (1) TYPE IV CATCH BASIN PER ACHD SUPPLEMENT TO SPWC SD-604A
  - (2) STORM POND D
  - (3) STORM POND E
  - (4) STORM POND I
  - (5) PRE/PROPOSED PLUMBED END SECTION WITH ROCK IMP IMP 4"x4" WITH 4" TO 6" COBBLES 1' DEEP
  - (6) GROUNDWATER OBSERVATION WELL PER ACHD SUPPLEMENT TO SPWC SD-627
  - (7) ANTIWASH SPILL CHANNEL

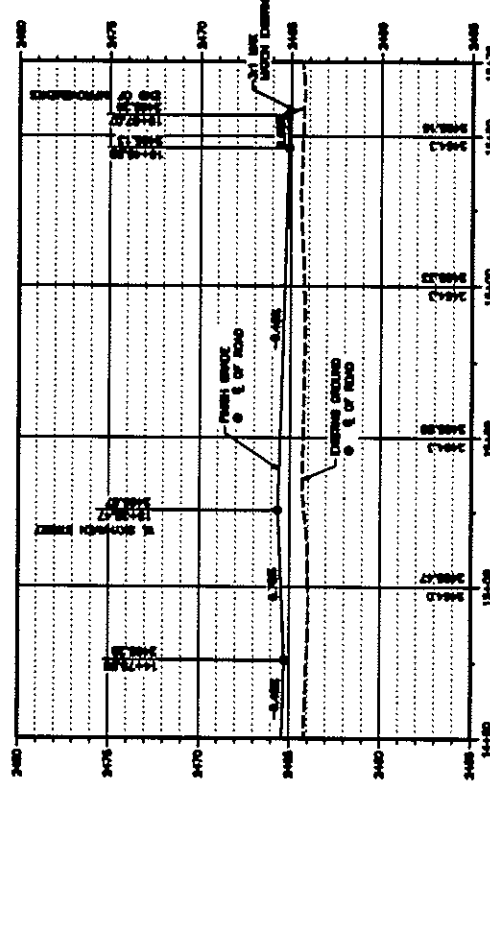
**RECORD DRAWINGS**

THESE RECORD DRAWINGS ARE THE PROPERTY OF JUB ENGINEERS, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THESE RECORD DRAWINGS WITHOUT THE WRITTEN CONSENT OF JUB ENGINEERS, INC. IS STRICTLY PROHIBITED. THE USER OF THESE RECORD DRAWINGS SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION CONTAINED HEREON. THE USER OF THESE RECORD DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER OF THESE RECORD DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE USER OF THESE RECORD DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.



**CURVE TABLE**

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C5	36.27	25.00'	25.00'	80°00'00"	S49°08'17"W	36.34'
C6	36.27	25.00'	25.00'	80°00'00"	S44°33'43"E	36.34'



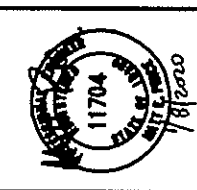
**CURVE TABLE**

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	40.50'	25.00'	24.38'	82°48'35"	S44°09'44"W	36.23'
C3	37.18'	25.00'	22.97'	89°08'28"	N47°08'43"E	33.85'
C4	41.28'	25.00'	27.85'	86°33'05"	S41°38'01"E	37.03'

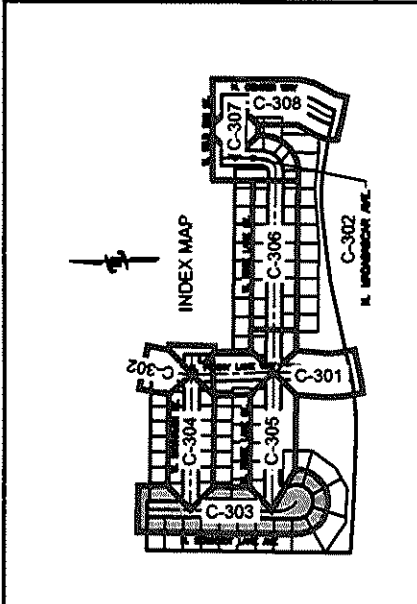
**NOTES TO CONTRACTOR**

- ALL DIMENSIONS SHALL BE IN FEET UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.
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- ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE SPECIFIED.





NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/15/2010
2	ISSUED FOR RECORD	11/15/2010



**ROADWAY NOTES**

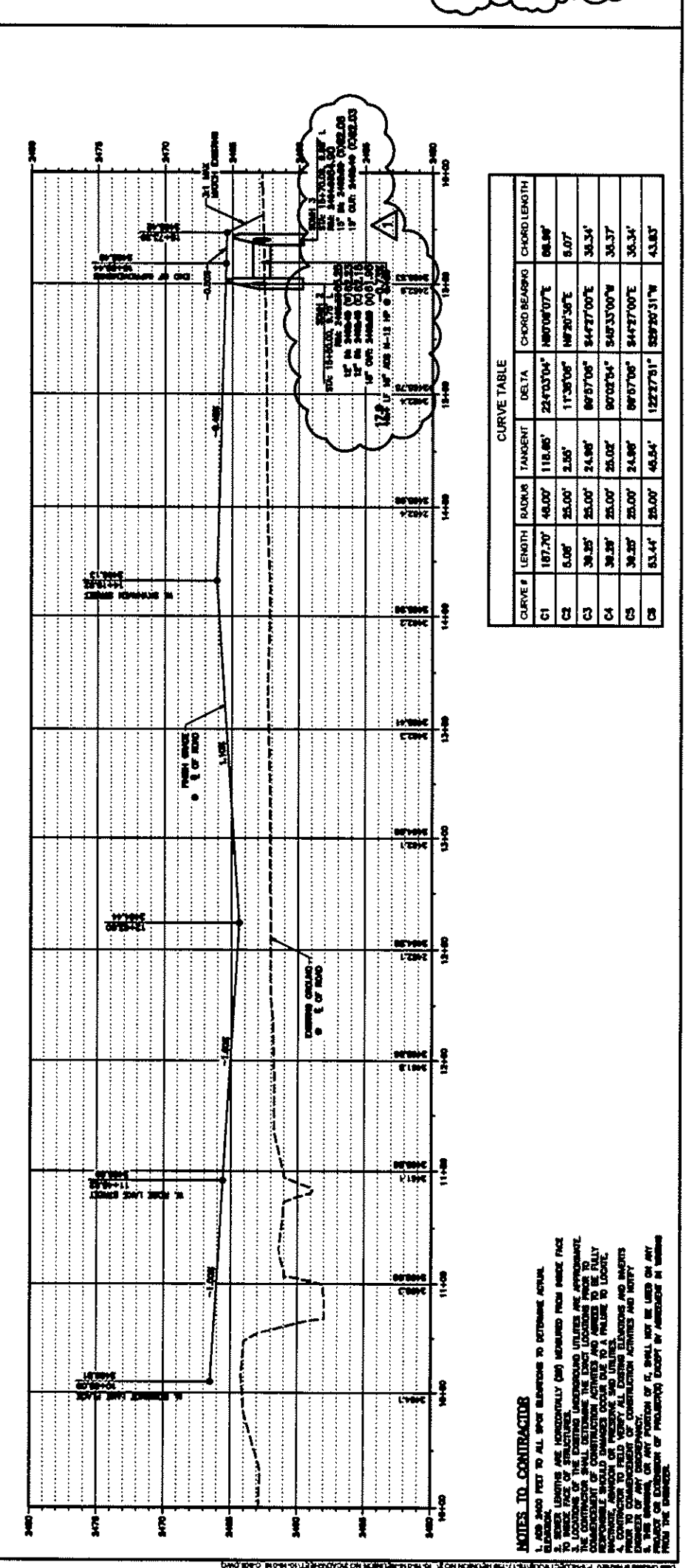
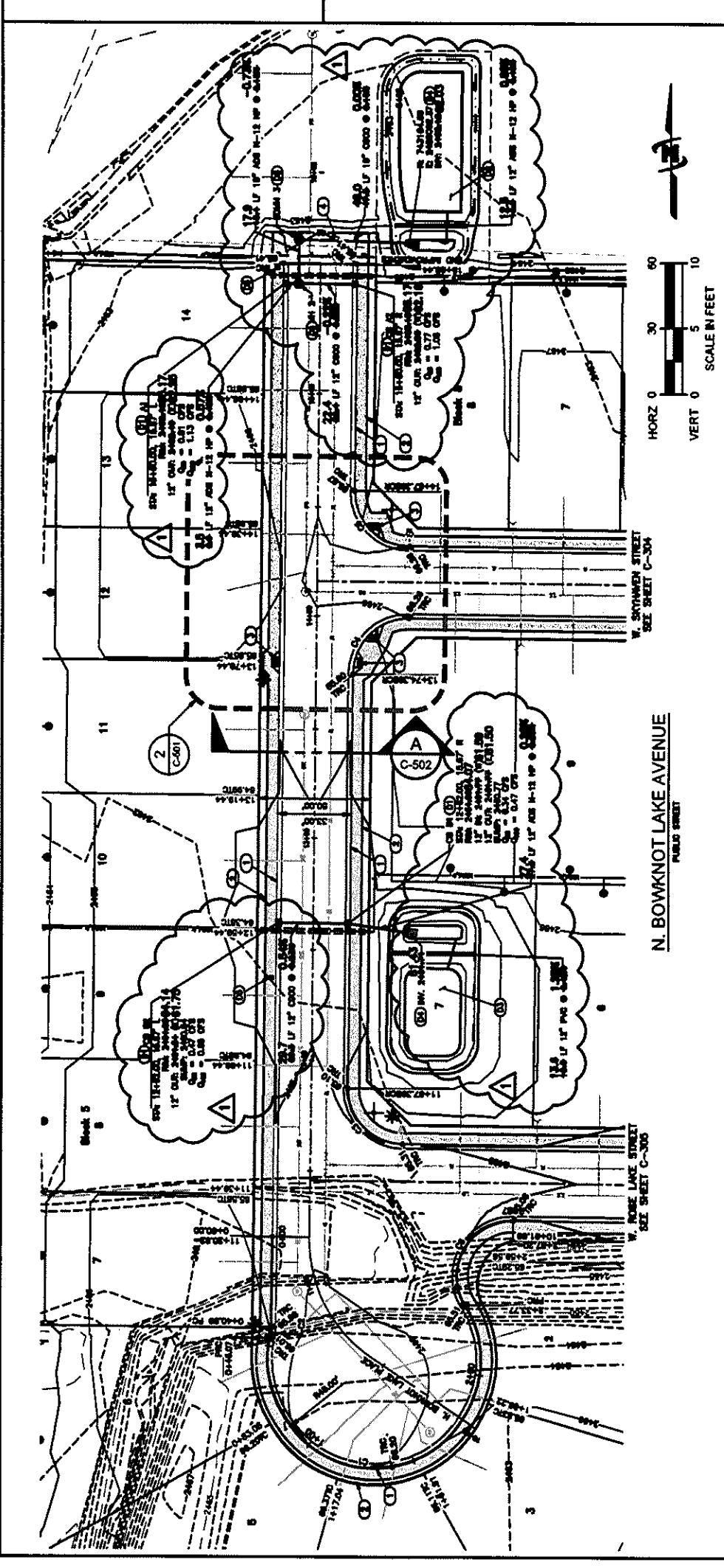
- 1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO ISRPC 50-702
- 2) CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO ISRPC 50-702, 3.0% MAX. CROSS SLOPE.
- 3) PAVED WALKWAY TYPE 707 PER ACHD SUPPLEMENT TO ISRPC 50-712 WITH DETECTABLE WARRINGS PER ACHD SUPPLEMENTAL TO ISRPC 50-712
- 4) MANHOLE TO PROTECT MANHOLE FOR FUTURE PHASE

**DRAINAGE NOTES**

- 1) TYPE B1 CATCH BASIN PER ACHD SUPPLEMENT TO ISRPC 50-604
- 2) STORM POND A
- 3) STORM POND B
- 4) PRE-CAST/CAST IN PLACE 24" SECTION WITH ROCK INF. IMP. 4"x4" DEEP WITH 4" TO 6" COBBLES 1' DEEP
- 5) CIRCUMFERENTIAL OBSERVATION WELL PER ACHD SUPPLEMENT TO ISRPC 50-627
- 6) 48" MANHOLE PER ISRPC 50-611

**RECORD DRAWINGS**

THIS DRAWING HAS BEEN PREPARED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS OF THE STATE OF IDAHO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY OTHERS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

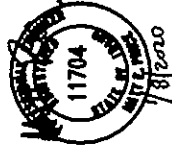


**CURVE TABLE**

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	187.70'	48.00'	118.88'	224°03'04"	N80°08'07"E	88.88'
C2	5.08'	25.00'	2.50'	11°35'08"	N97°30'36"E	8.07'
C3	38.25'	25.00'	24.98'	89°57'08"	S44°27'00"E	38.34'
C4	38.25'	25.00'	25.02'	89°02'54"	S45°33'00"W	38.37'
C5	38.25'	25.00'	24.98'	89°57'08"	S44°27'00"E	38.34'
C6	53.44'	25.00'	45.54'	122°27'51"	S29°20'31"W	43.83'

**NOTES TO CONTRACTOR**

1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED TO CENTERLINE OR FACE OF STRUCTURE.  
 2. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED TO CENTERLINE OR FACE OF STRUCTURE.  
 3. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED TO CENTERLINE OR FACE OF STRUCTURE.  
 4. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED TO CENTERLINE OR FACE OF STRUCTURE.



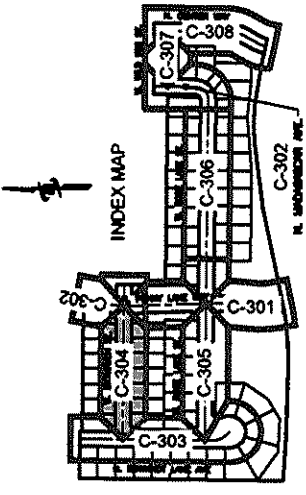
NO.	DATE	DESCRIPTION
1	02/20/20	ISSUED FOR PERMITS

**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**  
**STREET PLAN AND PROFILE**  
**W. SKYHAVEN ST.**

DATE: 10-18-2018  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 PROJECT NO.: 18-001  
 SHEET NO.: C-304  
 TOTAL SHEETS: 3

**C-304**

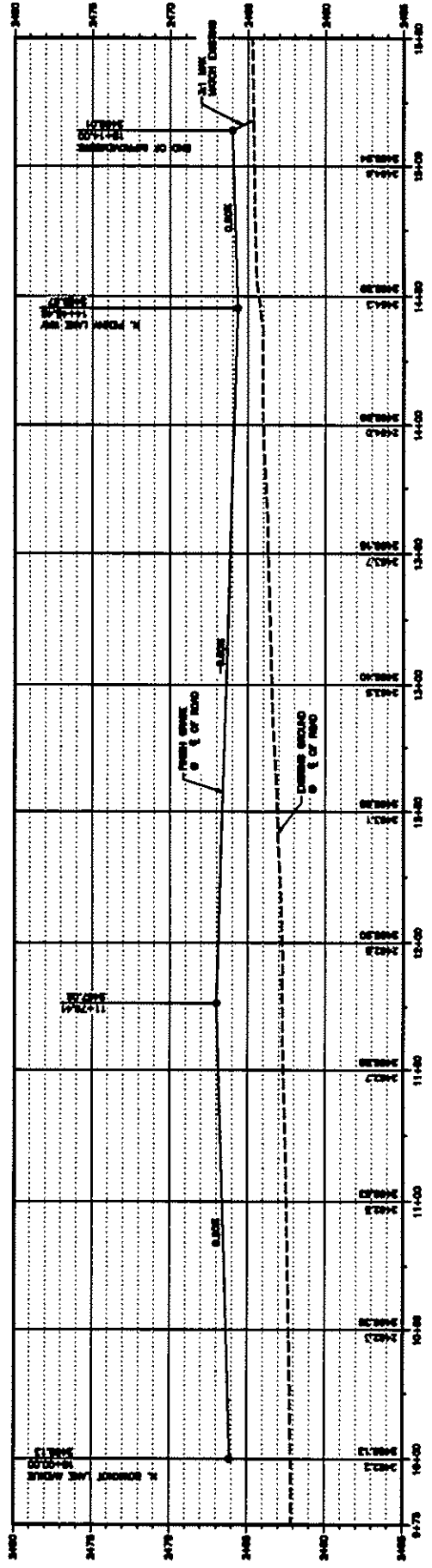
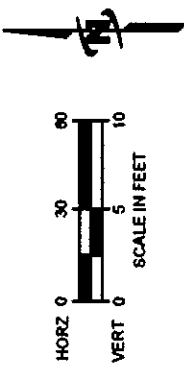
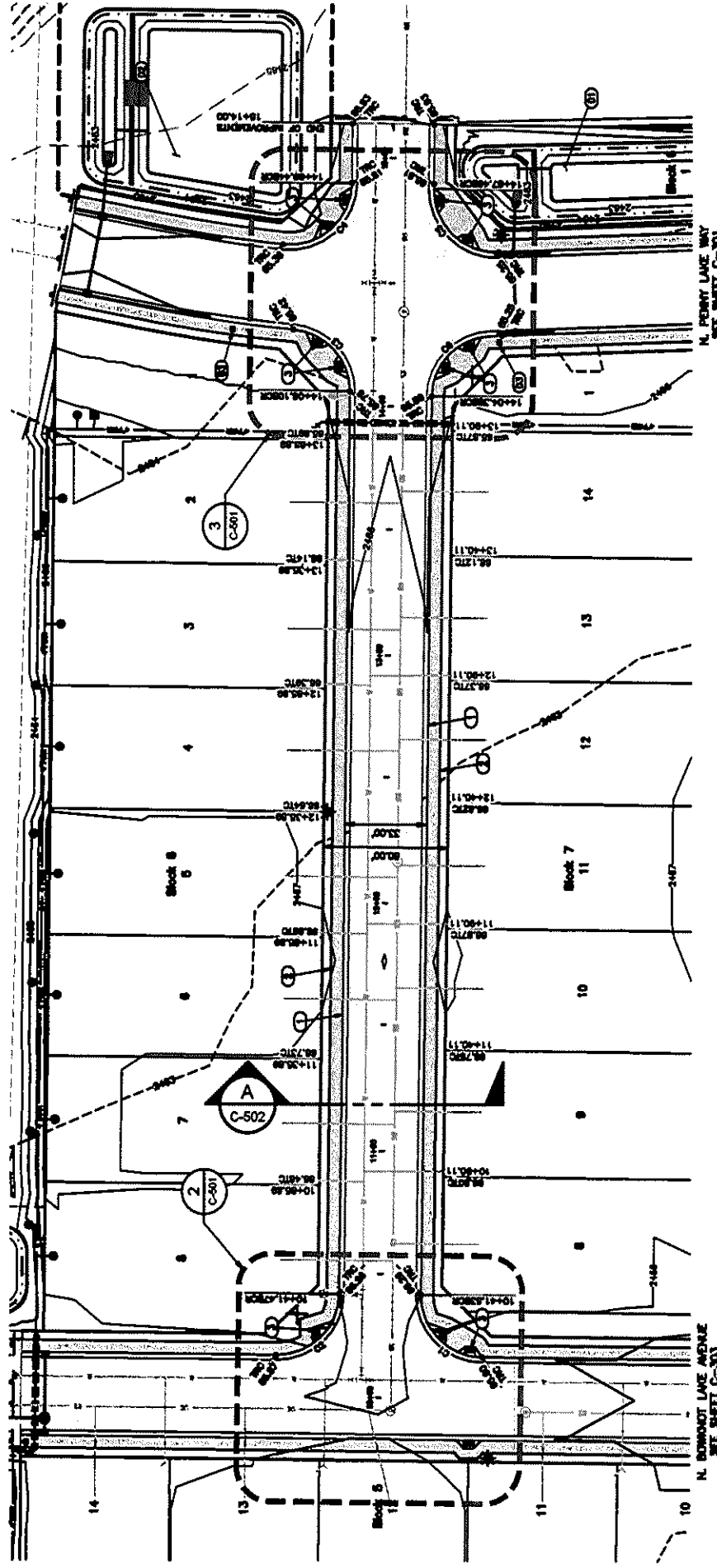
**RECORD DRAWINGS**



- ROADWAY NOTES**
- (1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO SP1C 80-702
  - (2) 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SP1C 80-708. 2.0% WALL CROSS SLOPE.
  - (3) PAVED ROADWAY TYPE "A" PER ACHD SUPPLEMENTAL TO SP1C 80-715(1) DETACHABLE MANHOLES PER ACHD SUPPLEMENTAL TO 80-712.
- DRAINAGE NOTES**
- (1) STORM POND D
  - (2) STORM POND E
  - (3) OBSERVATION WELL PER ACHD SUPPLEMENT TO SP1C 80-827

**RECORD DRAWINGS**

These Record Drawings have been prepared based on information furnished by the client. It is the responsibility of the client to provide accurate information. The engineer is not responsible for the accuracy of the information provided by the client. The engineer is not responsible for the accuracy of the information provided by the client. The engineer is not responsible for the accuracy of the information provided by the client.



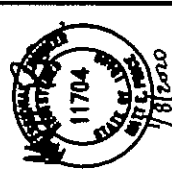
CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	36.35'	25.00'	25.00'	90°00'00"	S48°37'00"W	36.37'
C2	36.35'	25.00'	24.96'	89°57'08"	S47°27'00"E	36.34'
C3	37.16'	25.00'	23.87'	89°08'38"	S47°59'43"E	33.83'
C4	41.86'	25.00'	27.56'	87°33'05"	S41°30'01"E	37.43'
C5	40.86'	25.00'	26.47'	87°15'37"	S43°55'33"W	36.35'
C6	36.11'	25.00'	23.86'	87°32'11"	S48°39'28"W	34.58'

**NOTES TO CONTRACTORS**

1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.

2. ALL DIMENSIONS ARE HORIZONTALLY (AS) MEASURED FROM THE FACE OF THE CURB OR THE EXISTING LANDSCAPED UTILITY LINES AS APPROPRIATE. THE CONTRACTOR SHALL ESTIMATE THE EXISTING LOCATIONS FROM THE EXISTING RECORD DRAWINGS AND SHALL BE FULLY RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ENGINEER. ADVANCE OF PRELIMINARY AND UTILITY LINES TO THE FIELD TO VERIFY ALL EXISTING DIMENSIONS AND LOCATIONS OF ALL UTILITIES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR.

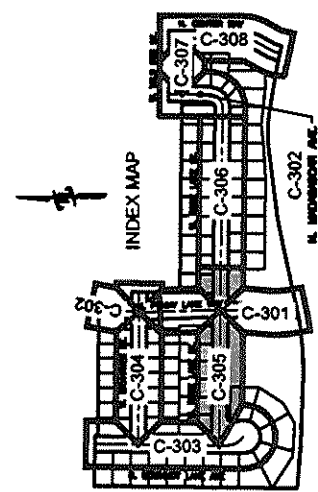


NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	02/18/2010
2	ISSUED FOR PERMITS	02/18/2010
3	ISSUED FOR PERMITS	02/18/2010
4	ISSUED FOR PERMITS	02/18/2010
5	ISSUED FOR PERMITS	02/18/2010
6	ISSUED FOR PERMITS	02/18/2010
7	ISSUED FOR PERMITS	02/18/2010
8	ISSUED FOR PERMITS	02/18/2010
9	ISSUED FOR PERMITS	02/18/2010
10	ISSUED FOR PERMITS	02/18/2010

**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**  
**STREET PLAN AND PROFILE**  
**W. ROSE LAKE ST.**

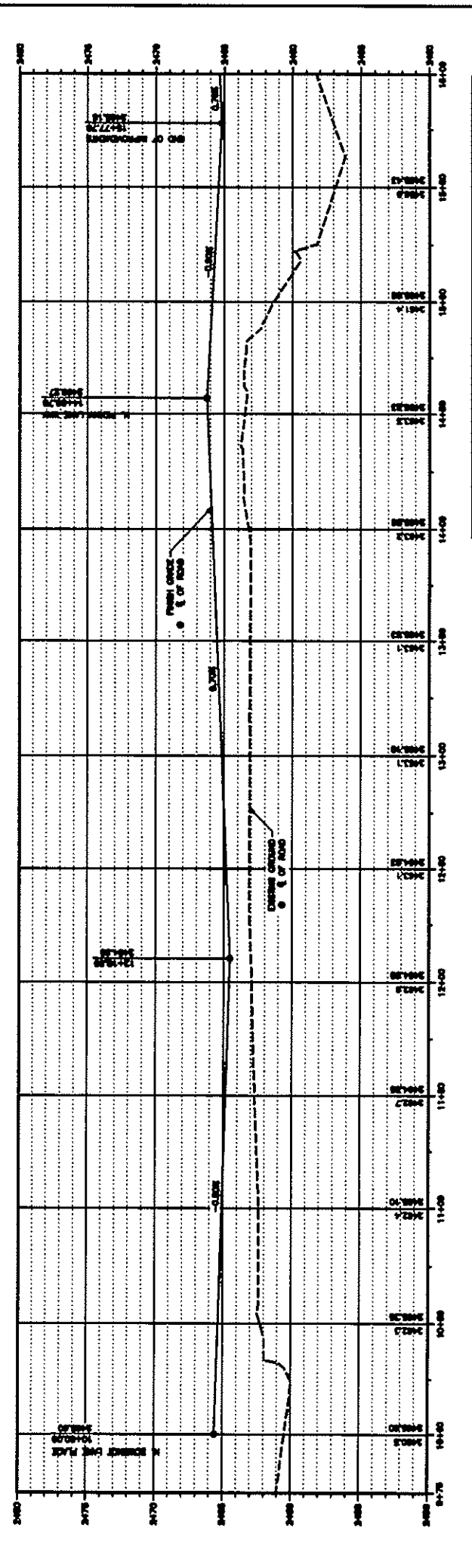
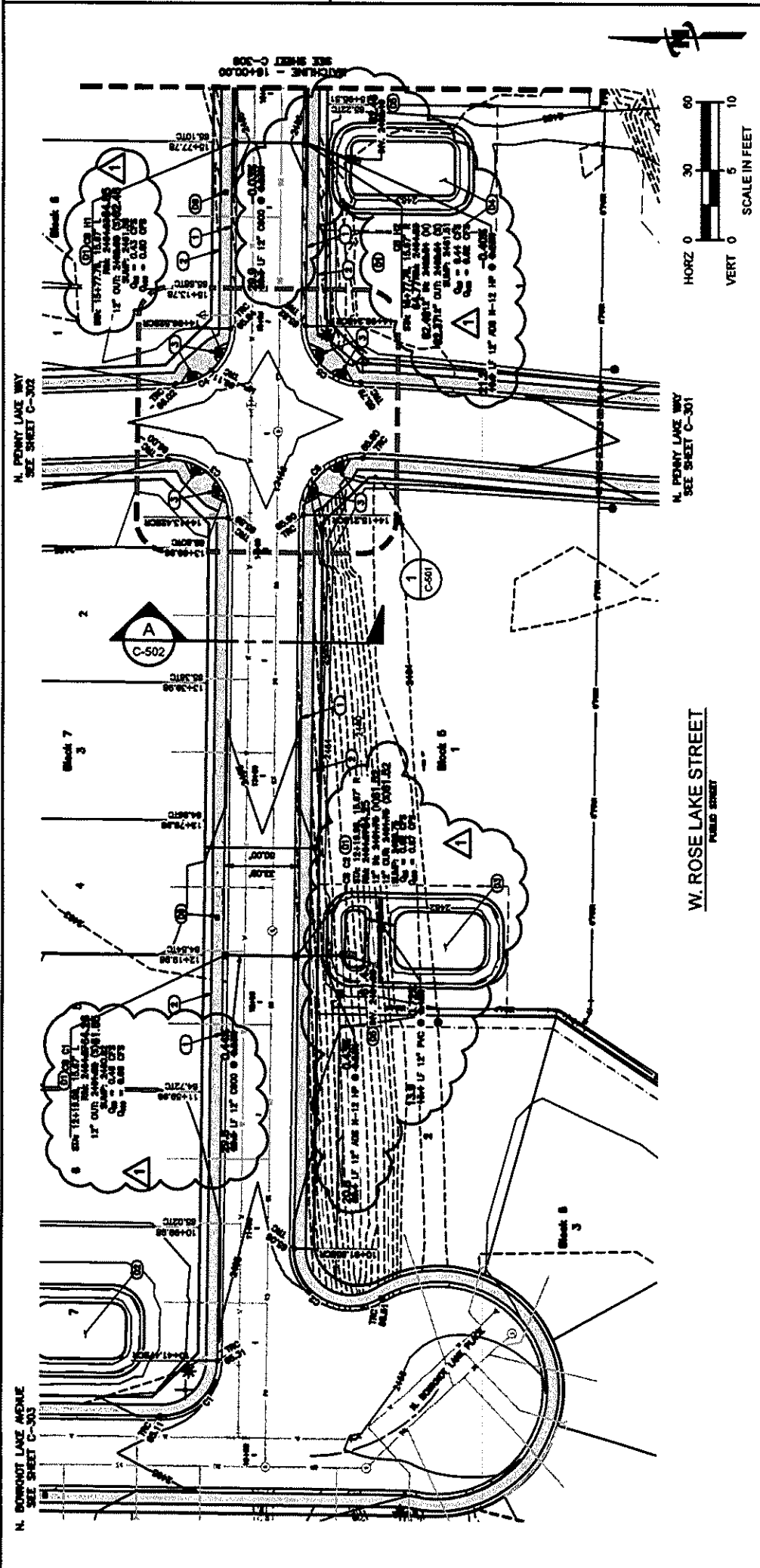
FILE: 15-13-01-C-305  
 JOB TITLE: 15-13-01  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 DATE: 02/18/2010  
 PROJECT: 15-13-01  
 SHEET NUMBER: **C-305**  
 LAST UPDATED: 02/18/2010

**RECORD DRAWINGS**



- ROADWAY NOTES**
- 1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO ESPEC 50-702
  - 2) 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO ESPEC 50-706.2.06 WALK CROSS SLOPE
  - 3) PAVEMENT TYPE TYPE "B" PER ACHD SUPPLEMENTAL TO ESPEC 50-712.1 WITH DETECTABLE WARNINGS PER ACHD SUPPLEMENTAL DRAWING 50-712.
- DRAINAGE NOTES**
- 1) TYPE "B" CATCH BASIN PER ACHD SUPPLEMENT TO ESPEC 50-604A
  - 2) STORM POND B
  - 3) STORM POND C
  - 4) STORM POND H
  - 5) PRE/ANCHORED FLANGED END SECTION WITH ROCK IMP MAT 4"x4" WITH 4" TO 8" COBBLES 1' DEEP
  - 6) GROUNDWATER OBSERVATION WELL PER ACHD SUPPLEMENT TO ESPEC 50-107

**RECORD DRAWING**  
 This drawing is to be used for construction purposes only. It is not to be used for any other purpose. The engineer is not responsible for any errors or omissions in this drawing. The contractor is responsible for verifying all dimensions and locations in the field. The engineer is not responsible for any errors or omissions in this drawing. The contractor is responsible for verifying all dimensions and locations in the field.

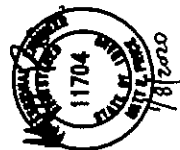


**CURVE TABLE**

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.20'	25.00'	24.98'	89°57'08"	S44°27'00"E	38.34'
C2	53.44'	25.00'	45.54'	122°27'51"	S29°20'51"W	43.83'
C3	40.81'	25.00'	28.27'	82°50'31"	N44°08'11"E	38.22'
C4	38.03'	25.00'	23.79'	87°08'39"	S45°00'49"E	34.17'
C5	38.02'	25.00'	24.38'	85°30'53"	S46°19'00"W	34.88'
C6	38.89'	25.00'	25.73'	81°26'53"	N43°34'07"W	35.88'

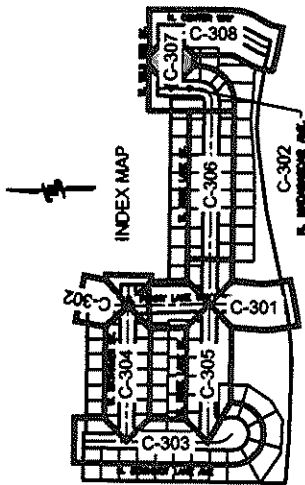
**NOTES TO CONTRACTORS**

1. ADD 2400 FEET TO ALL ELEVATIONS TO DETERMINE ACTUAL ELEVATION.
2. SEE PERMITS FOR ANY CHANGES TO THIS DRAWING.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS IN THE FIELD.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS IN THE FIELD.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS IN THE FIELD.



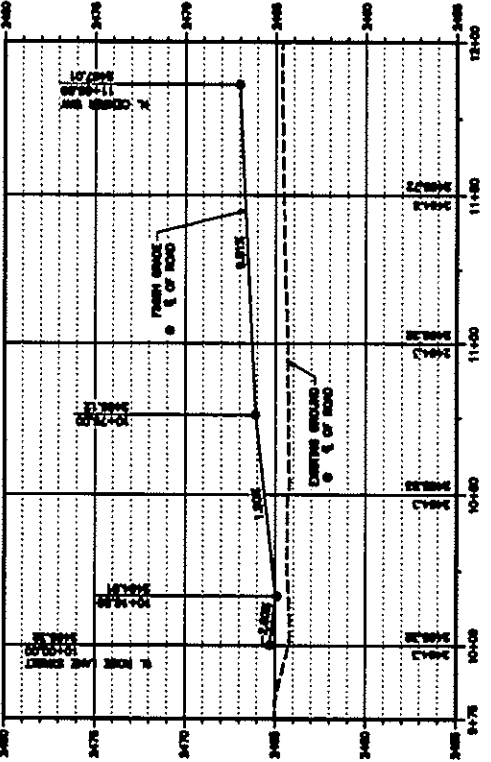
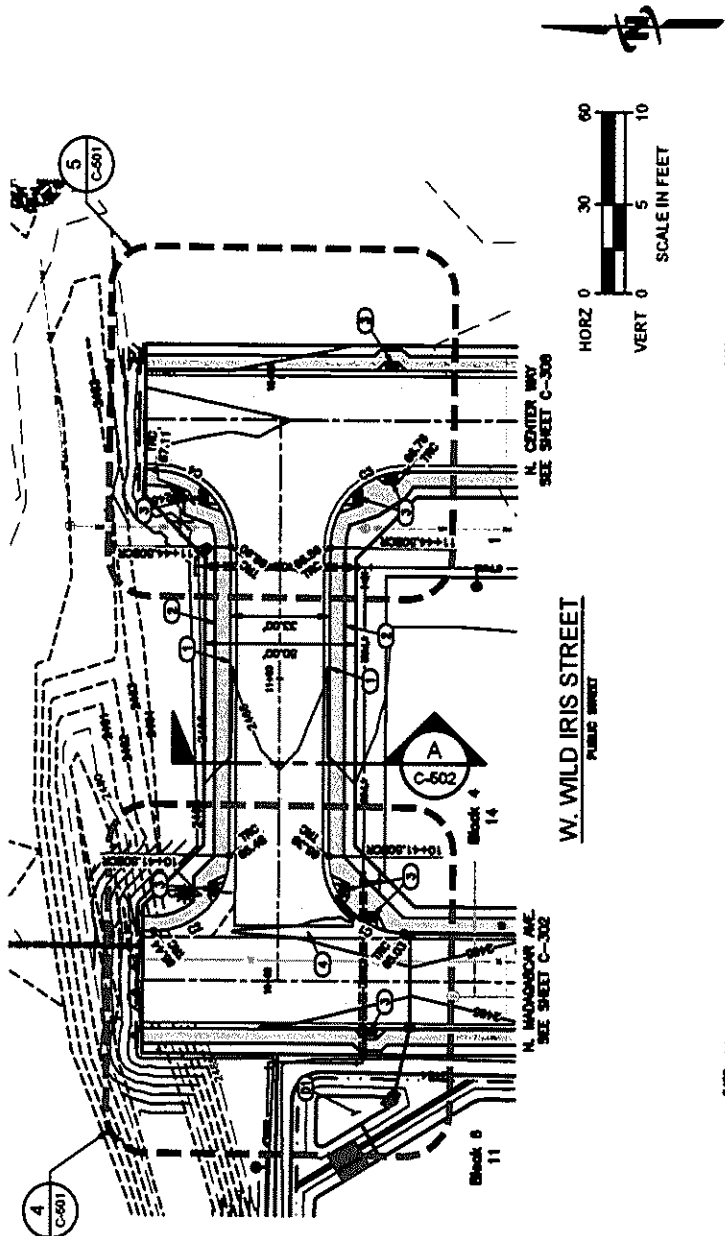
NO.	DESCRIPTION	DATE

RECORD DRAWINGS



- ROADWAY NOTES**
- 1. ROLLED CURBS AND GUTTER PER ACHD SUPPLEMENT TO SPWC 30-702
  - 2. CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SPWC 30-706 2.0% MAX. CROSS SLOPE
  - 3. FEDERAL MAP TYPE "M" PER ACHD SUPPLEMENTAL TO SPWC 30-715A WITH DETECTABLE WARRINGS PER ACHD SUPPLEMENTAL DRAWING 30-712
  - 4. VALLEY GUTTER PER ACHD SUPPLEMENT TO SPWC 30-705
- DRAINAGE NOTES**
- 1. STORM POND 1

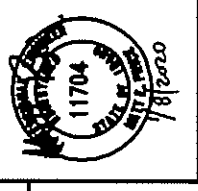
**RECORD DRAWINGS**  
 These record drawings have been prepared based on information furnished during the design process. It is the responsibility of the contractor to verify the accuracy of the information provided by others. The contractor shall be responsible for any errors or omissions in the drawings. The contractor shall be responsible for any errors or omissions in the drawings. The contractor shall be responsible for any errors or omissions in the drawings. The contractor shall be responsible for any errors or omissions in the drawings.



CURVE TABLE

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	38.27	25.00'	25.00'	90°00'00"	S45°08'17"W	38.36'
C2	38.27	25.00'	25.00'	90°00'00"	S44°53'45"E	38.36'
C3	38.27	25.00'	25.00'	90°00'00"	N44°53'45"W	38.36'
C4	38.27	25.00'	25.00'	90°00'00"	N45°08'17"E	38.36'

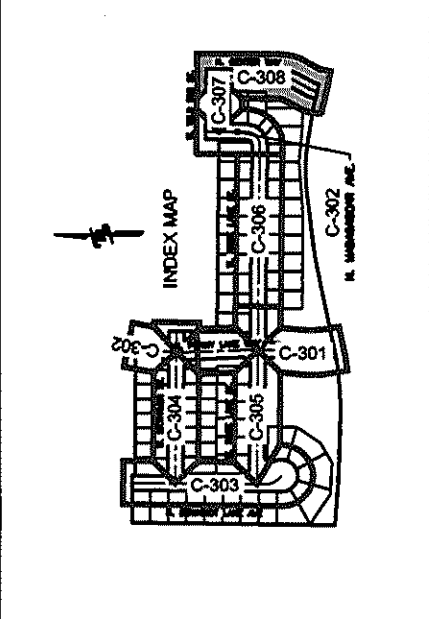
**NOTES TO CONTRACTOR**  
 1. ADD AND SET TO ALL SPOT ELEVATIONS TO EXISTING ASPHALT SURFACE.  
 2. VERIFY ALL SPOT ELEVATIONS AND HORIZONTAL CURVE INFORMATION FROM THESE PAGES.  
 3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES.  
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR, IDAHO.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR, IDAHO.  
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR, IDAHO.  
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR, IDAHO.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR, IDAHO.



NO.	DESCRIPTION	DATE

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO  
 STREET PLAN AND PROFILE  
 N. CENTER WAY

FILE NO. 10-10-2011-C-308  
 DRAWN BY: JVC  
 CHECKED BY: JVC  
 DATE: 10-10-2011  
 SHEET NUMBER: **C-308**



**RECORD DRAWINGS**

**ROADWAY NOTES**

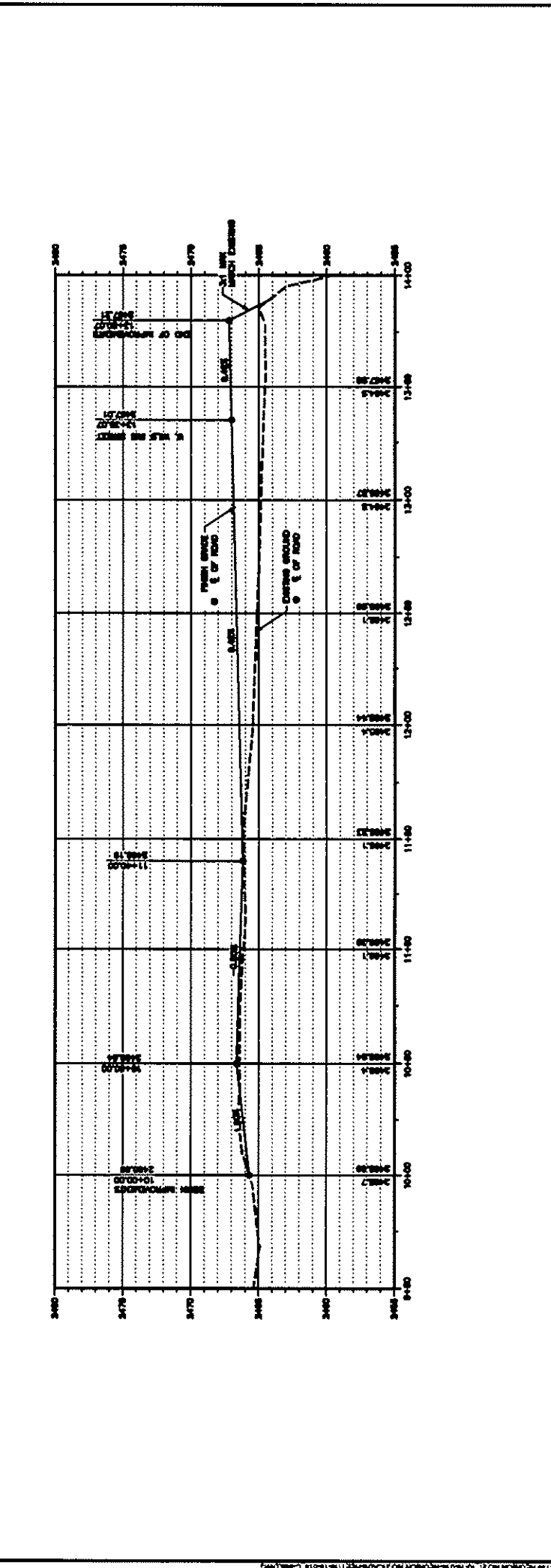
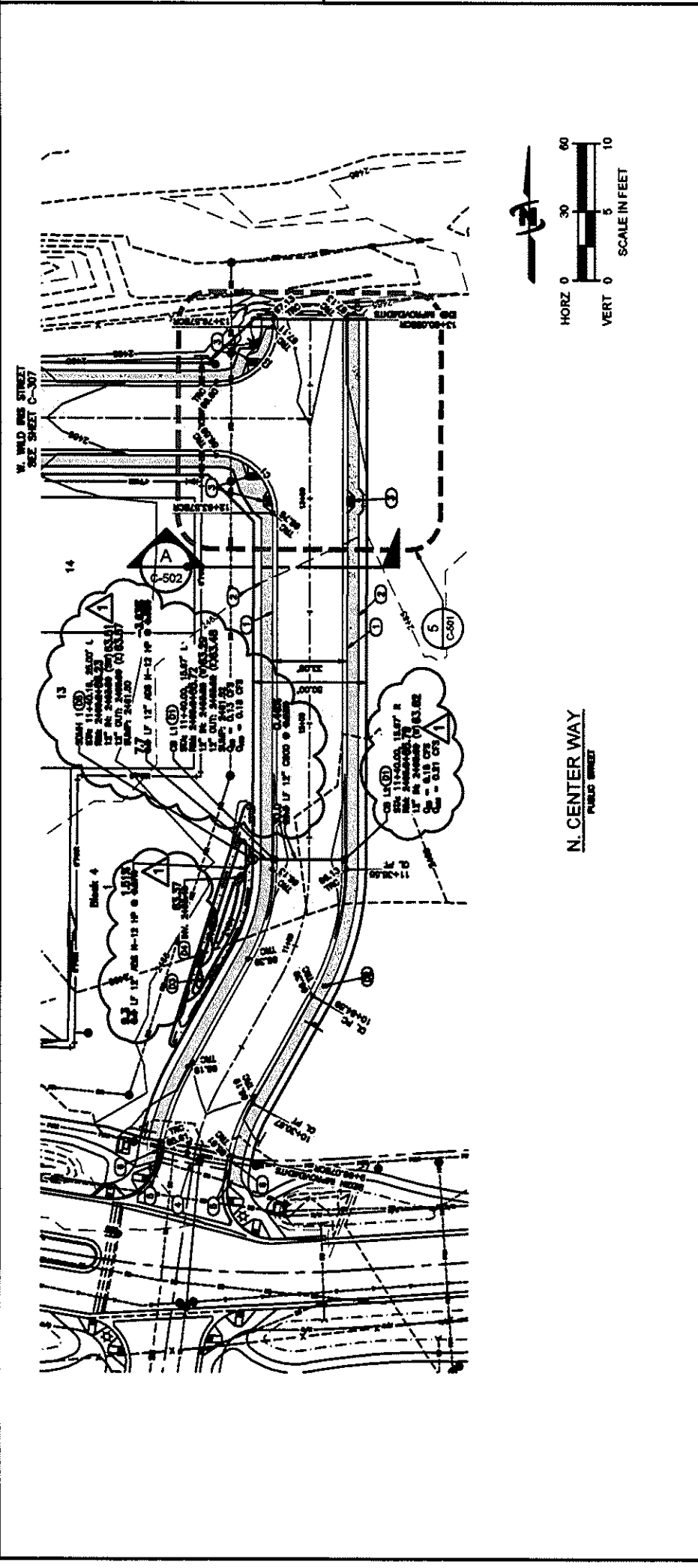
- 1. 3" ROLLED CURBS AND GUTTER PER ACHD SUPPLEMENT TO SPWC 90-702
- 2. 6" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SPWC 90-706, 2.0% MAX. CROSS SLOPE.
- 3. PEDESTRIAN RAMP TYPE TMS PER ACHD SUPPLEMENTAL TO SPWC 90-712H, WITH DETECTABLE WARRINGS PER ACHD SUPPLEMENTAL DRAWING 90-712.
- 4. SAWCUT PAVEMENT (2" INSIDE EXISTING EDGE) PER ACHD ROADWAY NOTE 5 ON SHEET C-002 ALSO PER ACHD SUPPLEMENT TO SPWC 90-303, MATCH EXISTING
- 5. MATCH EXISTING CURBS, GUTTER, AND SIDEWALK
- 6. 6" CURB TRANSITION FROM 6" VERTICAL CURB TO 3" ROLLED CURB

**DRAINAGE NOTES**

- 1. TYPE IV CATCH BASIN PER ACHD SUPPLEMENT TO SPWC 90-304A
- 2. GROUNDWATER OBSERVATION WELL PER ACHD SUPPLEMENT TO SPWC 90-827
- 3. STORM POND 1
- 4. PREZINCATED PLATED END SECTION WITH ROCK INF. INF. 4'x4' WITH 4" TO 6" COBBLES 1' DEEP
- 5. 48" x 48" MANHOLE PER SPWC 90-811

**RECORD DRAWINGS**

These record drawings have been prepared based on information obtained during the construction of the project. The contractor is responsible for providing the contractor with all information necessary to complete the project. The contractor shall be responsible for providing the contractor with all information necessary to complete the project. The contractor shall be responsible for providing the contractor with all information necessary to complete the project.

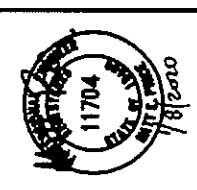


**CURVE TABLE**

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	38.27'	25.00'	25.00'	90°00'00"	N44°53'43"W	30.38'
C2	38.27'	25.00'	25.00'	90°00'00"	N45°06'17"E	30.38'

**NOTES TO CONTRACTORS**

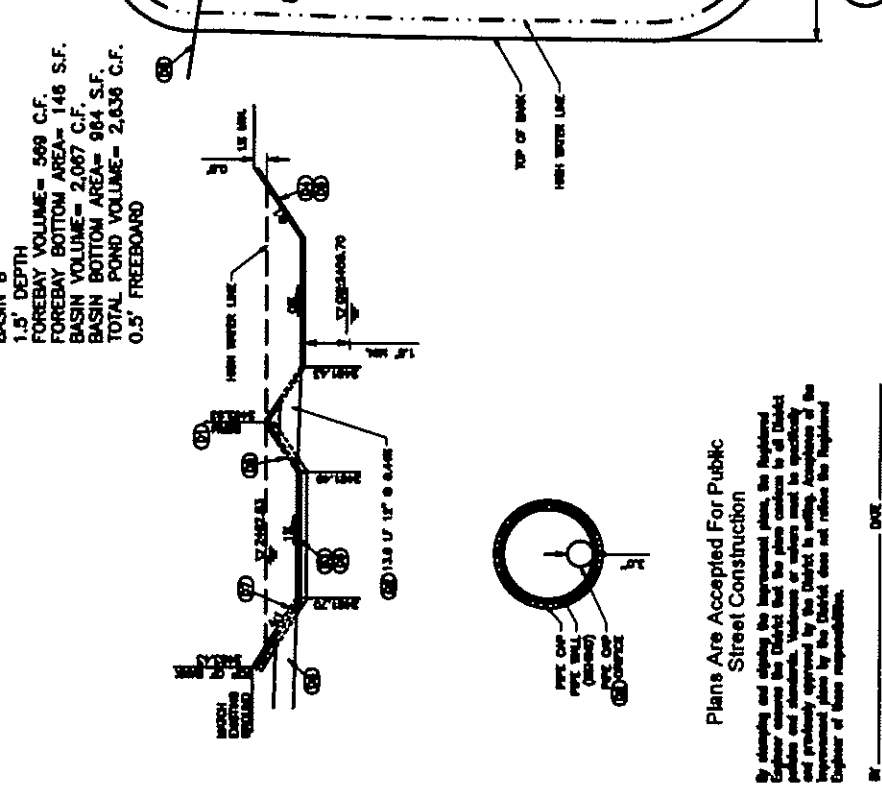
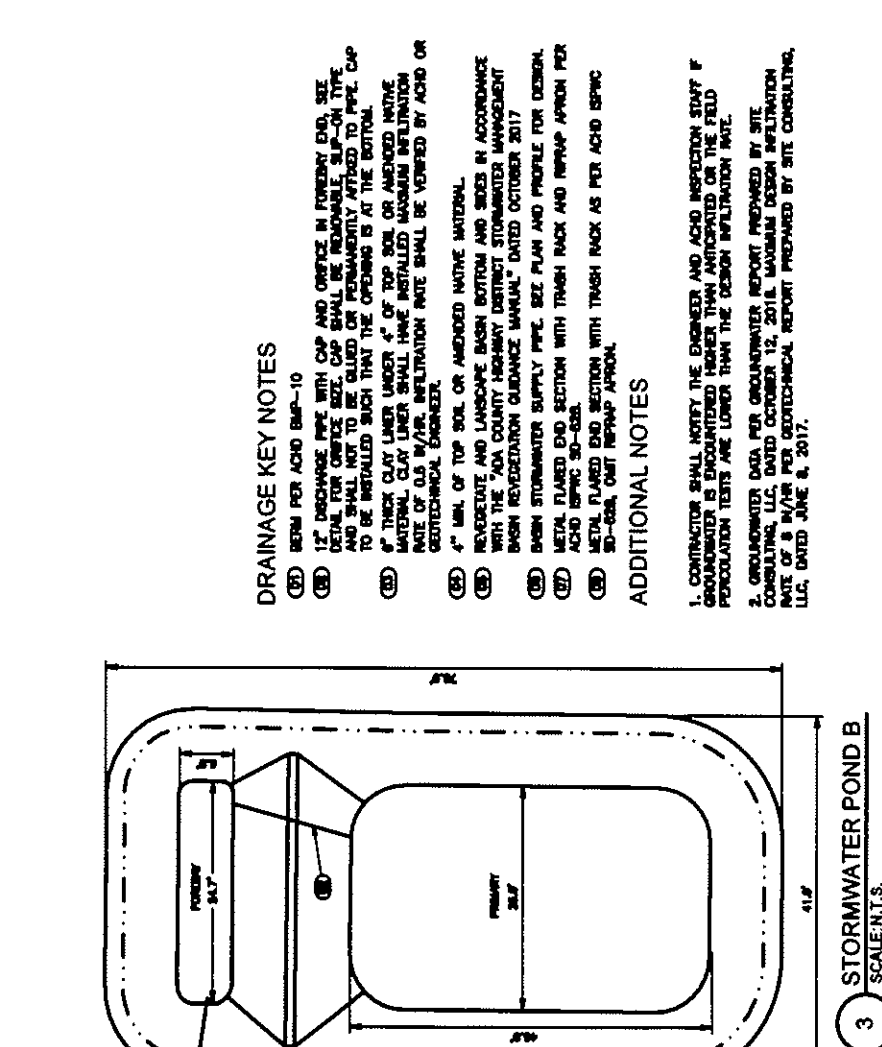
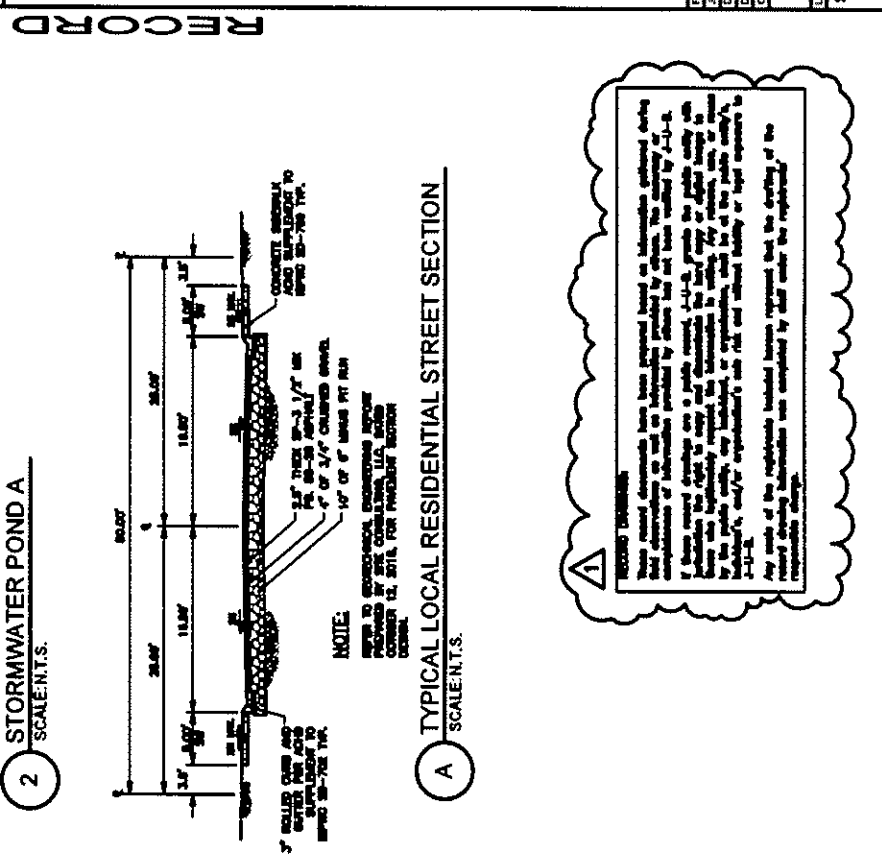
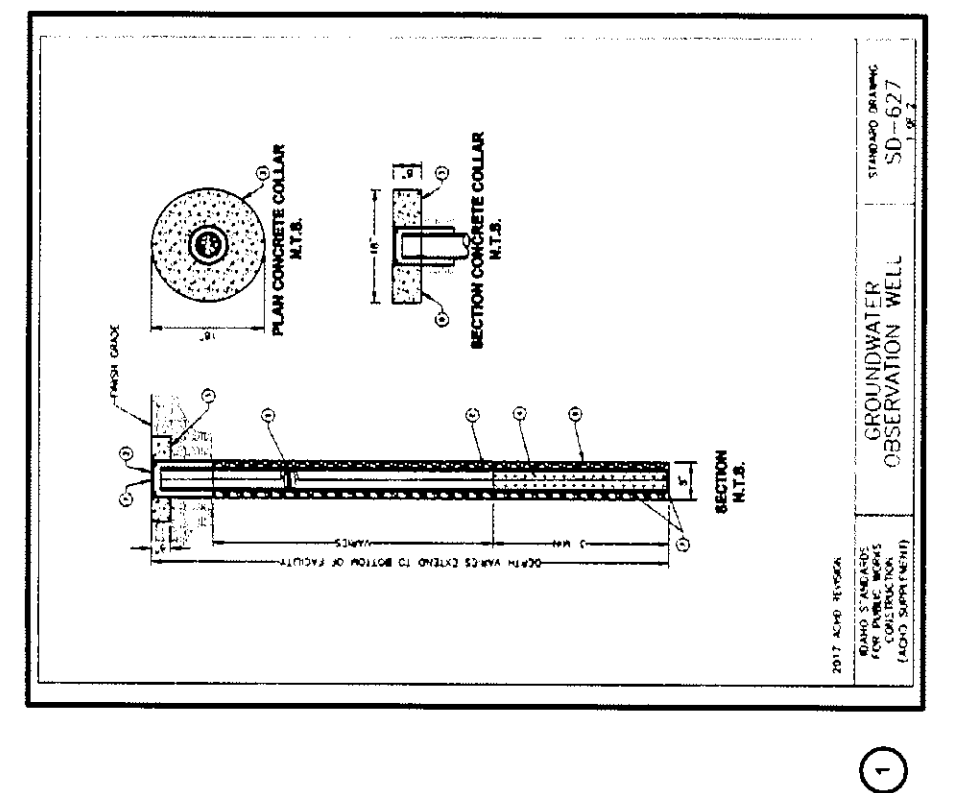
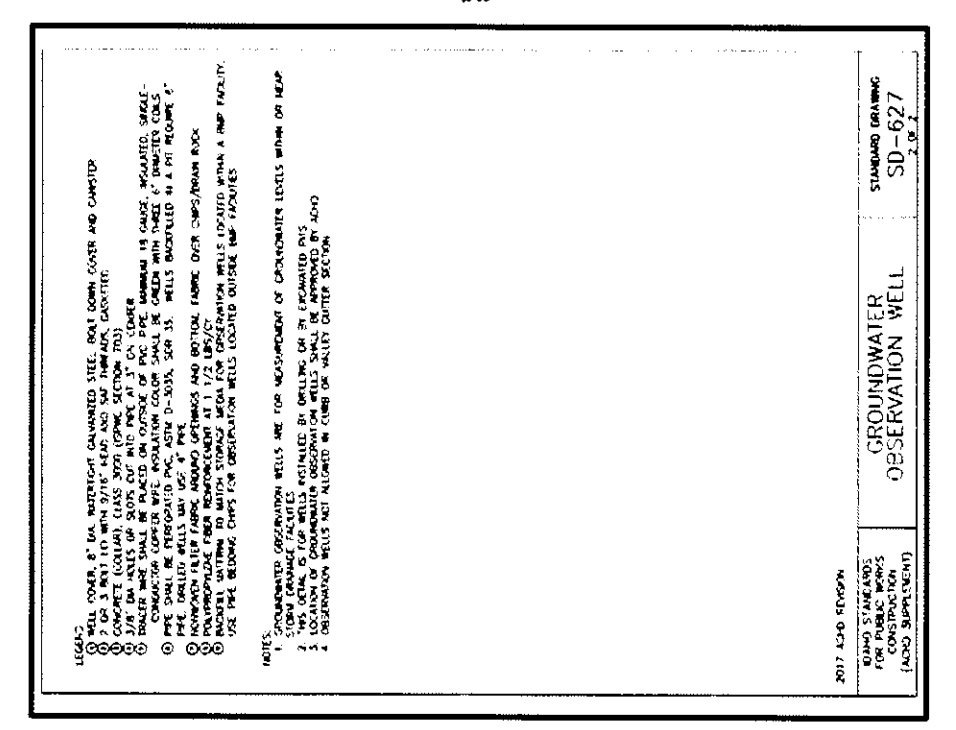
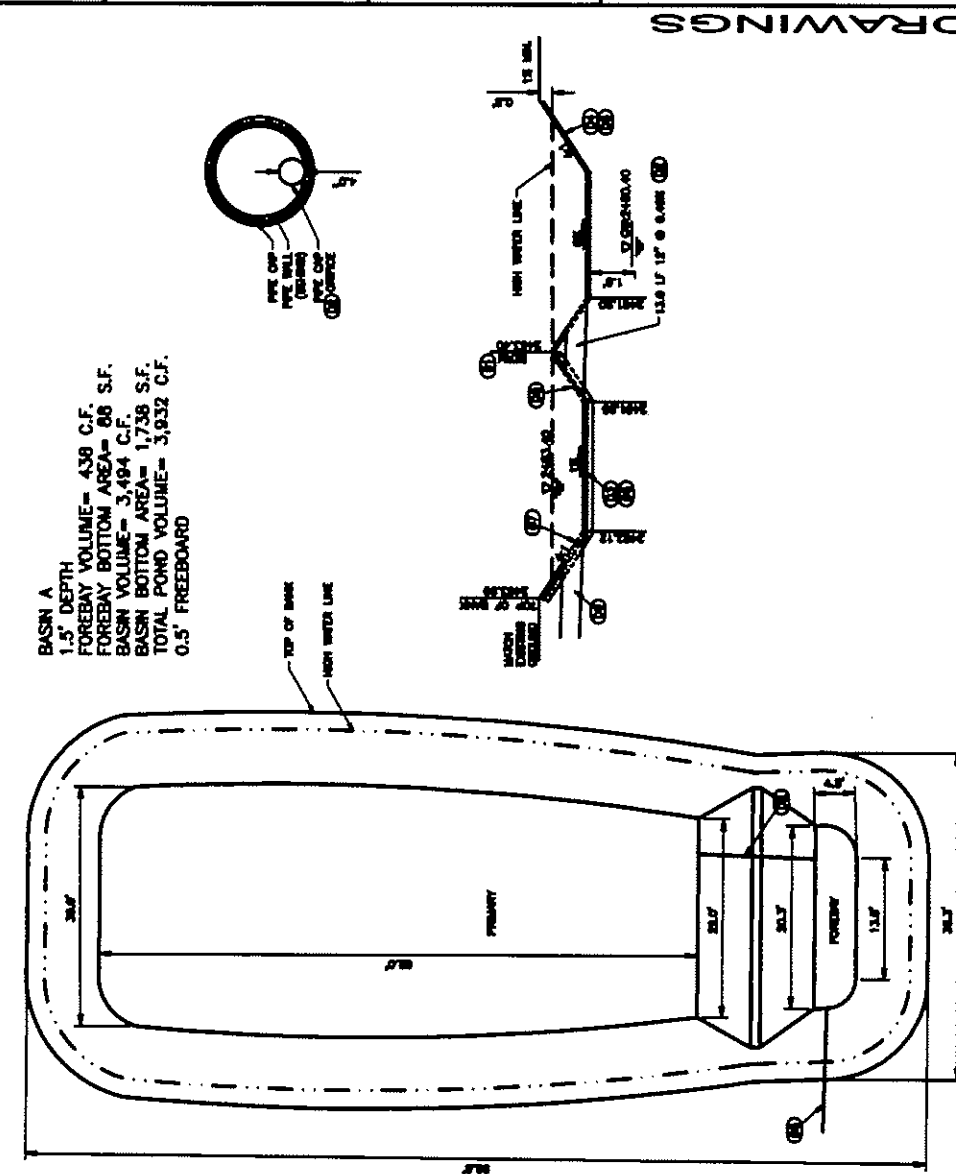
1. ALL SPOT ELEVATIONS TO BE DETERMINED FROM THE SURFACE.
2. WHEN LOCATIONS ARE INDICATED BY (X) MEASUREMENTS FROM THE FACE OF THE CURB, THE CONTRACTOR SHALL ESTIMATE THE EXACT LOCATION FROM THE SURFACE TO THE CURB FACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR WITH ALL INFORMATION NECESSARY TO COMPLETE THE PROJECT.
3. THE CONTRACTOR SHALL ESTIMATE THE EXACT LOCATION FROM THE SURFACE TO THE CURB FACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR WITH ALL INFORMATION NECESSARY TO COMPLETE THE PROJECT.
4. THE CONTRACTOR SHALL ESTIMATE THE EXACT LOCATION FROM THE SURFACE TO THE CURB FACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE CONTRACTOR WITH ALL INFORMATION NECESSARY TO COMPLETE THE PROJECT.



NO.	DATE	DESCRIPTION
1	12/12/17	ISSUED FOR PERMITS
2	12/12/17	ISSUED FOR PERMITS
3	12/12/17	ISSUED FOR PERMITS

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO  
 STREET SECTION AND DRAINAGE DETAILS

FILE NO. 17-001-0000  
 JOB NO. 17-001-0000  
 COUNTY: VIC  
 DESIGNED BY: JUB  
 CHECKED BY: JUB  
 DATE: 12/12/17  
 SHEET NUMBER: C-502



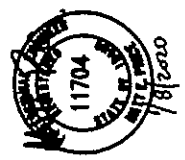
**REVISIONS**

NO.	DATE	DESCRIPTION
1	12/12/17	ISSUED FOR PERMITS
2	12/12/17	ISSUED FOR PERMITS
3	12/12/17	ISSUED FOR PERMITS

- DRAINAGE KEY NOTES**
1. 12" DISCHARGE PIPE WITH CAP AND ORFICE IN FOREBAY END. SEE DETAIL FOR ORFICE SIZE. CAP SHALL BE REMOVABLE SLIP-ON TYPE AND SHALL NOT BE GLUED OR PERMANENTLY AFFIXED TO PIPE. CAP TO BE INSTALLED SUCH THAT THE ORFICE IS AT THE BOTTOM.
  2. 6" THICK CLAY LINER UNDER 4" OF TOP SOIL OR AMENDED NATIVE MATERIAL. CLAY LINER SHALL HAVE INSTALLED MAGNANUM INFILTRATION RATE OF 0.5 IN/HR. INFILTRATION RATE SHALL BE VERIFIED BY ACHD OR GEOTECHNICAL ENGINEER.
  3. 4" MIN. OF TOP SOIL OR AMENDED NATIVE MATERIAL.
  4. REVEGETATE AND LANDSCAPE BASIN BOTTOM AND SIDES IN ACCORDANCE WITH THE ADA COUNTY HIGHWAY DISTRICT STORMWATER MANAGEMENT BASIN REVEGETATION GUIDANCE MANUAL, DATED OCTOBER 2017.
  5. BASIN STORMWATER SUPPLY PIPE. SEE PLAN AND PROFILE FOR DESIGN.
  6. METAL FLARED END SECTION WITH TIGHT RACK AND HUMP APPROX PER ACHD.
  7. METAL FLARED END SECTION WITH TIGHT RACK AS PER ACHD SPWC 20-004, CHIT REPAIR APPROX.
- ADDITIONAL NOTES**
1. CONTRACTOR SHALL NOTIFY THE ENGINEER AND ACHD INSPECTION STAFF IF GROUNDWATER IS ENCOUNTERED HIGHER THAN ANTICIPATED OR THE FIELD PENETRATION TESTS ARE LOWER THAN THE DESIGN INFILTRATION RATE.
  2. GROUNDWATER DATA FOR GROUNDWATER REPORT PREPARED BY SITE CONSULTING, LLC, DATED OCTOBER 12, 2018. MAGNANUM DESIGN INFILTRATION RATE OF 0.5 IN/HR PER GEOTECHNICAL REPORT PREPARED BY SITE CONSULTING, LLC, DATED JUNE 8, 2017.

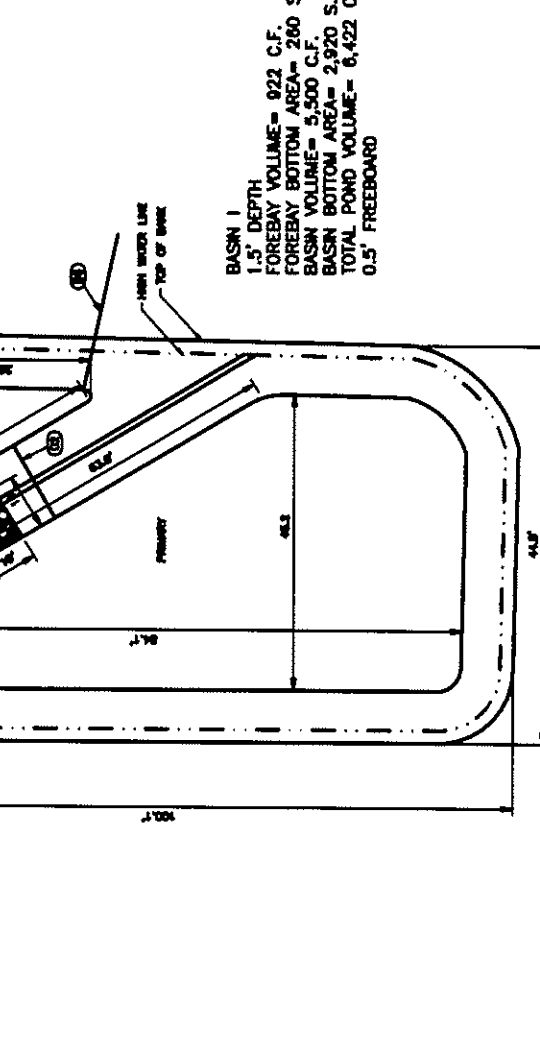
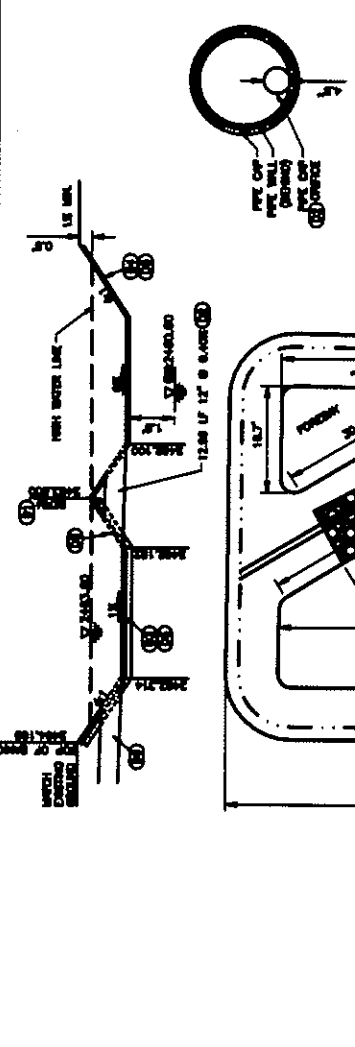
By attempting and affixing the improvement plans, the Registered Engineer certifies that the plans conform to all applicable laws and regulations and that the project is being constructed in accordance with the approved plans. The Engineer does not warrant the Registered Engineer of their responsibility.

ADA COUNTY HIGHWAY DISTRICT



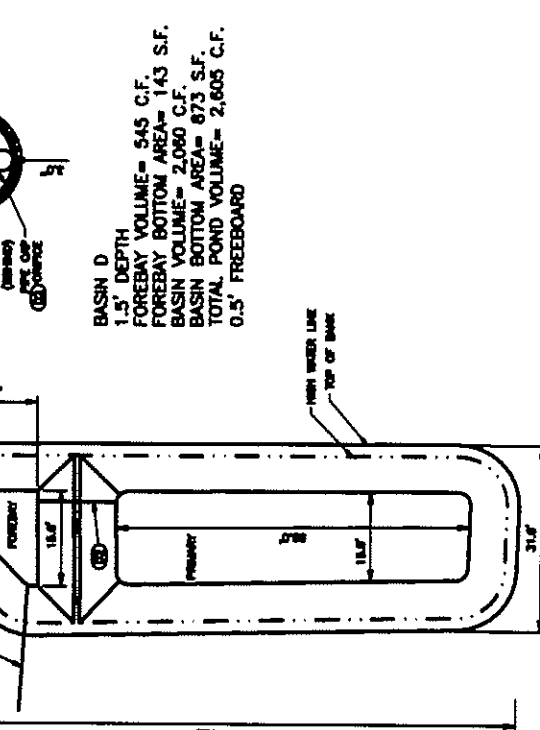
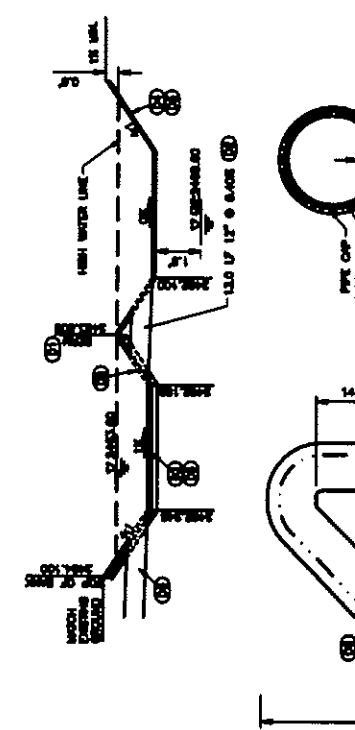
NO.	DATE	DESCRIPTION
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2	08/15/18	REVISION
3	08/15/18	REVISION
4	08/15/18	REVISION
5	08/15/18	REVISION
6	08/15/18	REVISION
7	08/15/18	REVISION
8	08/15/18	REVISION
9	08/15/18	REVISION
10	08/15/18	REVISION

**RECORD DRAWINGS**



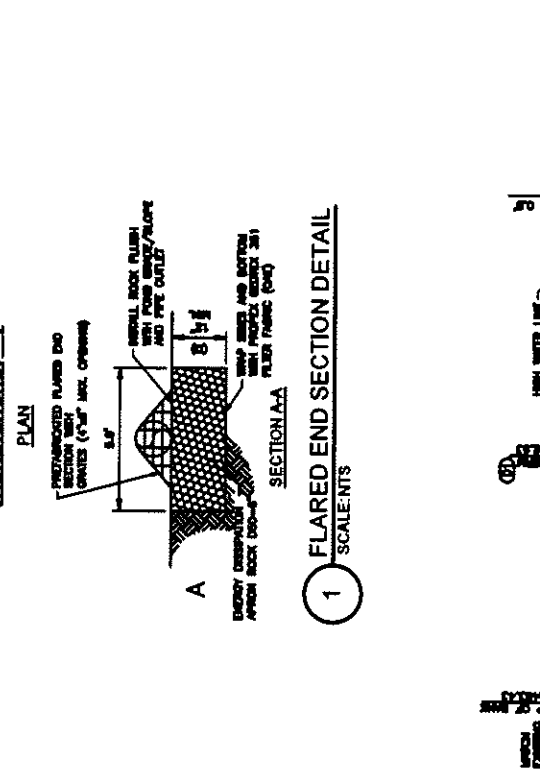
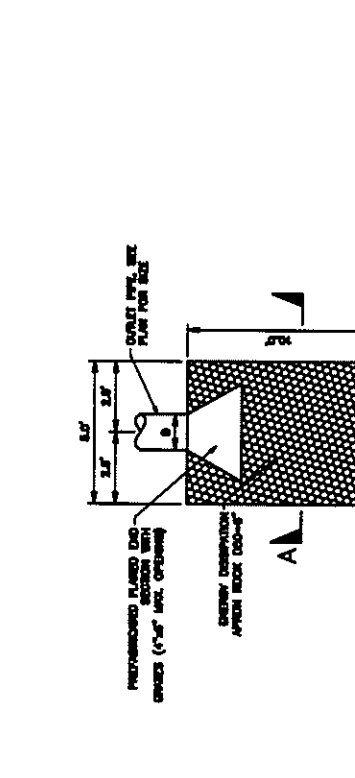
**3 STORMWATER POND I**  
 SCALE: N.T.S.

**BASIN I**  
 1.5' DEPTH  
 FOREBAY VOLUME = 922 C.F.  
 FOREBAY BOTTOM AREA = 260 S.F.  
 BASIN VOLUME = 5,500 C.F.  
 BASIN BOTTOM AREA = 2,920 S.F.  
 TOTAL POND VOLUME = 6,422 C.F.  
 0.5' FREEBOARD



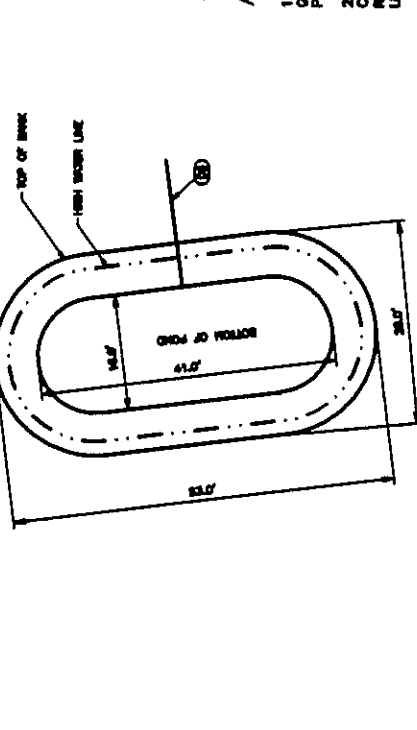
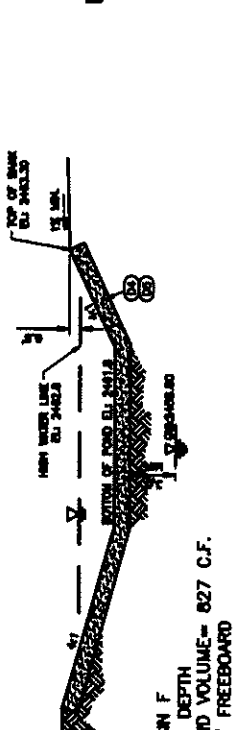
**2 STORMWATER POND D**  
 SCALE: N.T.S.

**BASIN D**  
 1.5' DEPTH  
 FOREBAY VOLUME = 545 C.F.  
 FOREBAY BOTTOM AREA = 143 S.F.  
 BASIN VOLUME = 2,060 C.F.  
 BASIN BOTTOM AREA = 673 S.F.  
 TOTAL POND VOLUME = 2,605 C.F.  
 0.5' FREEBOARD



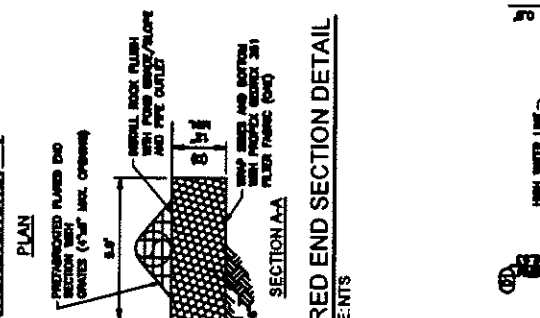
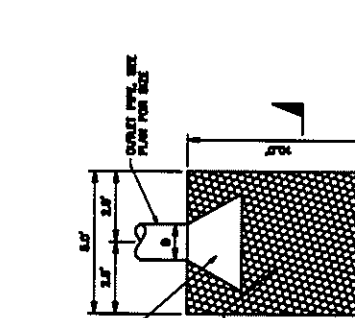
**4 STORMWATER POND C**  
 SCALE: N.T.S.

**BASIN C**  
 1.5' DEPTH  
 FOREBAY VOLUME = 879 C.F.  
 FOREBAY BOTTOM AREA = 210 S.F.  
 BASIN VOLUME = 2,087 C.F.  
 BASIN BOTTOM AREA = 904 S.F.  
 TOTAL POND VOLUME = 2,966 C.F.  
 0.5' FREEBOARD



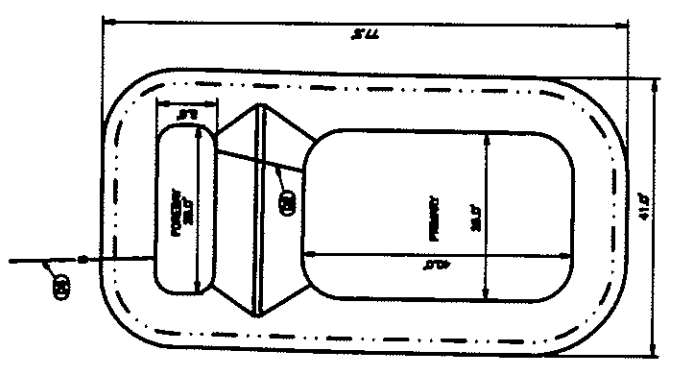
**5 STORMWATER POND F**  
 SCALE: N.T.S.

**BASIN F**  
 1.0' DEPTH  
 POND VOLUME = 827 C.F.  
 0.5' FREEBOARD



**1 FLARED END SECTION DETAIL**  
 SCALE: N.T.S.

**SECTION A-A**  
 METAL ROCK PULVERIZED ASPHALT FLARE AND PIPE OUTLET  
 METAL ROCK PULVERIZED ASPHALT FLARE AND PIPE OUTLET  
 METAL ROCK PULVERIZED ASPHALT FLARE AND PIPE OUTLET



**6 STORMWATER POND E**  
 SCALE: N.T.S.

**BASIN E**  
 1.5' DEPTH  
 FOREBAY VOLUME = 922 C.F.  
 FOREBAY BOTTOM AREA = 260 S.F.  
 BASIN VOLUME = 5,500 C.F.  
 BASIN BOTTOM AREA = 2,920 S.F.  
 TOTAL POND VOLUME = 6,422 C.F.  
 0.5' FREEBOARD

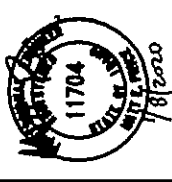
**BASIN E**  
 1.5' DEPTH  
 FOREBAY VOLUME = 922 C.F.  
 FOREBAY BOTTOM AREA = 260 S.F.  
 BASIN VOLUME = 5,500 C.F.  
 BASIN BOTTOM AREA = 2,920 S.F.  
 TOTAL POND VOLUME = 6,422 C.F.  
 0.5' FREEBOARD

**NOTES TO CONTRACTORS**  
 1. AND 2. AND 3. TO ALL WORK ELEMENTS TO DETERMINE ADJACENT  
 EXISTING UTILITIES ARE HORIZONTALLY (OR VERTICALLY) FROM THESE PACE  
 TO THE FACE OF STRUCTURES.  
 3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE.  
 4. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES AND VERIFY  
 RESPONSIBILITY FOR ANY DAMAGE TO EXISTING UTILITIES SHALL BE FULLY  
 ASSUMED BY THE CONTRACTOR.  
 5. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES AND VERIFY  
 RESPONSIBILITY FOR ANY DAMAGE TO EXISTING UTILITIES SHALL BE FULLY  
 ASSUMED BY THE CONTRACTOR.  
 6. THIS DRAWING OR ANY PORTION OF IT, SHALL NOT BE USED ON ANY  
 PROJECT OR EXTENSION OF PROJECTS EXCEPT BY AGREEMENT IN WRITING  
 FROM THE ENGINEER.

**RECORD DRAWINGS**  
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**DRAINAGE KEY NOTES**  
 (1) BERM PER ACHD BMP-10  
 (2) 12" DISCHARGE PIPE WITH CAP AND ORIFICE IN FOREBAY END. SEE DETAIL FOR ORIFICE SIZE. CAP SHALL BE REMOVABLE, SLIP-ON TYPE TO BE INSTALLED WITH THE CONCRETE. THE CONCRETE SHALL BE CAST TO BE INSTALLED WITH THE CONCRETE. THE CONCRETE SHALL BE CAST TO BE INSTALLED WITH THE CONCRETE.  
 (3) 4" TRUCK CLAY LAYER UNDER 4" TOP SOIL OR AMENDED NATIVE MATERIAL. CLAY LAYER SHALL BE 4" THICK AND SHALL BE INSTALLED WITH THE CONCRETE. THE CONCRETE SHALL BE CAST TO BE INSTALLED WITH THE CONCRETE.  
 (4) 4" MIN. OF TOP SOIL OR AMENDED NATIVE MATERIAL.  
 (5) REVEGETATE AND LANDSCAPE BERM BOTTOM AND SIDES IN ACCORDANCE WITH THE ADA COUNTY HIGHWAY DISTRICT STORMWATER MANAGEMENT DESIGN REVISIONS GUIDANCE MANUAL, DATED OCTOBER 2017.  
 (6) BASIN STORMWATER SUPPLY PIPE. SEE PLAN AND PROFILE FOR DESIGN.  
 (7) METAL FLARED END SECTION WITH TRASH TRAP AND REPAIR APPROX PER ACHD BMP-10.  
 (8) METAL FLARED END SECTION WITH TRASH TRAP AS PER ACHD BMP-10.  
 (9) AMENDED SPILL CHANNEL.

**ADDITIONAL NOTES**  
 1. CONTRACTOR SHALL NOTIFY THE ENGINEER AND ACHD INSPECTION STAFF IF GROUNDWATER IS ENCOUNTERED DEEPER THAN ANTICIPATED ON THE FIELD. POLLUTION TESTS ARE LOWER THAN THE DESIGN INFILTRATION RATE.  
 2. GROUNDWATER DATA FOR GROUNDWATER REPORT PREPARED BY SITE CONSULTING, LLC, DATED OCTOBER 12, 2015. JAVAMAIN DESIGN INFILTRATION RATE OF 8 M/HR PER GEOTECHNICAL REPORT PREPARED BY SITE CONSULTING, LLC, DATED JUNE 8, 2017.

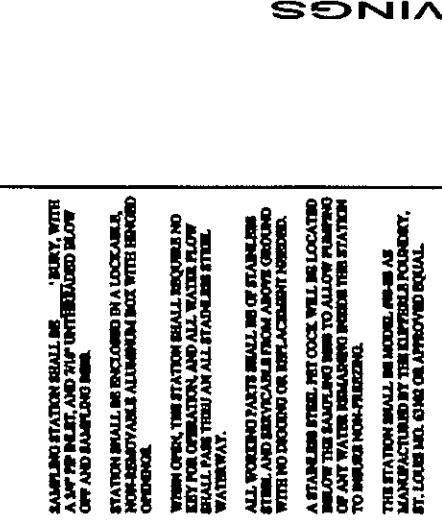
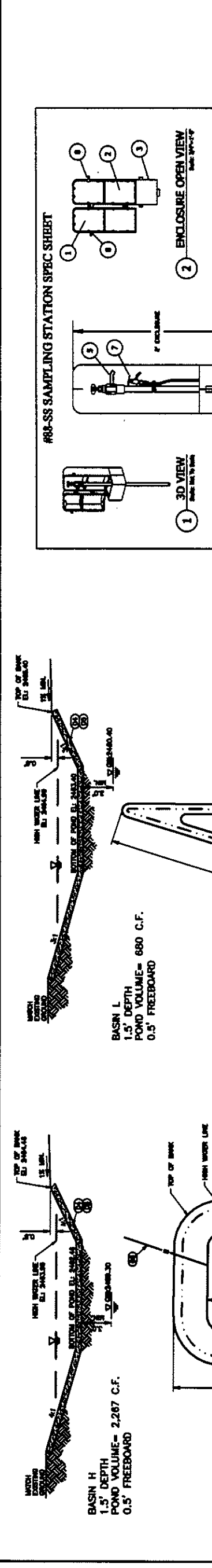


NO.	DATE	DESCRIPTION

**REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO**

**DRAINAGE DETAILS**

FILE: 10-10-2018 C-504  
 REVISION: 10/12/2018  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 DATE: 10/12/2018  
 AT FULL SCALE PER THE  
 FINAL SCALE ACCORDINGLY.  
 LAST UPDATED: 10/22/2018  
 SHEET NUMBER: **C-504**



**#88-SS SAMPLING STATION SPEC SHEET**

1. **3D VIEW**  
 Made with AutoCAD

2. **ENCLOSURE OPEN VIEW**  
 Made with AutoCAD

SAMPLING STATION SHALL BE 18" DIA. WITH A 15' DISCHARGE PIPE WITH 3.5" OPENING IN FOREBAY END. THE INTERNAL CAP SHALL BE REMOVABLE. 6" DIA. TYPE AND SHALL NOT TO BE GALLED OR PERMANENTLY ATTACHED TO PIPE. CAP TO BE INSTALLED SUCH THAT THE OPENING IS AT THE BOTTOM.

6" THICK CLAY LINER UNDER 4" OF TOP SOIL OR AMENDED NATIVE MATERIAL. CLAY LINER SHALL HAVE INSTALLED MAXIMUM INFILTRATION RATE OF 0.5 IN/HR. INFILTRATION RATE SHALL BE VERIFIED BY ACHD OR GEOTECHNICAL ENGINEER.

4" MIN. OF TOP SOIL OR AMENDED NATIVE MATERIAL.

REVEGETATE AND LANDSCAPE BASIN BOTTOM AND SIDES IN ACCORDANCE WITH THE "ADA COUNTY HOBBY DISTRICT STORMWATER MANAGEMENT BASIN REVEGETATION GUIDANCE MANUAL" DATED OCTOBER 2017.

BASIN STORMWATER SUPPLY PIPING SEE PLAN AND PROFILE FOR DESIGN.

METAL FLANGED END SECTION WITH TRASH TRAP AND REFRAP APPROX PER ACHD BRPC 80-308.

METAL FLANGED END SECTION WITH TRASH TRAP AND REFRAP APPROX PER ACHD BRPC 80-308.

50-REIN. CONCRETE REFRAP APPROX.

AMENDED SPILL CHANNEL.

THIS STATION SHALL BE MANUFACTURED BY THE ECLIPSE POLYMER, ST. LOUIS MO. 63108 OR APPROVED EQUAL.

ALL WORKMANS SHALL BE OF STAINLESS STEEL. THE COCK SHALL BE LOCATED BELOW THE SAMPLING POINT TO ALLOW PUMPING OF ANY WATER REMAINING INSIDE THE STATION TO BE PUMPED OUT.

THIS STATION SHALL BE MANUFACTURED BY THE ECLIPSE POLYMER, ST. LOUIS MO. 63108 OR APPROVED EQUAL.

#88-SS SAMPLING STATION TO BE INSTALLED AT THE FOLLOWING LOCATIONS:

NO.	DATE	DESCRIPTION

REPUTABLE BOUNDARY COMPANY www.boundary.com

**4 DETAIL - ECLIPSE WATER SAMPLING STATION #88-SS**  
 SCALE: LOCATION SHOWN ON SHEET C-404

- DRAINAGE KEY NOTES**
- ACHD BRPC 80-308
  - 15" DISCHARGE PIPE WITH CAP AND 3.5" OPENING IN FOREBAY END. THE INTERNAL CAP SHALL BE REMOVABLE. 6" DIA. TYPE AND SHALL NOT TO BE GALLED OR PERMANENTLY ATTACHED TO PIPE. CAP TO BE INSTALLED SUCH THAT THE OPENING IS AT THE BOTTOM.
  - 6" THICK CLAY LINER UNDER 4" OF TOP SOIL OR AMENDED NATIVE MATERIAL. CLAY LINER SHALL HAVE INSTALLED MAXIMUM INFILTRATION RATE OF 0.5 IN/HR. INFILTRATION RATE SHALL BE VERIFIED BY ACHD OR GEOTECHNICAL ENGINEER.
  - 4" MIN. OF TOP SOIL OR AMENDED NATIVE MATERIAL.
  - REVEGETATE AND LANDSCAPE BASIN BOTTOM AND SIDES IN ACCORDANCE WITH THE "ADA COUNTY HOBBY DISTRICT STORMWATER MANAGEMENT BASIN REVEGETATION GUIDANCE MANUAL" DATED OCTOBER 2017.
  - BASIN STORMWATER SUPPLY PIPING SEE PLAN AND PROFILE FOR DESIGN.
  - METAL FLANGED END SECTION WITH TRASH TRAP AND REFRAP APPROX PER ACHD BRPC 80-308.
  - METAL FLANGED END SECTION WITH TRASH TRAP AND REFRAP APPROX PER ACHD BRPC 80-308.
  - 50-REIN. CONCRETE REFRAP APPROX.
  - AMENDED SPILL CHANNEL.

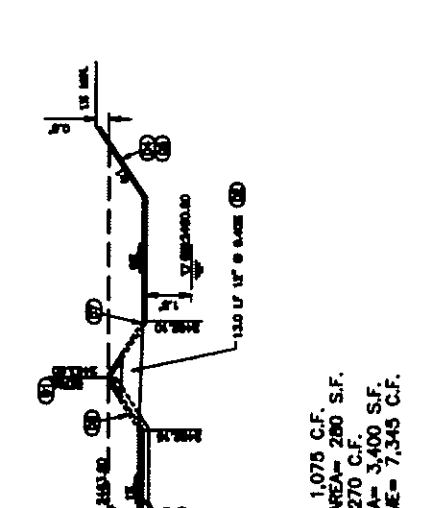
**ADDITIONAL NOTES**

- CONTRACTOR SHALL NOTIFY THE ENGINEER AND ACHD INSPECTION STAFF IF GROUNDWATER IS ENCOUNTERED DEEPER THAN ANTICIPATED ON THE FIELD. PERCOLATION TESTS ARE LOWER THAN THE DESIGN INFILTRATION RATE.
- GROUNDWATER DATA PER GROUNDWATER REPORT PREPARED BY SITE CONSULTING, LLC DATED OCTOBER 12, 2018. MAXIMUM DESIGN INFILTRATION RATE OF 0.5 IN/HR PER GEOTECHNICAL REPORT PREPARED BY SITE CONSULTING, LLC DATED JUNE 6, 2017.

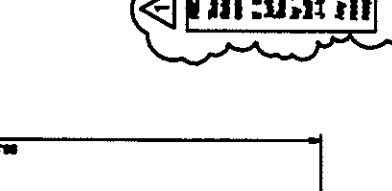
**RECORD DRAWINGS**



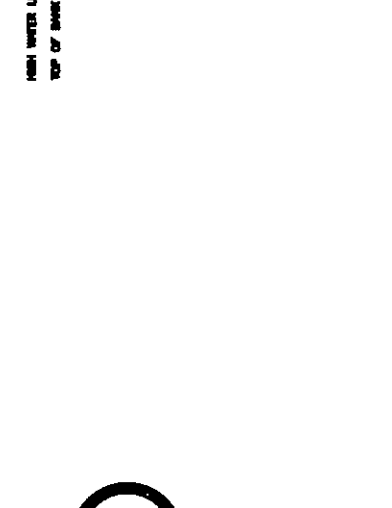
**2 STORMWATER POND L**  
 SCALE: N.T.S.



**1 STORMWATER POND H**  
 SCALE: N.T.S.



**3 STORMWATER POND E**  
 SCALE: N.T.S.



**BASIN E**  
 1.5' DEPTH  
 FOREBAY VOLUME= 1,075 C.F.  
 FOREBAY BOTTOM AREA= 280 S.F.  
 BASIN VOLUME= 6,270 C.F.  
 BASIN BOTTOM AREA= 3,400 S.F.  
 TOTAL POND VOLUME= 7,345 C.F.  
 0.5' FREEBOARD

RECORD DRAWINGS

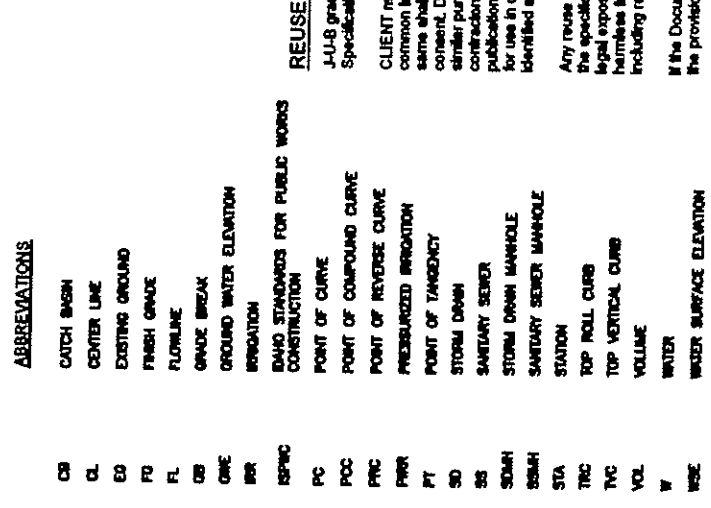
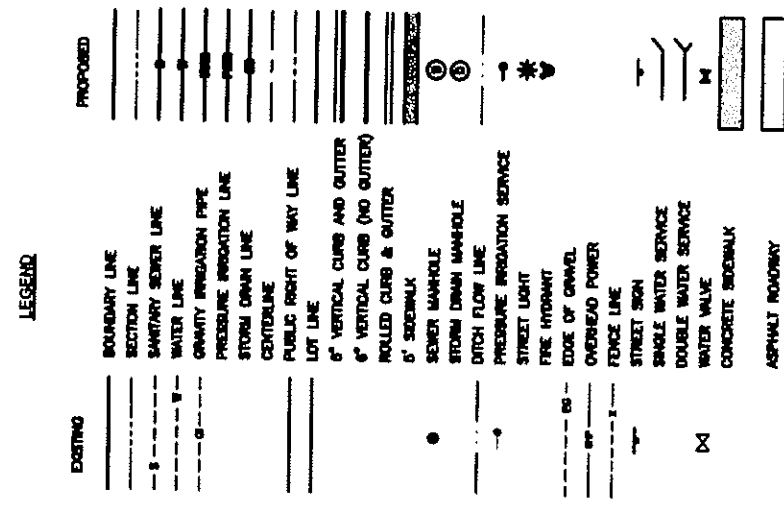
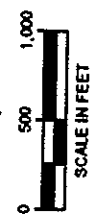
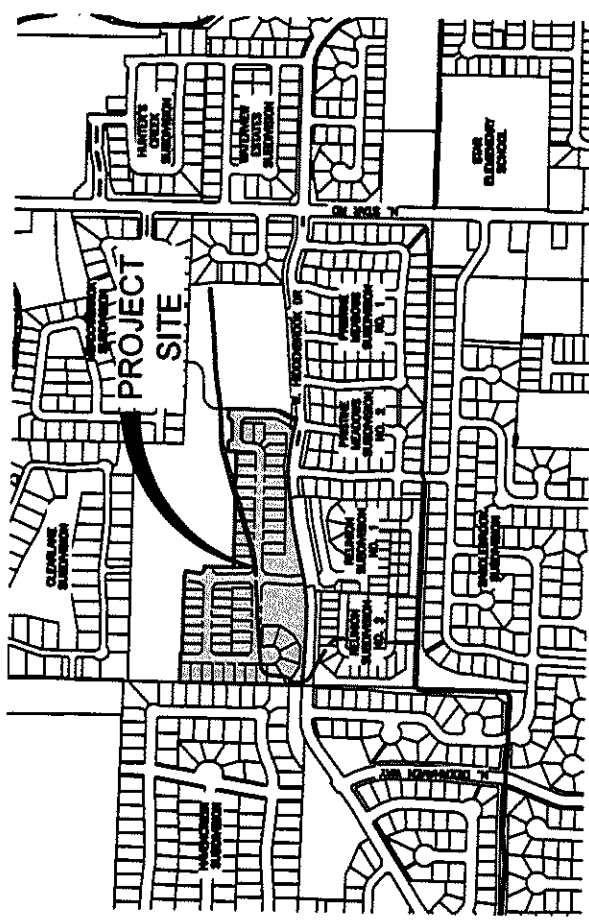
RECORD DRAWINGS



## **IMPROVEMENT PLANS**

# REUNION SUBDIVISION NO. 3

## CITY OF STAR, IDAHO



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PROJECT NO. 10-19-018



250 South Beechwood Avenue, Suite 201, Boise, ID 83709-0944  
 P 208 376 7330 W www.jub.com

**SHEET INDEX**

Sheet Number	Sheet Title
C-001	COVER SHEET
C-002	NOTE SHEET
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C-102	PRESSURE IRRIGATION PLAN
C-103	STREET LIGHT AND SIGNAGE PLAN
C-104	STREET LIGHT AND SIGNAGE PLAN
C-105	ORIGINAL UTILITY PLAN
C-106	ORIGINAL UTILITY PLAN
C-107	GRAVITY IRRIGATION PLAN
C-201	GRADING PLAN
C-202	GRADING PLAN
C-301	N. PERRY LAKE WAY - N. MADAGASCAR AVE.
C-302	N. PERRY LAKE WAY - N. MADAGASCAR AVE.
C-303	N. DONKOR LAKE AVE.
C-304	W. ROSE LAKE ST.
C-305	W. ROSE LAKE ST.
C-306	W. ROSE LAKE ST.
C-307	W. VALLEY WBS ST.
C-308	N. CENTER WAY
C-401	WATER AND SEWER PLAN AND PROFILE
C-402	WATER AND SEWER PLAN AND PROFILE
C-403	WATER AND SEWER PLAN AND PROFILE
C-404	WATER AND SEWER PLAN AND PROFILE
C-405	WATER AND SEWER PLAN AND PROFILE
C-406	WATER AND SEWER PLAN AND PROFILE
C-407	WATER AND SEWER PLAN AND PROFILE
C-501	PEDESTRIAN RAMP
C-502	STREET SECTION AND DRAINAGE DETAILS
C-503	DRAINAGE DETAILS
C-504	DRAINAGE DETAILS
L1	FINAL PLAT LANDSCAPE PLAN
L2	FINAL PLAT LANDSCAPE PLAN
L3	FINAL PLAT LANDSCAPE PLAN
L4	FINAL PLAT LANDSCAPE PLAN
L5	FINAL PLAT LANDSCAPE PLAN

**DEVELOPER:**  
 VALLEY DEVELOPMENT  
 3000 W. VALLEY STREET  
 SUITE 100  
 BOISE, IDAHO 83709  
 PHONE: (208) 398-1828

**SEWER & WATER:**  
 STAR SEWER AND WATER DISTRICT  
 3775 ADAMS STREET  
 BOISE, IDAHO 83709  
 PHONE: (208) 398-7388

**ROADWAYS:**  
 ADA COUNTY TRAILWAY DISTRICT  
 3775 ADAMS STREET  
 BOISE, IDAHO 83709  
 PHONE: (208) 387-4100

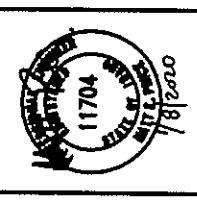
**POWER:**  
 DAVID POWER  
 100 W. STELLMAN  
 SUITE 100  
 BOISE, IDAHO 83709  
 PHONE: (208) 398-3333

**PRESSURE IRRIGATION:**  
 REUNION SUBDIVISION  
 100 W. STELLMAN SUITE 100  
 BOISE, IDAHO 83709  
 PHONE: (208) 398-3333

**REVISIONS:**

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J-U-B ENGINEERS, INC.  
 2760 W. Excursion Ln.,  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com



**REVISIONS**

NO.	DATE	DESCRIPTION

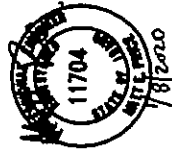
REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO

COVER SHEET

DATE: 10/18/18  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 JUB PROJECT NO. 10-19-018  
 LAST UPDATED: 2/22/20

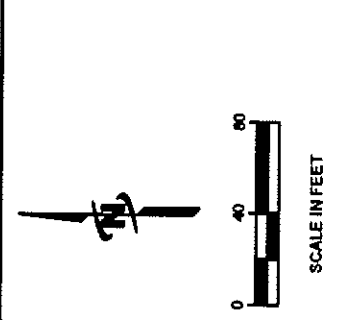
**C-001**  
 SHEET NUMBER





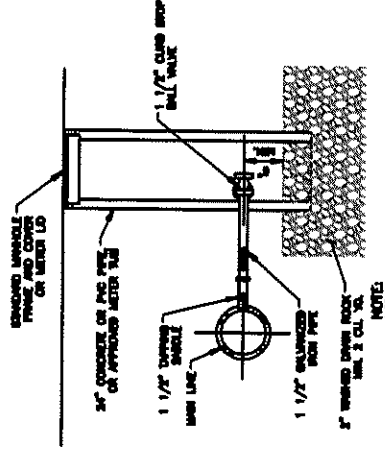
NO.	DESCRIPTION	DATE

RECORD DRAWINGS



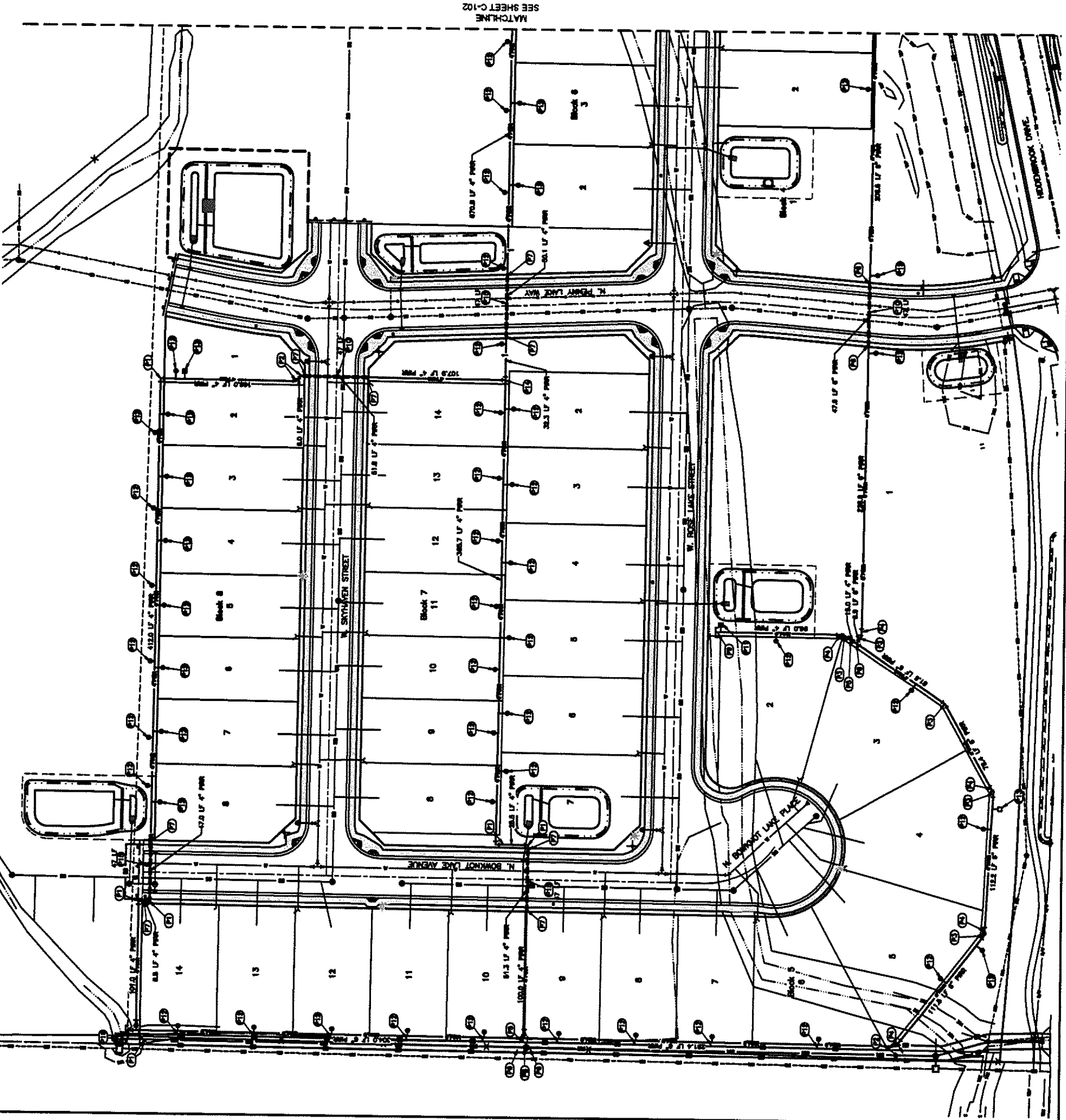
- KEYED NOTES**
- (21) 90° ELBOW
  - (22) 45° ELBOW
  - (23) 22.5° ELBOW
  - (24) 11.25° ELBOW
  - (25) 6" x 4" REDUCER
  - (26) 8" GATE VALVE
  - (27) 4" GATE VALVE
  - (28) 8" TEE
  - (29) 4" BLIND FLANGE
  - (30) 10" C-600 PVC BLEEVE CENTERED UNDER ROADWAY PER PRESSURE IRRIGATION NOTE 1 ON SHEET C-102
  - (31) PRESSURE IRRIGATION DRAIN VALVE
  - (32) IRRIGATION SPACING PER ISPIC 90-102
  - (33) AIR RELEASE VALVE
  - (34) 4" TEE
  - (35) 8" C-600 PVC BLEEVE CENTERED UNDER ROADWAY PER PRESSURE IRRIGATION NOTE 1 ON SHEET C-102
  - (36) 8" BLIND FLANGE

**ADDITIONAL NOTE:**  
 ALL VALVES, FITTINGS, AND REDUCERS SHALL BE RESTRICTED WITH THROAT BLOCKING PER ISPIC 90-102.

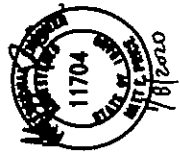


1 PRESSURE IRRIGATION DRAIN  
 SCALENTS

**NOTES:**  
 1. ALL VALVES, FITTINGS, AND REDUCERS SHALL BE RESTRICTED WITH THROAT BLOCKING PER ISPIC 90-102.  
 2. ALL VALVES, FITTINGS, AND REDUCERS SHALL BE RESTRICTED WITH THROAT BLOCKING PER ISPIC 90-102.  
 3. ALL VALVES, FITTINGS, AND REDUCERS SHALL BE RESTRICTED WITH THROAT BLOCKING PER ISPIC 90-102.



SEE SHEET C-102  
 MATCHLINE



NO.	DESCRIPTION	DATE

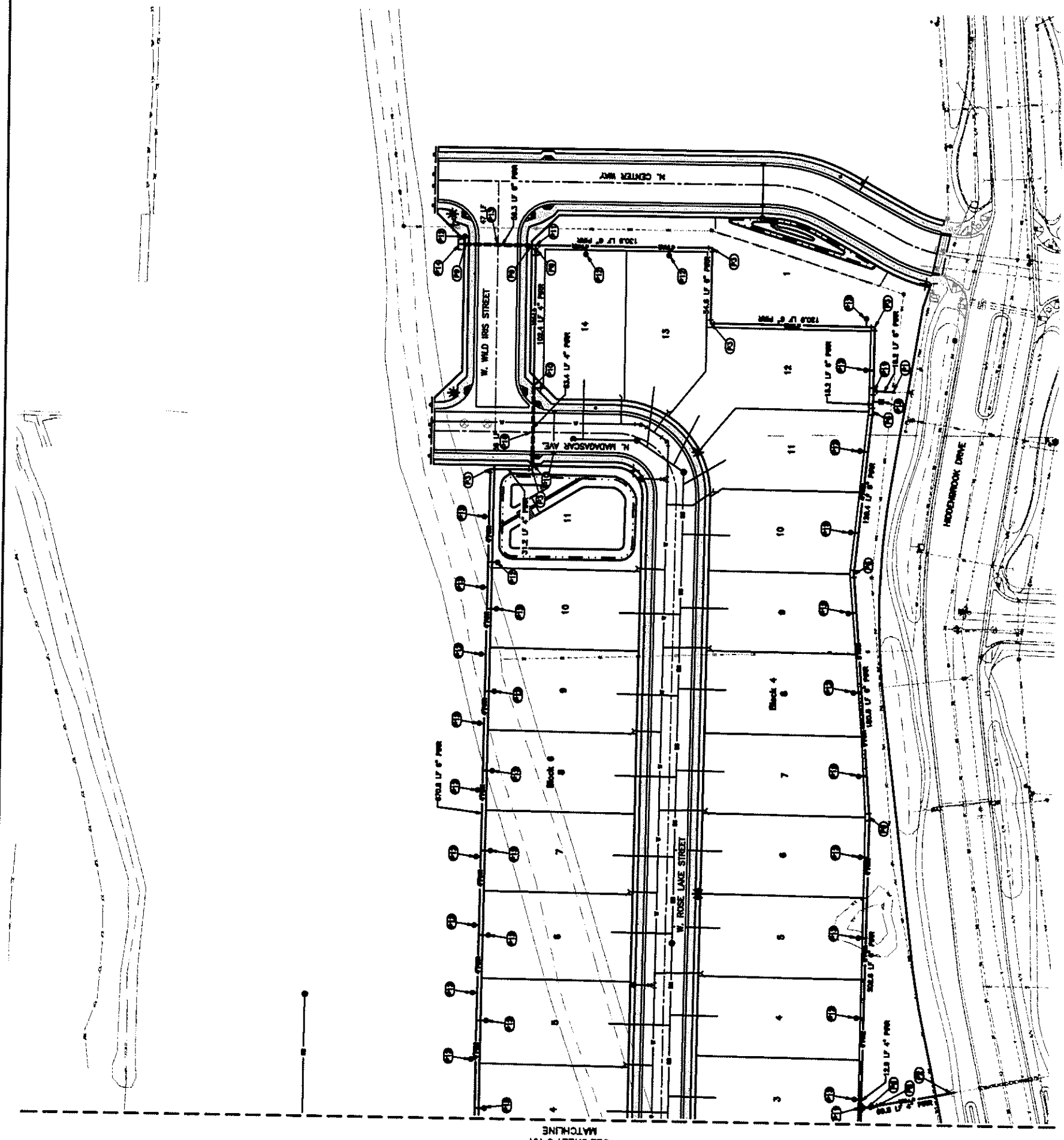
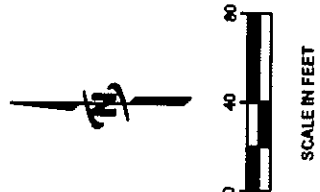
DESIGNED BY: JUB  
 CHECKED BY: JUB  
 DATE: 08/21/2020  
 PROJECT NO.: 2019-001  
 SHEET NO.: C-102

RECORD DRAWINGS

- KEYED NOTES**
- (1) CONNECT TO EXISTING 6" PRESSURE IRRIGATION CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION
  - (2) CONNECT TO EXISTING 4" PRESSURE IRRIGATION CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION
  - (3) 90° ELBOW
  - (4) 45° ELBOW
  - (5) 22.5° ELBOW
  - (6) 11.25° ELBOW
  - (7) 4" TEJ
  - (8) 6"x4" REDUCER
  - (9) 8" GATE VALVE
  - (10) 4" GATE VALVE
  - (11) 8" TEJ
  - (12) IRRIGATION SERVICE PER ISPIC SD-403
  - (13) 10" C-900 PVC SLEEVE CENTERED UNDER ROADWAY PER PRESSURE IRRIGATION NOTE 1 ON SHEET C-002
  - (14) 8" BLIND FLANGE
  - (15) AIR RELEASE VALVE
  - (16) 8" C-900 PVC SLEEVE CENTERED UNDER ROADWAY PER PRESSURE IRRIGATION NOTE 1 ON SHEET C-002

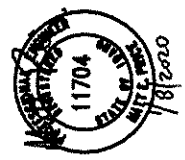
**ADDITIONAL NOTE:**  
 ALL VALVES, FITTINGS, AND REDUCERS SHALL BE RETIRED WITH THRUST BLOCKING PER ISPIC SD-403.

**RECORD DRAWING:**  
 This record drawing has been prepared based on information furnished during the construction of the project. It is the responsibility of the contractor to verify the accuracy of the information provided by others. The contractor shall be responsible for any errors or omissions in this drawing. The contractor shall be responsible for any errors or omissions in this drawing. The contractor shall be responsible for any errors or omissions in this drawing.



SEE SHEET C-101  
 MATCHLINE

This drawing was prepared by JUB ENGINEERS, INC. under contract to the City of Star, Idaho. It is the property of JUB ENGINEERS, INC. and shall remain the confidential property of JUB ENGINEERS, INC. No part of this drawing shall be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JUB ENGINEERS, INC.



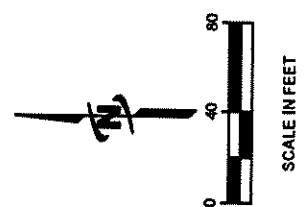
NO.	REVISION	DATE
1	ISSUED FOR PERMITS	02/22/18

STREET LIGHT AND SIGNAGE PLAN

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO

FILE: 18-0208-C-103  
 DATE: 02/22/18  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 AT FULL SIZE & NOT THE  
 AS SHOWN SCALE UNLESS  
 OTHERWISE NOTED  
 SHEET NUMBER: C-103

RECORD DRAWINGS



- KEYED NOTES**
- INSTALL STREET LIGHT PER CITY OF STAR STREET LIGHTING STANDARDS
  - EXISTING STREET LIGHT
  - INSTALL STREET DESIGNATED SIGN
  - INSTALL 30" R1-1 STOP SIGN WITH STREET DESIGNATION SIGN MOUNTED ON TOP
  - INSTALL 24" X 30" R2-1(20) SPEED LIMIT SIGN
  - INSTALL TYPE B TERMINUS BARRICADE WITH ROCK PLATE PER ACHD SUPPLEMENT TO SPWC SD-1132A
  - INSTALL TYPE B TERMINUS BARRICADE PER ACHD SUPPLEMENT TO SPWC SD-1132B WITH "ROAD TO BE EXTENDED IN THE FUTURE" SIGN
  - REMOVE EXISTING TERMINUS BARRICADE

- NOTES**
- PERMITS AND SIGNAGE: THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SIGNAGE FROM THE CITY OF STAR AND THE IDAHO DEPARTMENT OF TRANSPORTATION. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SIGNAGE FROM THE CITY OF STAR AND THE IDAHO DEPARTMENT OF TRANSPORTATION.
  - CONTRACTOR RESPONSIBLE FOR SIGN INSTALLATION MUST BE BOUNDED WITH ACHD AND OBTAIN A NO-CURBAGE RIGHT OF WAY PERMIT.

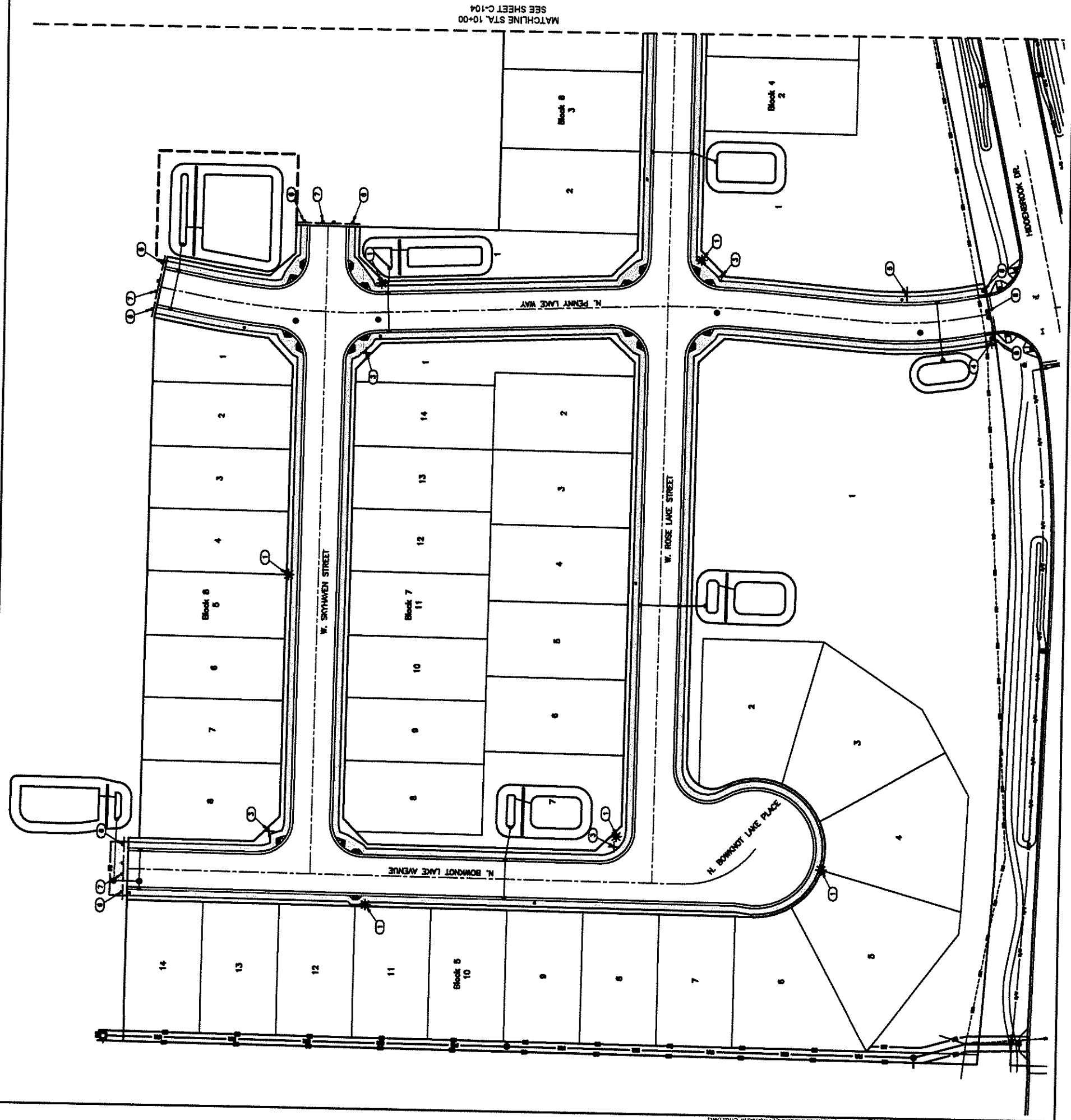
Plans Are Accepted For Public Street Construction

By accepting and signing the improvement plans, the Engineer and contractor warrant that the plans conform to all District and applicable laws, rules and regulations, and that the improvement plans have been previously approved by the District in writing. Acceptance of the improvement plans by the District does not release the Registered Engineer of their responsibility.

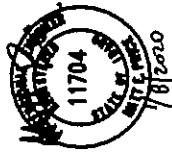
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 AEA COUNTY HIGHWAY DISTRICT

**RECORD DRAWINGS**

These record drawings have been prepared based on information submitted during the public hearing process. The Engineer and contractor warrant that the information submitted is true and correct, and that the information submitted is true and correct, and that the information submitted is true and correct. The Engineer and contractor warrant that the information submitted is true and correct, and that the information submitted is true and correct. The Engineer and contractor warrant that the information submitted is true and correct, and that the information submitted is true and correct.



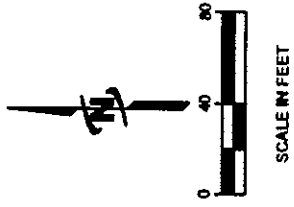
MATCHLINE STA. 10+00  
 SEE SHEET C-104



NO.	DESCRIPTION	DATE

FILE: 19-10-1018 C-104  
 JOB NO: 19-10-1018  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 DATE: 10/15/2019  
 SHEET NUMBER: C-104

RECORD DRAWINGS

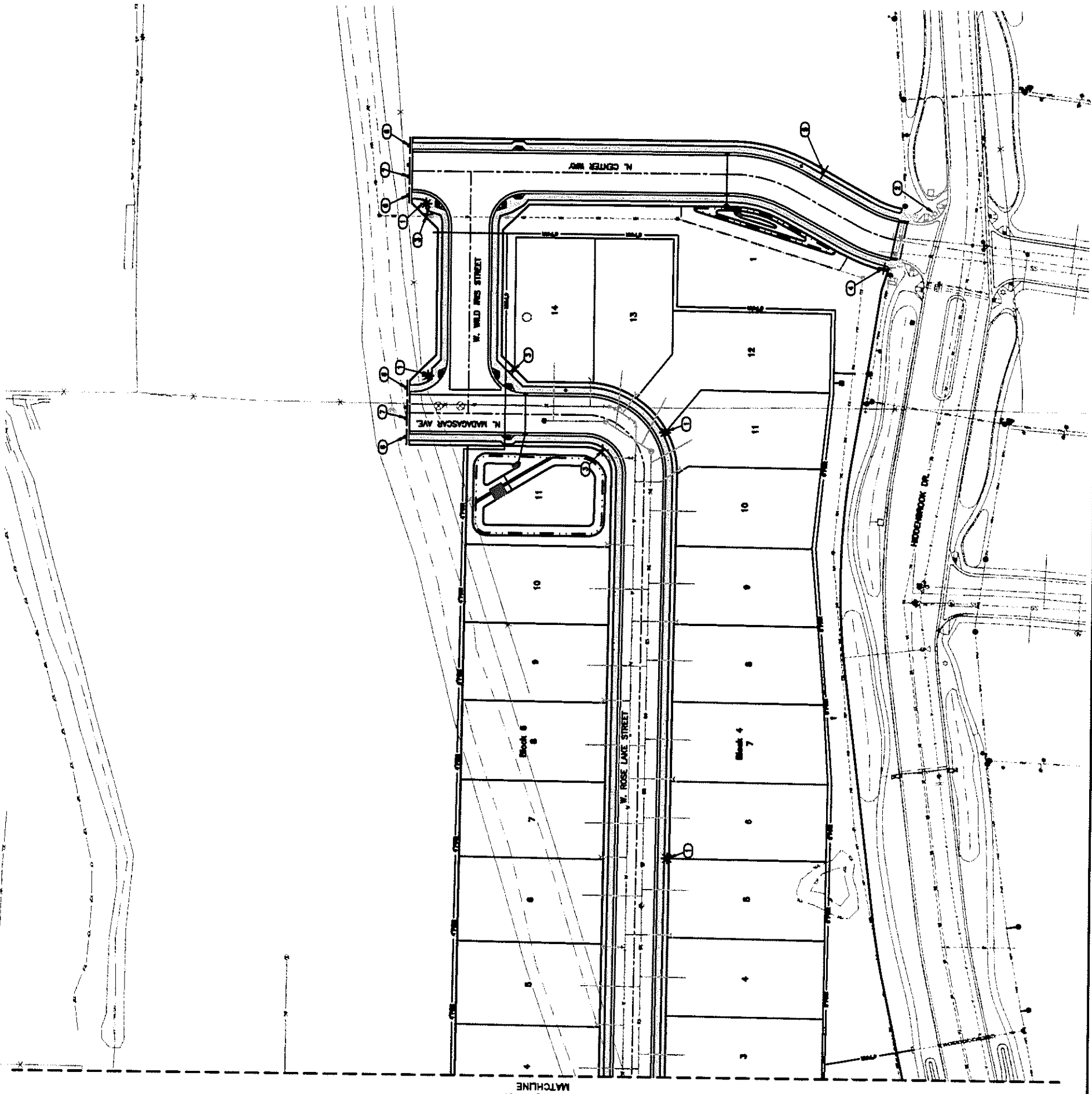


KEYED NOTES

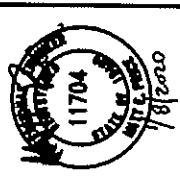
- 1. INSTALL STREET LIGHT PER CITY OF STAR STREET LIGHTING STANDARDS
- 2. DISTINGUISH STREET LIGHT
- 3. INSTALL STREET DESIGNATED SIGN
- 4. INSTALL 30" RT-1 STOP SIGN WITH STREET DESIGNATION SIGN MOUNTED ON TOP
- 5. INSTALL 34" X 30" R2-(120) SPEED LIMIT SIGN
- 6. INSTALL TYPE B TERMINUS BARRICADE WITH ROCK PLATE PER ACHD SUPPLEMENT TO SPEC 30-1132A
- 7. INSTALL TYPE B TERMINUS BARRICADE PER ACHD SUPPLEMENT TO SPEC 30-1132B WITH "ROAD TO BE EXTENDED IN THE FUTURE" SIGN

- NOTES
1. PRIOR TO REVISION OF ANY PREVIOUS DRAWING, CONSULT ACHD AND CITY OF STAR FOR APPROVAL OF ANY CHANGES TO POLICY AND CURRENT PRACTICES.
  2. CONTRACTOR RESPONSIBLE FOR SIGN INSTALLATION MUST BE LICENSED WITH ACHD AND OBTAIN A PERMIT FROM THE CITY OF STAR.

**RECORD DRAWING**  
 This record drawing has been prepared based on information furnished by the client. It is the responsibility of the contractor to verify the accuracy of the information provided by the client. The contractor shall be responsible for any errors or omissions in this drawing. The contractor shall be responsible for any changes to this drawing. The contractor shall be responsible for any costs associated with this drawing. The contractor shall be responsible for any damages caused by this drawing. The contractor shall be responsible for any delays caused by this drawing. The contractor shall be responsible for any other matters related to this drawing.



SEE SHEET C-103  
 MATCHLINE



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	02/28/2018
2	ISSUED FOR RECORD	02/28/2018

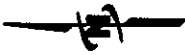
**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**  
 OVERALL UTILITY PLAN

DATE: 02/28/2018  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 PROJECT: REUNION SUBDIVISION NO. 3  
 SHEET NUMBER: C-105

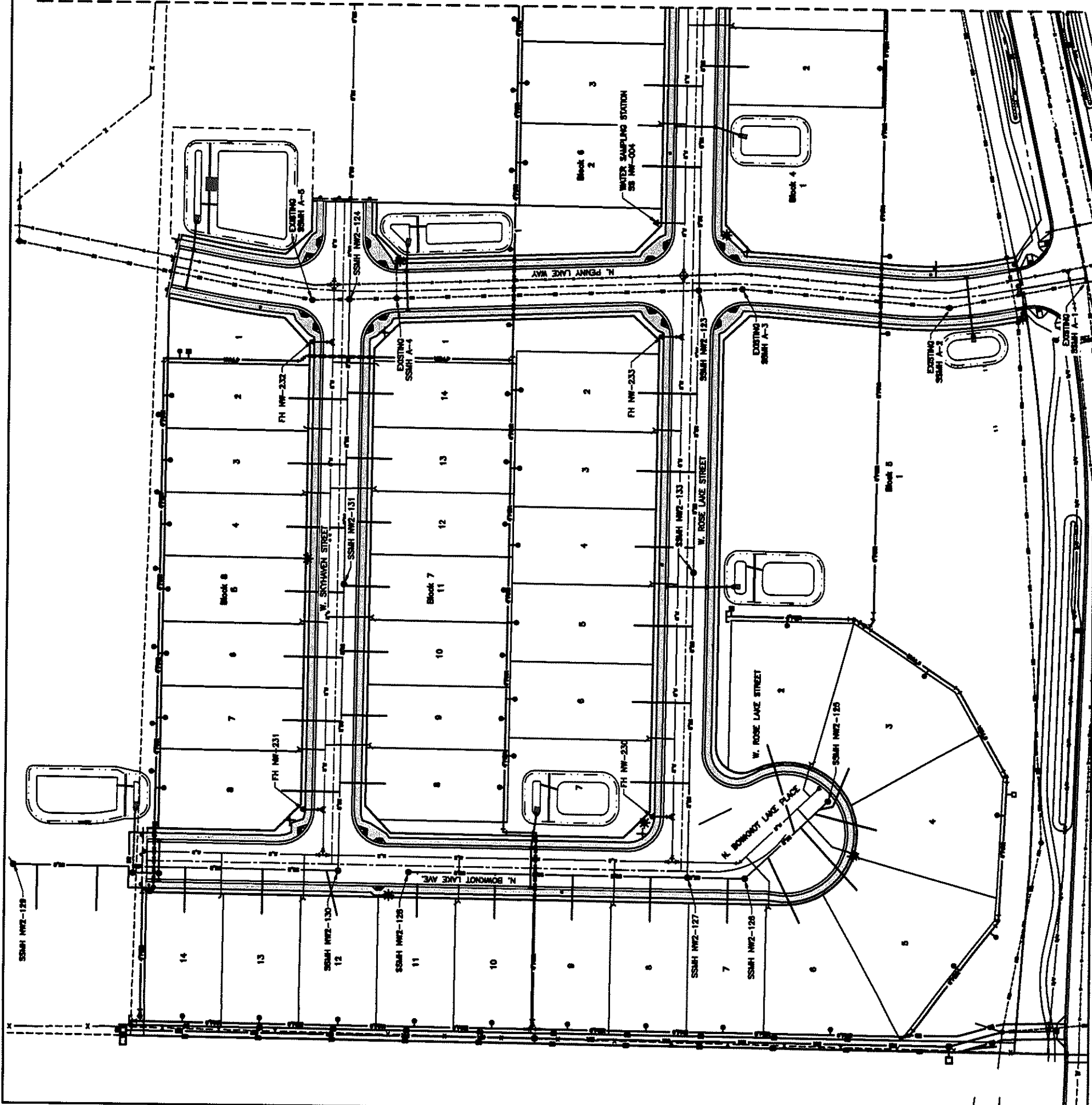
**RECORD DRAWINGS**

**NOTICE TO CONTRACTOR:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR AND THE IDAHO DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING UTILITIES AND STRUCTURES TO ORIGINAL CONDITION OR BETTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL RECORD DRAWINGS UP TO DATE.

**MAINLINE QUANTITIES**  
 SANITARY SEWER 2,108 LF (TOTAL)  
 DOMESTIC WATER 2,386 LF (TOTAL)

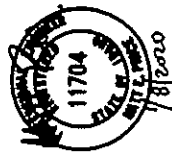


MATCHLINE  
 SEE SHEET C-106



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NO.	DATE	DESCRIPTION

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO  
 OVERALL UTILITY PLAN

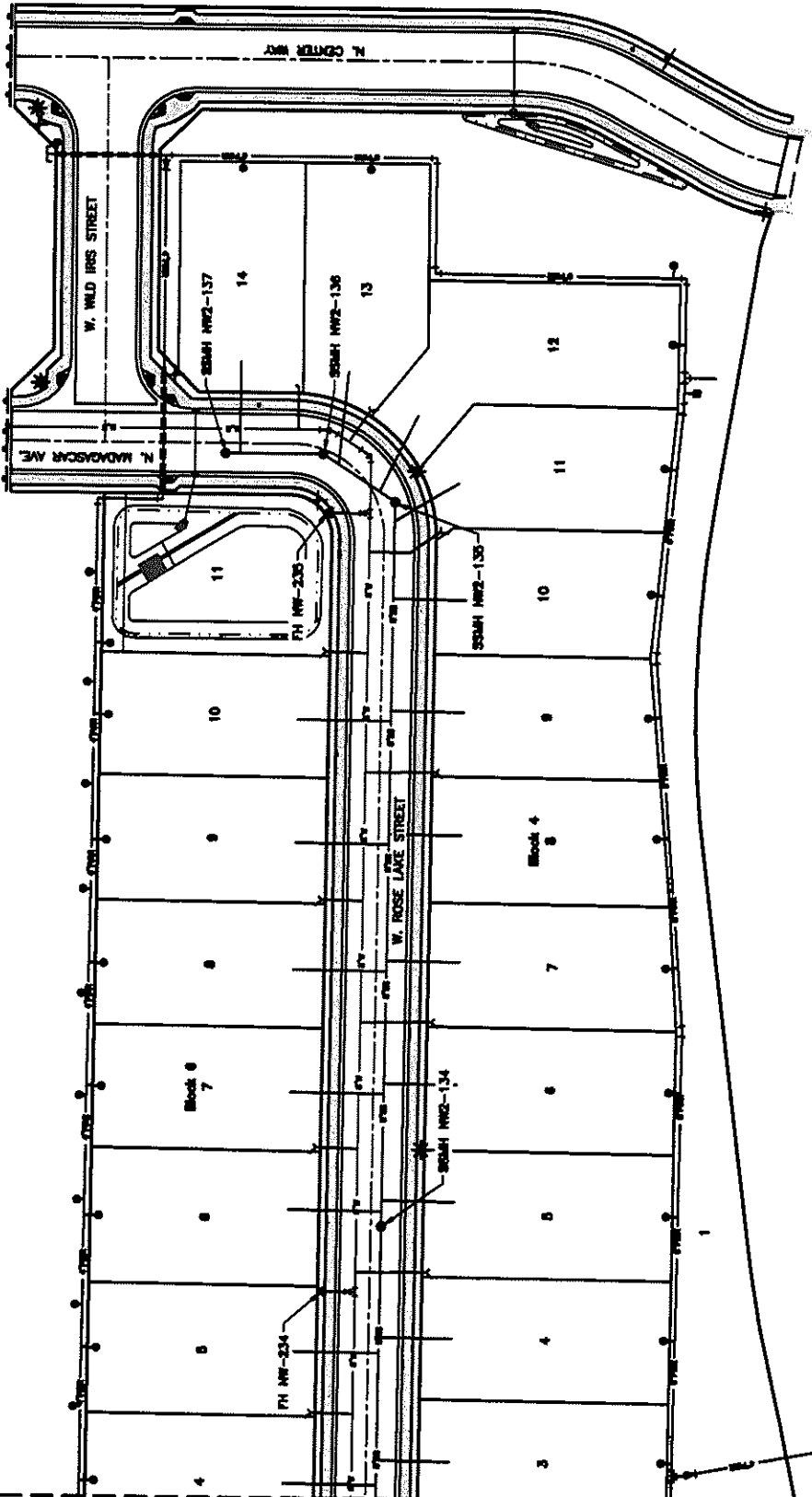
FILE: 10-13-2018 0-106  
 JOB NO: 18-10018  
 DRAWN BY: JAC  
 CHECKED BY: GDS  
 DATE: 10/13/2018  
 ALL UTILITIES SHOWN ARE FOR INFORMATION ONLY AND ARE NOT TO BE CONSIDERED AS A BASIS FOR CONSTRUCTION. THE USER SHALL VERIFY THE ACCURACY OF ALL UTILITIES SHOWN AND SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE USER SHALL RETAIN ALL COMMON LAW STATUTORY COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS AND THE USER SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OR LOSSES OF ANY KIND, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THESE DRAWINGS.

SHEET NUMBER: C-106

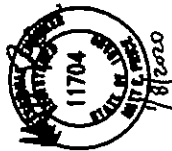
RECORD DRAWINGS

**RECORD DRAWINGS:**  
 These record drawings have been prepared based on information submitted to the City of Star, Idaho, and are intended to be used for the construction of the project. The user shall verify the accuracy of all utilities shown and shall be responsible for any errors or omissions. The user shall retain all common law statutory copyright and other reserved rights of these drawings and the user shall not be held liable for any damages or losses of any kind, including reasonable attorney's fees, arising out of or from the use of these drawings.

**MAINLINE QUANTITIES**  
 SANITARY SEWER 2,256 LF (TOTAL)  
 DOMESTIC WATER 2,266 LF (TOTAL)



SEE SHEET C-105  
 MATCHLINE



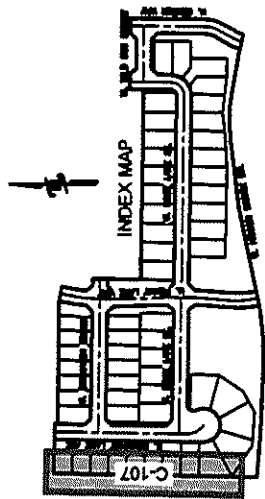
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/27/20
2	ISSUED FOR CONSTRUCTION	08/27/20

**REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO  
 GRAVITY IRRIGATION PLAN  
 JACKSON DRAIN**

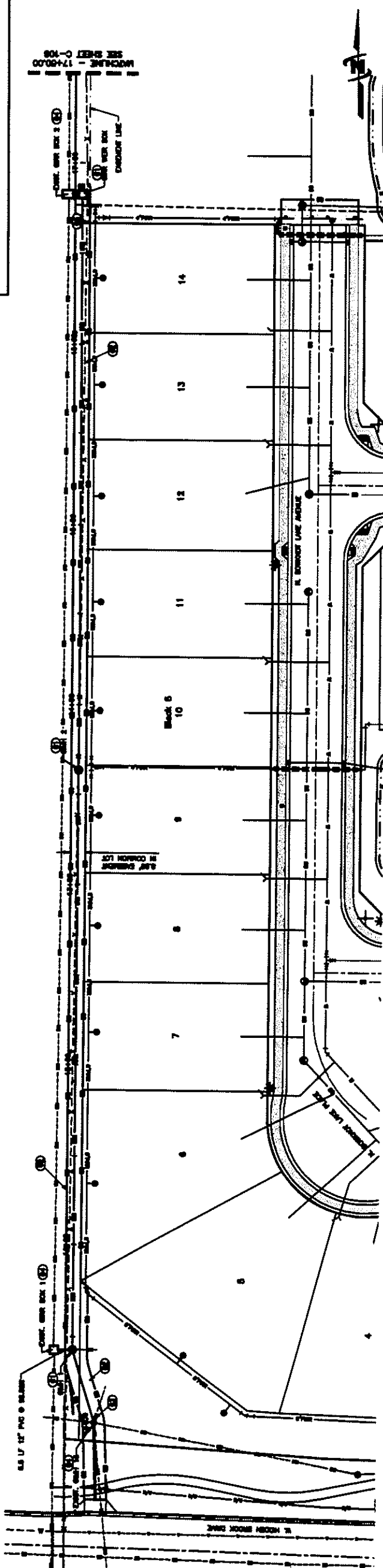
FILE: 1513103-C-107  
 JOB NO.: 15-19219  
 DRAWN BY: WJC  
 CHECKED BY: GSD  
 CATEGORIES: GSD  
 ALL ILLUSTRATIONS  
 PROJECT ACCESSORY  
 LAST UPDATED: 02/25/20

SHEET NUMBER:  
**C-107**

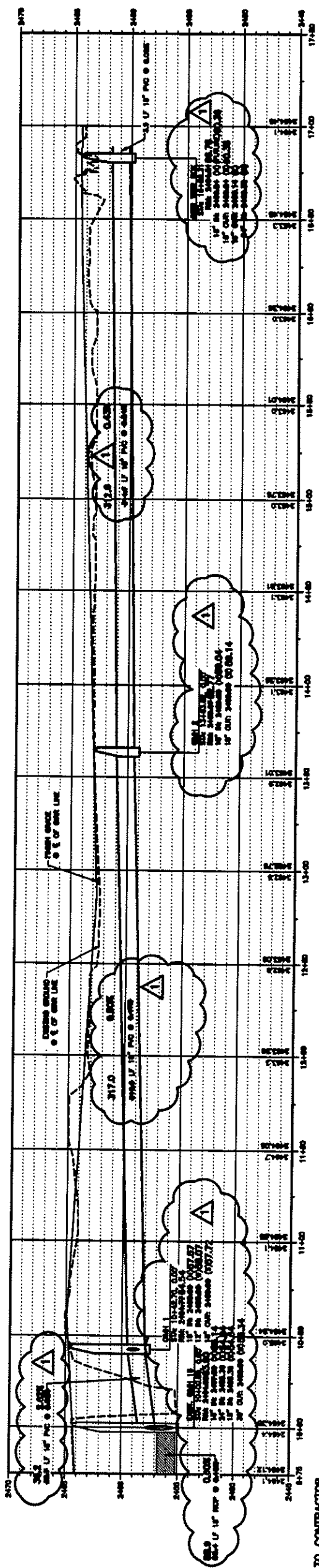
**RECORD DRAWINGS**



**RECORD DRAWINGS**  
 These drawings have been prepared based on information furnished during the project. The engineer is not responsible for the accuracy of the information furnished. It is the responsibility of the contractor to verify the location and depth of all utilities and structures shown on these drawings. The engineer is not responsible for the accuracy of the information furnished. It is the responsibility of the contractor to verify the location and depth of all utilities and structures shown on these drawings. The engineer is not responsible for the accuracy of the information furnished. It is the responsibility of the contractor to verify the location and depth of all utilities and structures shown on these drawings.

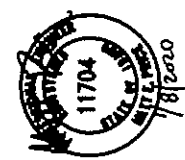


**GIRR LINE A**  
 JACKSON DRAIN



- GRAVITY IRRIGATION NOTES**
- (1) 48" GRR MANHOLE PER BMP 20-411 WITH 1' SUMP
  - (2) PROVIDE ACCESS ROAD FOR IRRIGATION DISTRICT. PLACE 6" OF 2" CRUSHED ROAD MIX
  - (3) REMOVE EXISTING 18" PIPE CORE DRILL FOR PROPOSED 18" PIPE WITH NEW ALIGNMENT
  - (4) FIELD LOCATE AND CONNECT TO EXISTING STRUCTURE. CONTRACTOR TO VERIFY LOCATION AND ELEVATIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - (5) EXISTING 24" PIPE TO BE REMOVED

**NOTES TO CONTRACTOR**  
 1. ADD 3000 FEET TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL ELEVATION.  
 2. SPOT ELEVATIONS ARE HORIZONTALLY (20') MEASURED FROM SERVICE PACE TO THE CENTERLINE OF THE EXISTING UNDEVELOPED UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION FROM TO THE CENTERLINE OF THE EXISTING UNDEVELOPED UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION FURNISHED TO THE ENGINEER. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE INFORMATION FURNISHED TO THE ENGINEER. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION FURNISHED TO THE ENGINEER. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE INFORMATION FURNISHED TO THE ENGINEER.



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/20/02
2	ISSUED FOR RECORD	08/20/02

**RECORD DRAWINGS**

**NOTES TO CONTRACTOR**

1. ALL SPOT ELEVATIONS TO REMAIN ARE AS SHOWN.
2. ALL EXISTING BLOWERS AT REAR AND SIDES OF LOTS ARE AT 30' UNLESS OTHERWISE NOTED.
3. EXISTING WELLS MUST BE ABANDONED FROM CONSTRUCTION. USE IN ACCORDANCE WITH IDAHO DEPARTMENT OF WATER RESOURCES. ALL WELLS MUST BE ABANDONED IN ACCORDANCE WITH IDAHO DEPARTMENT OF WATER RESOURCES. ALL WELLS MUST BE ABANDONED IN ACCORDANCE WITH IDAHO DEPARTMENT OF WATER RESOURCES. ALL WELLS MUST BE ABANDONED IN ACCORDANCE WITH IDAHO DEPARTMENT OF WATER RESOURCES.
4. EXISTING DRIVE THROUS AND SEWER DRAINS MUST BE ABANDONED IN ACCORDANCE WITH IDAHO DEPARTMENT OF WATER RESOURCES.

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PRO LINE
- PRO ELEVATION

**1 TYPICAL LOT GRADING**  
SCALE: 1/8" = 1'-0"

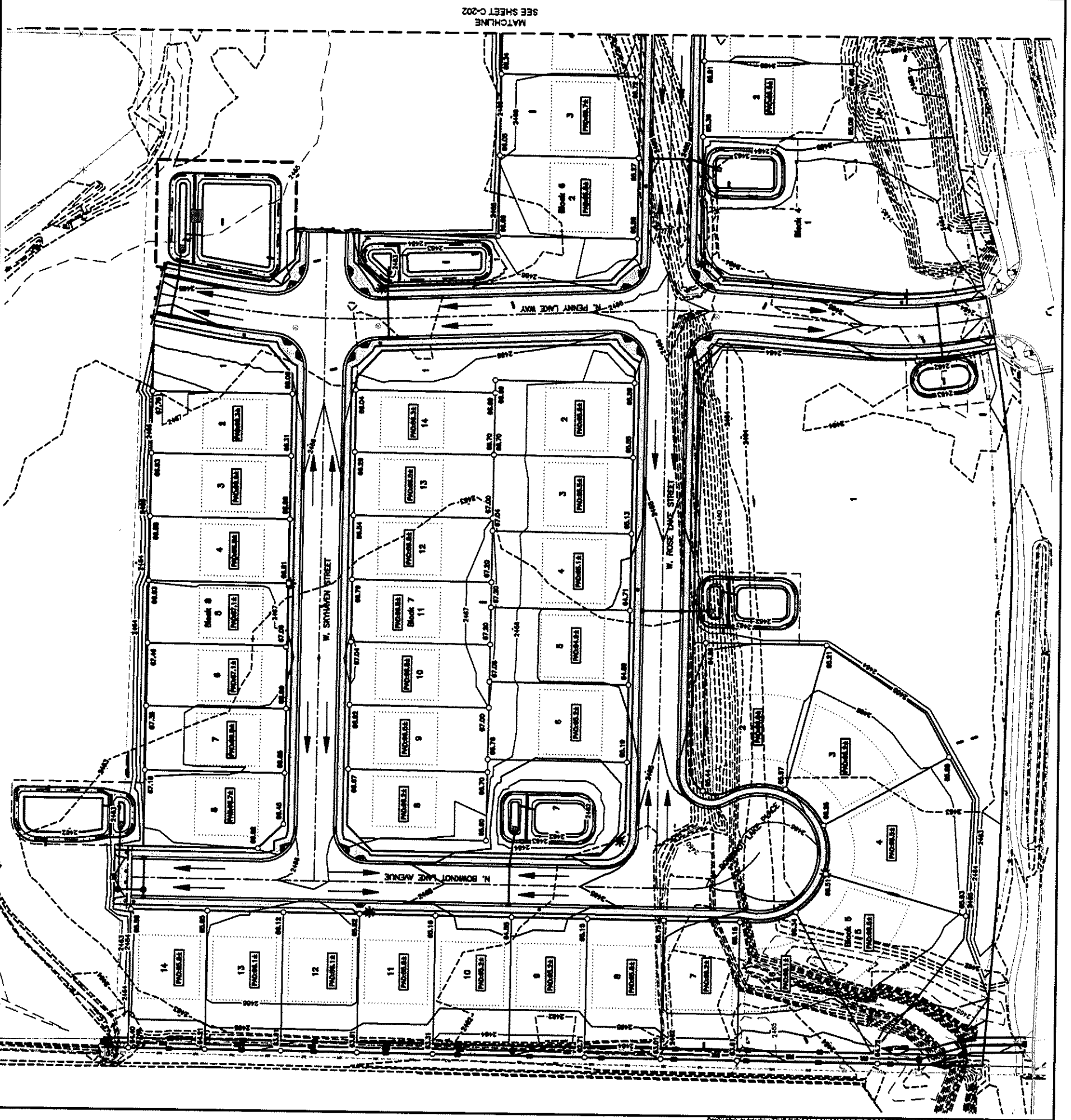
**EARTHWORK**

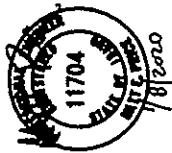
CUR: 2000 C.Y.  
 FILL: 4000 C.Y.  
 WET: 27714 C.Y. IMPROV

NOTE: EARTHWORK QUANTITIES ARE BASED ON THE ASSUMPTION THAT THE EXISTING GROUND SURFACE IS AS SHOWN. QUANTITIES MAY VARY BASED ON FIELD CONDITIONS.

**SCALE IN FEET**

**NOTE:** THESE DRAWINGS HAVE BEEN PREPARED BY THE ENGINEER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED BY OTHERS.





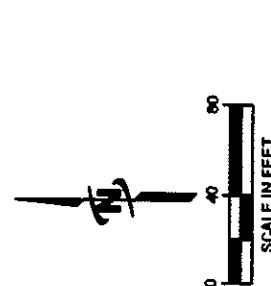
NO.	DATE	DESCRIPTION

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO  
 GRADING PLAN

FILE: 10131012.C302  
 JUB PROJECT: 10131012  
 DRAWN BY: JWC  
 CHECKED BY: GBE  
 DATE: 05/28/2019  
 LAST UPDATED: 02/22/2019

SHEET NUMBER:  
**C-202**

RECORD DRAWINGS

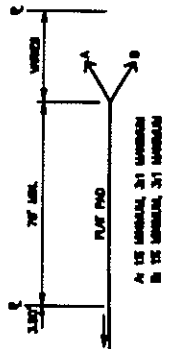


**NOTES TO CONTRACTOR**

1. AND 2. ALL SPOT ELEVATIONS TO EXTENSIVE ACTUAL ELEVATION.
3. ALL CORNER STAKES AT CORNER AND SIDES OF LOTS ARE AT 2', UNLESS OTHERWISE NOTED.
4. EXISTING UTILITIES MUST BE AWARDED FROM DOMESTIC WATER SUPPLY SYSTEMS. ANY DEPENDENT UTILITIES SHALL BE RELOCATED TO THE SIDE OF THE LOT OR TO AN ADJACENT LOT. ALL UTILITIES SHALL BE DEEPENED TO THE PROPOSED FINISH GRADE.
5. ALL EXISTING UTILITIES AND OTHER SPOT ELEVATIONS MUST BE AWARDED TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR.

**LEGEND**

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PRO LINE
---	PO ELEVATION

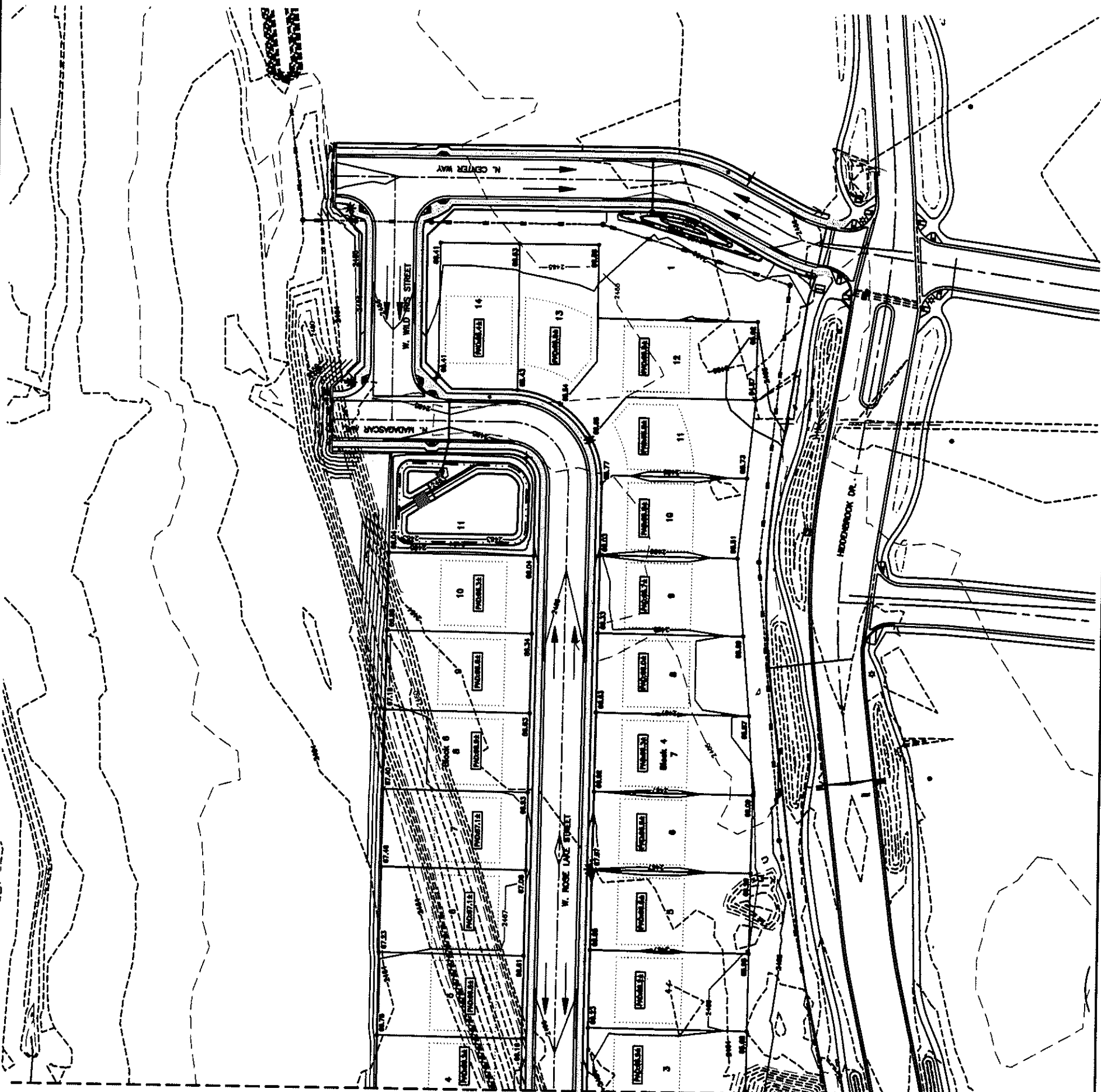


**1 TYPICAL LOT GRADING**

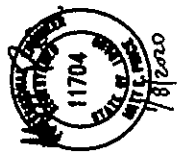
SCALE: 1" = 20'

**EARTHWORK**  
 CUT: 8000 CY.  
 FILL: 4000 CY.  
 NET: 3774 CY. IMPORT

**RECORD DRAWING**  
 This drawing has been prepared based on information furnished by the owner and is not to be used for construction. The contractor shall be responsible for verifying the accuracy of the information furnished and for obtaining all necessary permits and approvals from the City of Star. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Star. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Star.



SEE SHEET C-201  
 MATCHLINE

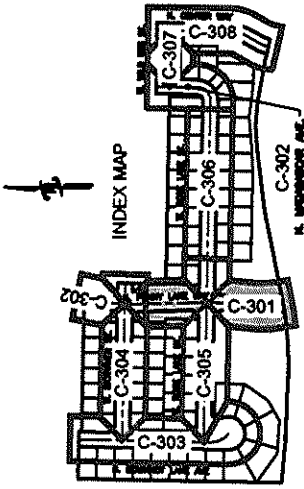


NO.	DESCRIPTION	DATE

**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**  
**STREET PLAN AND PROFILE**  
**N. PENNY LAKE WAY**

FILE: 10-2021-031  
 COUNTY: TETON  
 CHECKED BY: JUB  
 DATE: 10/15/2021  
 SHEET NUMBER: **C-301**

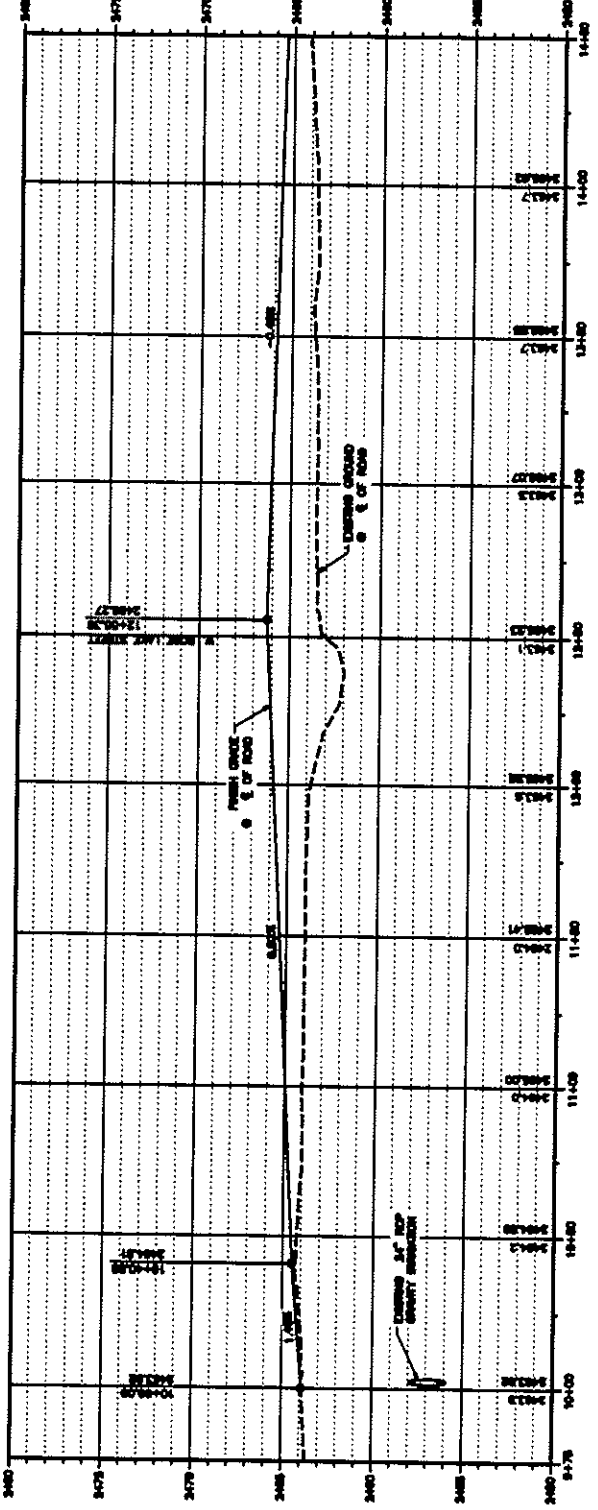
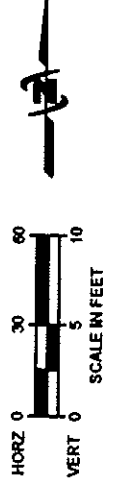
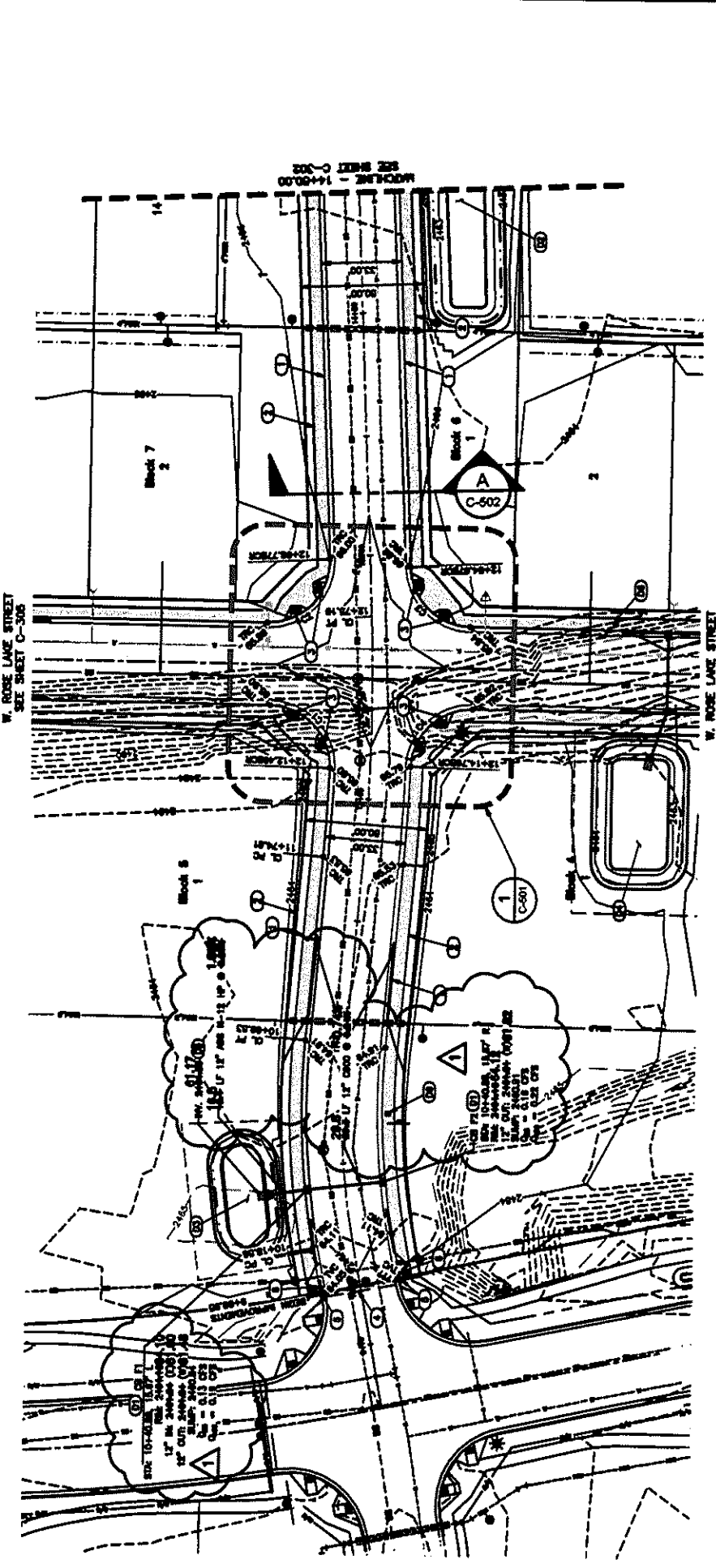
**RECORD DRAWINGS**



- ROADWAY NOTES**
- (1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO SPWC SD-702
  - (2) 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SPWC SD-700, 2.0% MAX. CROSS SLOPE
  - (3) PEDESTRIAN RAMP TYPE "B" PER ACHD SUPPLEMENTAL TO SPWC SD-712H WITH DETECTABLE WARNING PER ACHD SUPPLEMENTAL TO SPWC SD-712
  - (4) SAWCUT FINEMENT OF INSIDE DRAINAGE EDGES PER ACHD ROADWAY NOTE 6 ON SHEET C-302 ALSO PER ACHD SUPPLEMENT TO SPWC SD-303, MATCH EXISTING
  - (5) MATCH EXISTING CURB, GUTTER, AND SIDEWALK
  - (6) 5" CURB TRANSITION FROM 8" VERTICAL CURB TO 3" ROLLED CURB
- DRAINAGE NOTES**
- (7) TYPE IV CATCH BASIN PER ACHD SUPPLEMENT TO SPWC SD-804A
  - (8) STORM POND D
  - (9) STORM POND F
  - (10) STORM POND H
  - (11) PREFABRICATED FLARED END SECTION WITH ROCK INF. AMP 4"x4" WITH 6" TO 8" COBBLES 1' DEEP
  - (12) GROUNDWATER OBSERVATION WELL PER ACHD SUPPLEMENT TO SPWC SD-827

**NOTES TO CONTRACTOR**

1. ALL SHOWN ARE APPROXIMATELY (ONLY) ADVANCED FROM THESE DATA. THE CONTRACTOR SHALL VERIFY ALL SHOWN DATA AND LOCATIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING BUT NOT LIMITED TO, PERMITS FOR EROSION CONTROL, TEMPORARY STAKEOUTS, AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING BUT NOT LIMITED TO, PERMITS FOR EROSION CONTROL, TEMPORARY STAKEOUTS, AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING BUT NOT LIMITED TO, PERMITS FOR EROSION CONTROL, TEMPORARY STAKEOUTS, AND UTILITIES.



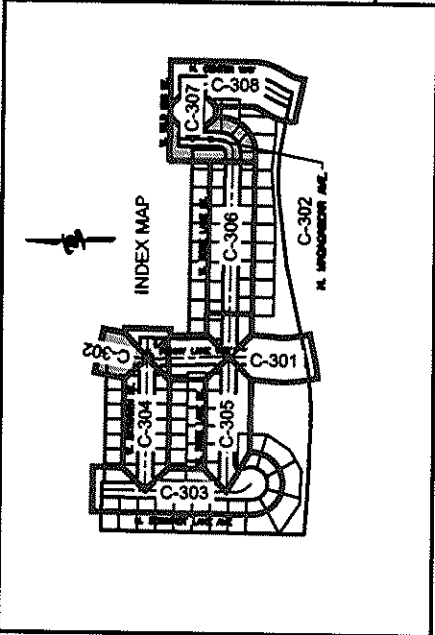
CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	38.88'	25.00'	25.73'	91°30'33"	N43°36'07"W	38.88'
C2	40.51'	25.00'	24.87'	92°00'31"	N44°40'01"E	38.23'
C3	38.03'	25.00'	23.79'	87°09'29"	S49°50'49"E	34.47'
C4	38.88'	25.00'	24.38'	86°30'33"	S48°18'00"W	34.88'

**NOTES TO CONTRACTOR**

1. ALL SHOWN ARE APPROXIMATELY (ONLY) ADVANCED FROM THESE DATA. THE CONTRACTOR SHALL VERIFY ALL SHOWN DATA AND LOCATIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING BUT NOT LIMITED TO, PERMITS FOR EROSION CONTROL, TEMPORARY STAKEOUTS, AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING BUT NOT LIMITED TO, PERMITS FOR EROSION CONTROL, TEMPORARY STAKEOUTS, AND UTILITIES.



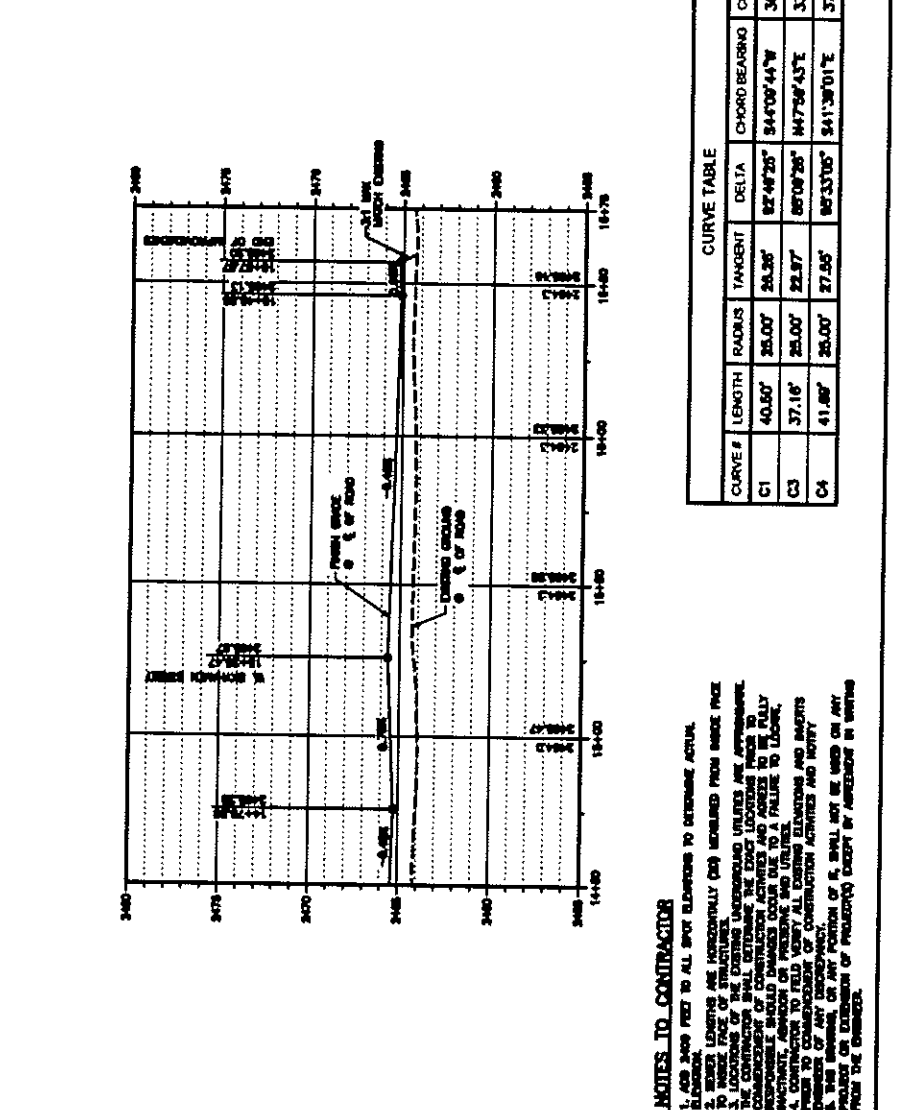
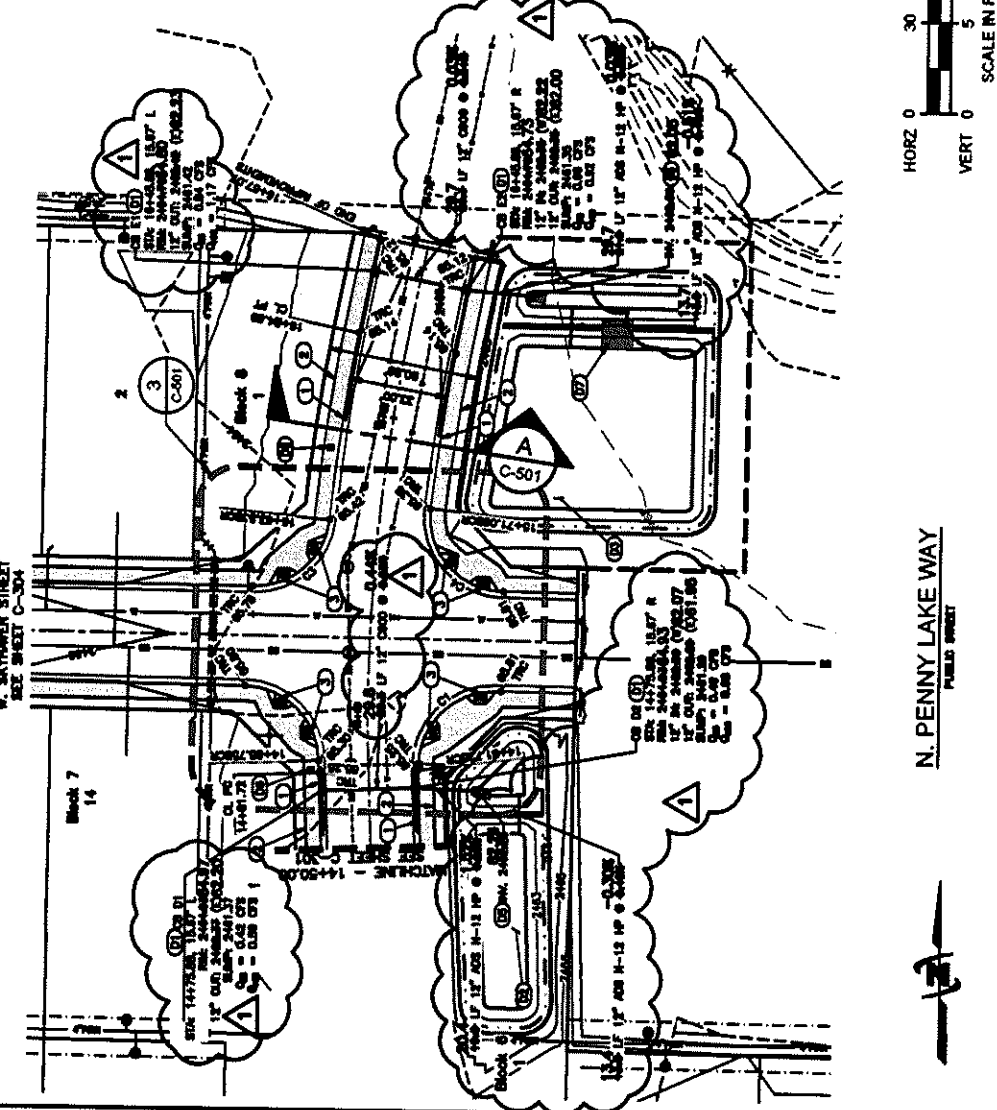
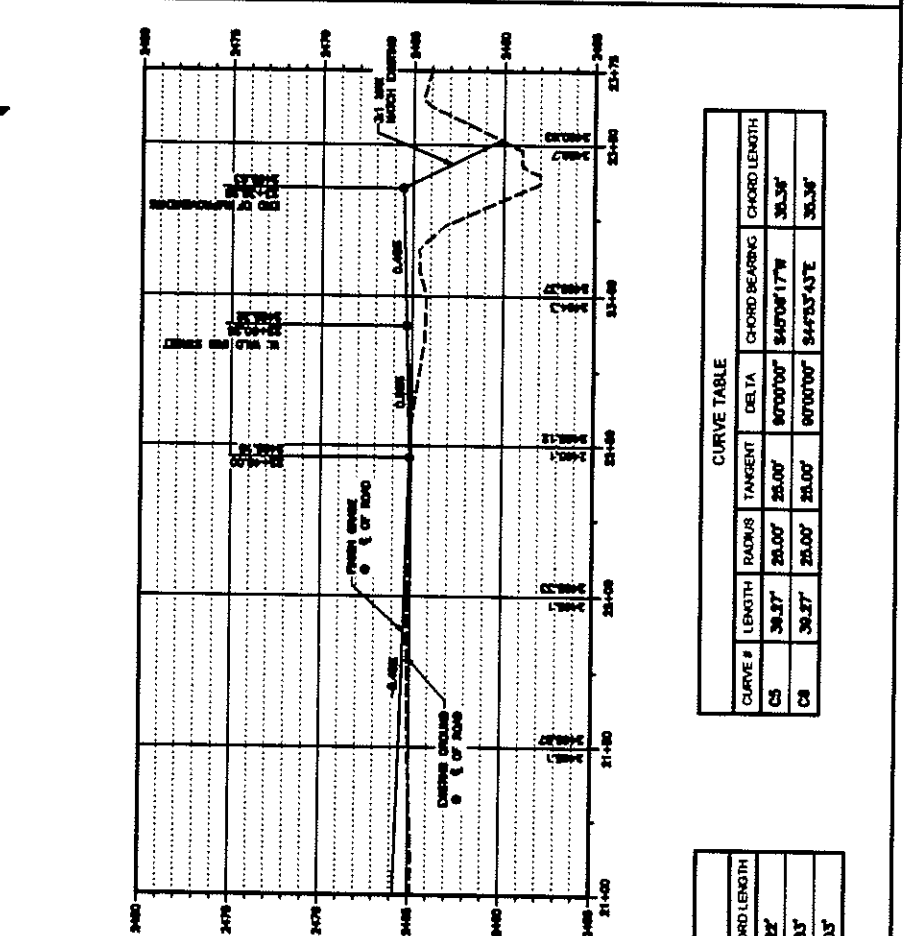
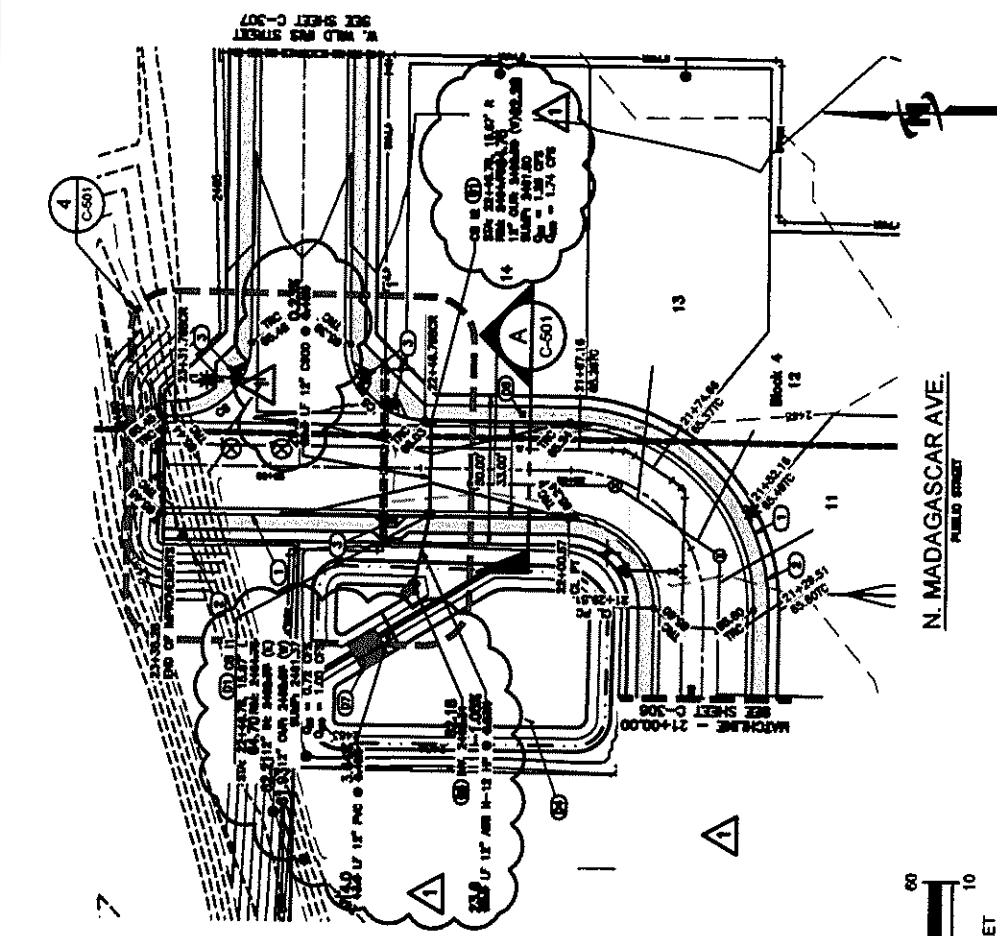
NO.	DATE	DESCRIPTION
1	11/21/2020	ISSUED FOR PERMITS



- ROADWAY NOTES**
- 1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO SPHC SD-702
  - 2) 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SPHC SD-706, 2.0% MAX. CROSS SLOPE
  - 3) PAVED DRIVEWAY TYPE "MS" PER ACHD SUPPLEMENT TO SPHC SD-712A, WITH DETECTABLE WARNING PER ACHD SUPPLEMENTAL TO SPHC SD-712.
- DRAINAGE NOTES**
- 1) TYPE IV CATCH BASIN PER ACHD SUPPLEMENT TO SPHC SD-604A
  - 2) STORM POND D
  - 3) STORM POND E
  - 4) PRECAST/CAST IN-PLACE END SECTION WITH ROCK INF. PMP 42x4' WITH 4" TO 8" COBBLES 1' DEEP
  - 5) CONCRETE OBSERVATION WELL PER ACHD SUPPLEMENT TO SPHC SD-827
  - 6) ANTI-CORROSION SPILL CHANNEL

**RECORD DRAWINGS**

ALL SHALL REMAIN ALL COMMON LAW STATUTORY, COPYRIGHT AND OTHER RIGHTS RESERVED BY THE ENGINEER AND THE BOARD OF ENGINEERS AND SURVEYORS OF THE STATE OF IDAHO. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND THE STATE OF IDAHO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL FIELD DATA AND FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

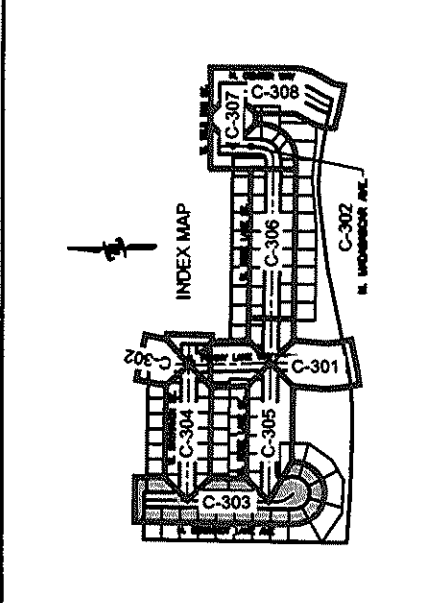


**NOTES TO CONTRACTOR**

1. ALL DIMENSIONS TO ALL POINT ELEMENTS TO BE SHOWN AS ACTUAL.
2. EXISTING UTILITIES ARE INDICATED BY DIMENSIONS FROM EXISTING POINTS OF INTEREST. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AND LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



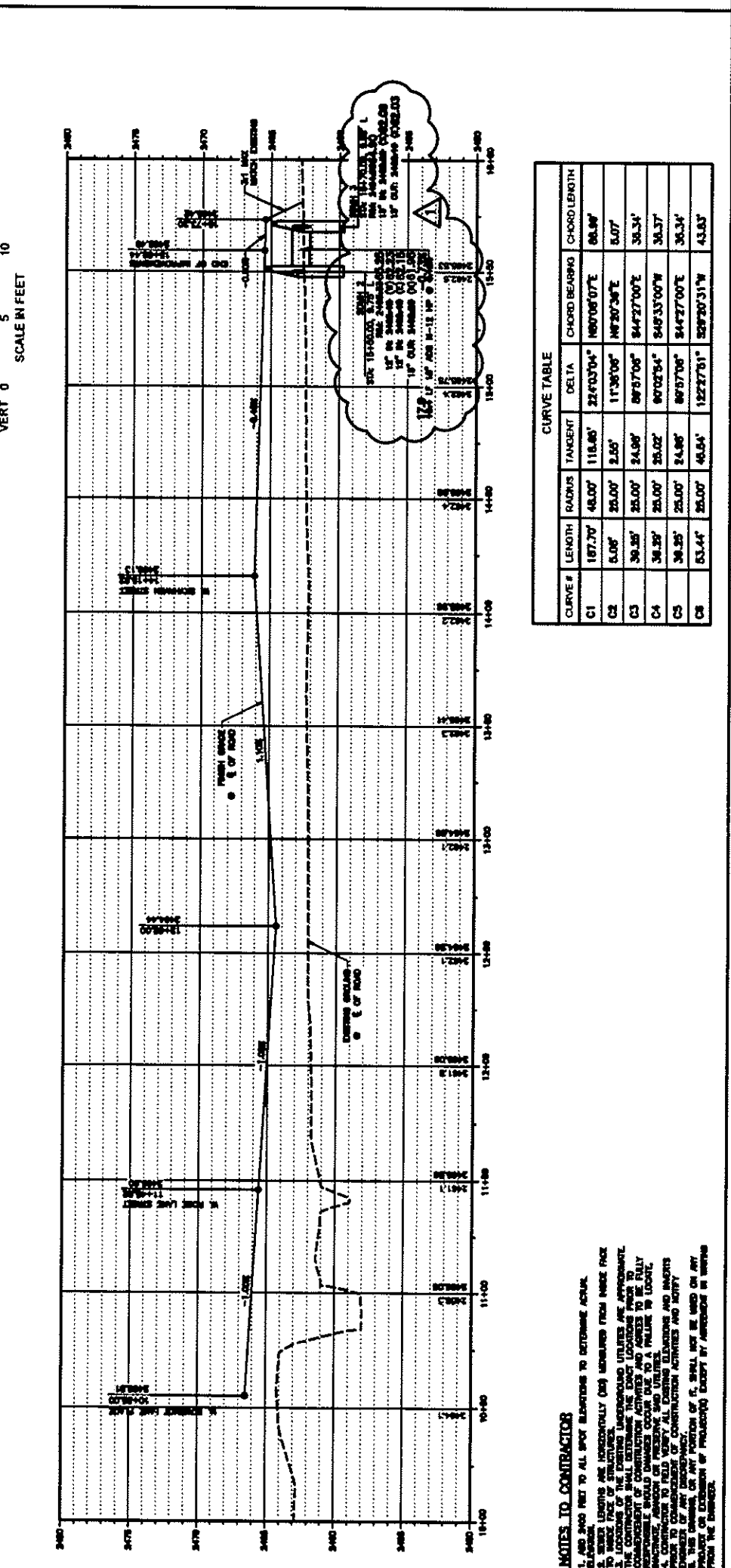
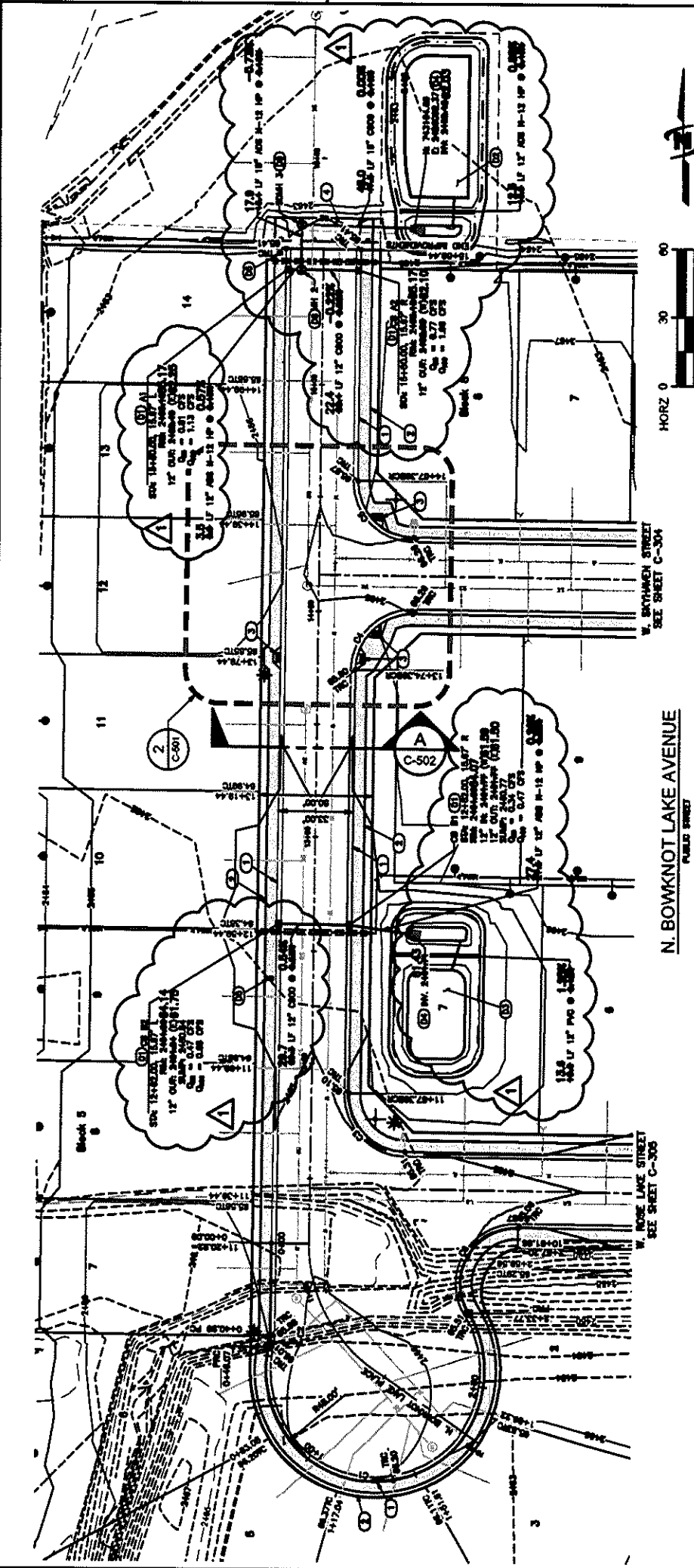
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	02/18/2018
2	ISSUED FOR RECORD	02/18/2018



- ROADWAY NOTES**
- (1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO RSPWC SD-702
  - (2) 6" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO RSPWC SD-700, 2.0% MAX. CROSS SLOPE.
  - (3) PROPOSED DRAIN TYPE "B" PER ACHD SUPPLEMENTAL TO RSPWC SD-715H WITH DETECTABLE WARRIAGES PER ACHD SUPPLEMENTAL TO RSPWC SD-712
  - (4) BACKFILL GRANUL TO PROTECT MANHOLE FOR FUTURE PHASE
- DRAINAGE NOTES**
- (1) TYPE IV CATCH BASIN PER ACHD SUPPLEMENT TO RSPWC SD-804A
  - (2) STORM POND A (24')
  - (3) STORM POND B (24')
  - (4) PRECAST/CAST IN PLACE CONCRETE SECTION WITH ROCK RIP RAP 1/4" KEEPS WITH 4" TO 6" COBBLES 1" DEEP
  - (5) CONCRETE/STEEL OBSERVATION WELL PER ACHD SUPPLEMENT TO RSPWC SD-827
  - (6) 48" MANHOLE PER RSPWC SD-811

**RECORD DRAWINGS**

THIS RECORD DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED BY THE CLIENT AND THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE STATE OF IDAHO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE STATE OF IDAHO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE STATE OF IDAHO.



**CURVE TABLE**

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	187.70'	48.00'	118.86'	22.63704°	N89°08'07"E	88.94'
C2	5.08'	25.00'	2.55'	11°30'08"	N87°39'36"E	5.07'
C3	30.38'	25.00'	24.88'	89°57'08"	S44°27'00"E	35.34'
C4	38.39'	25.00'	25.02'	90°02'54"	S49°33'00"W	34.37'
C5	38.25'	25.00'	24.88'	89°57'08"	S44°27'00"E	35.34'
C6	53.44'	25.00'	48.84'	122°27'01"	S29°20'31"W	43.83'

**NOTES TO CONTRACTOR:**

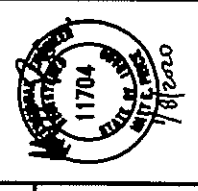
1. ALL SPOT ELEVATIONS TO BE DETERMINED AS ACTUAL.

2. ALL SPOT ELEVATIONS ARE HORIZONTAL (NOT VERTICAL) FROM THE FACE OF THE CURB.

3. THE CONTRACTOR SHALL DETERMINE THE EXISTING UNDERGROUND UTILITIES AND APPROXIMATE DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE STATE OF IDAHO.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE STATE OF IDAHO.

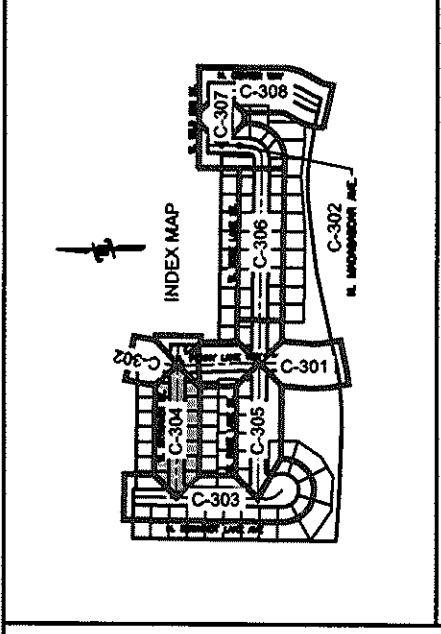
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE STATE OF IDAHO.



NO.	DATE	DESCRIPTION
1	12/20/10	ISSUED FOR PERMITS
2	01/11/11	REVISION

**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**  
**STREET PLAN AND PROFILE**  
**W. SKYHAVEN ST.**

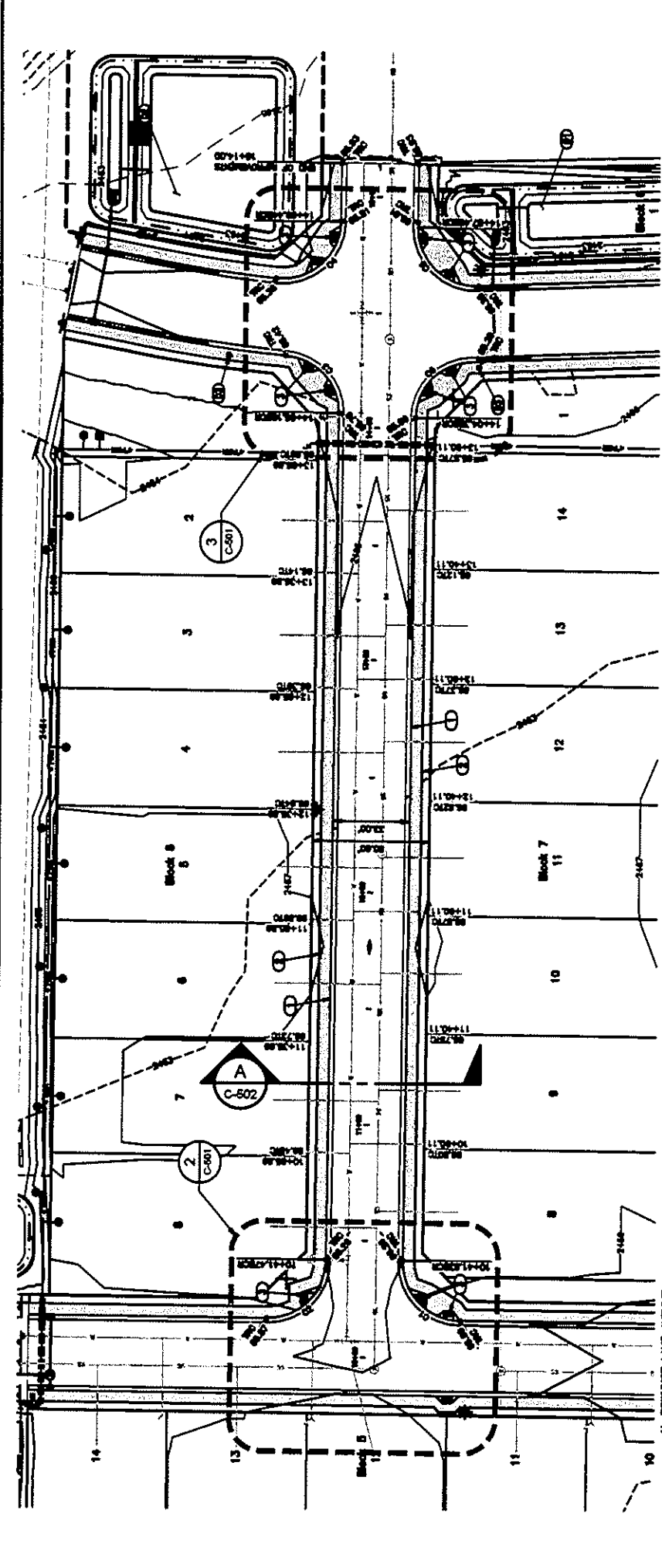
DATE: 05/24/2011  
 TIME: 10:17:53 AM  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 PROJECT NO.: 11-00000000  
 SHEET NUMBER: **C-304**



- ROADWAY NOTES**
- (1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO ISPWC SD-702
  - (2) 6" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO ISPWC SD-709, 2.0% MAX. CROSS SLOPE.
  - (3) PEDESTRIAN RAMP TYPE "A" PER ACHD SUPPLEMENTAL TO ISPWC SD-715H DETECTABLE WARNING PER ACHD SUPPLEMENTAL TO SD-712.
- DRAINAGE NOTES**
- (A) STORM POND D
  - (B) STORM POND E
  - (C) GROUNDWATER OBSERVATION WELL PER ACHD SUPPLEMENT TO ISPWC SD-827

**RECORD DRAWINGS**

THIS DRAWING HAS BEEN REPRODUCED FROM AN ELECTRONIC ORIGINAL. ANY CHANGES TO THIS DRAWING SHALL BE MADE TO THE ORIGINAL. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



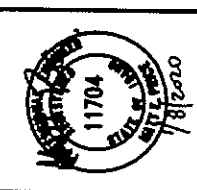
**W. SKYHAVEN STREET**  
 PUBLIC STREET

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	30.29'	25.00'	25.00'	90°02'54"	S45°33'00"W	30.37'
C2	30.25'	25.00'	24.95'	89°57'08"	S45°27'00"E	30.34'
C3	37.16'	25.00'	22.97'	89°08'25"	N47°56'43"E	33.83'
C4	41.68'	25.00'	27.55'	85°33'05"	S41°39'01"E	37.03'
C5	40.68'	25.00'	28.47'	83°15'37"	S43°56'33"W	38.35'
C6	38.19'	25.00'	23.95'	87°32'11"	N46°30'25"W	34.88'

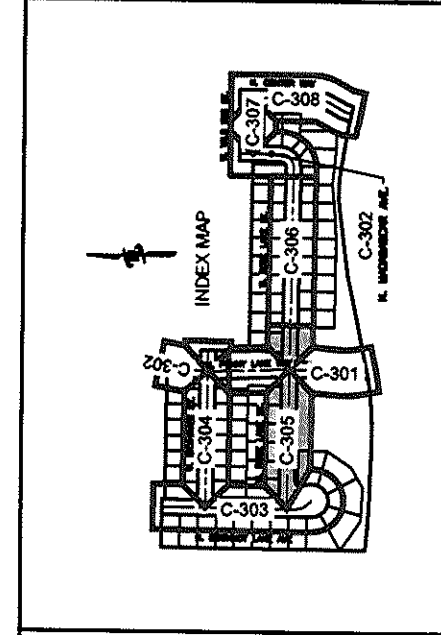
**NOTES TO CONTRACTOR**

1. ALL ELEVATIONS TO BE SHOWN TO NEAREST TENTH.
2. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.





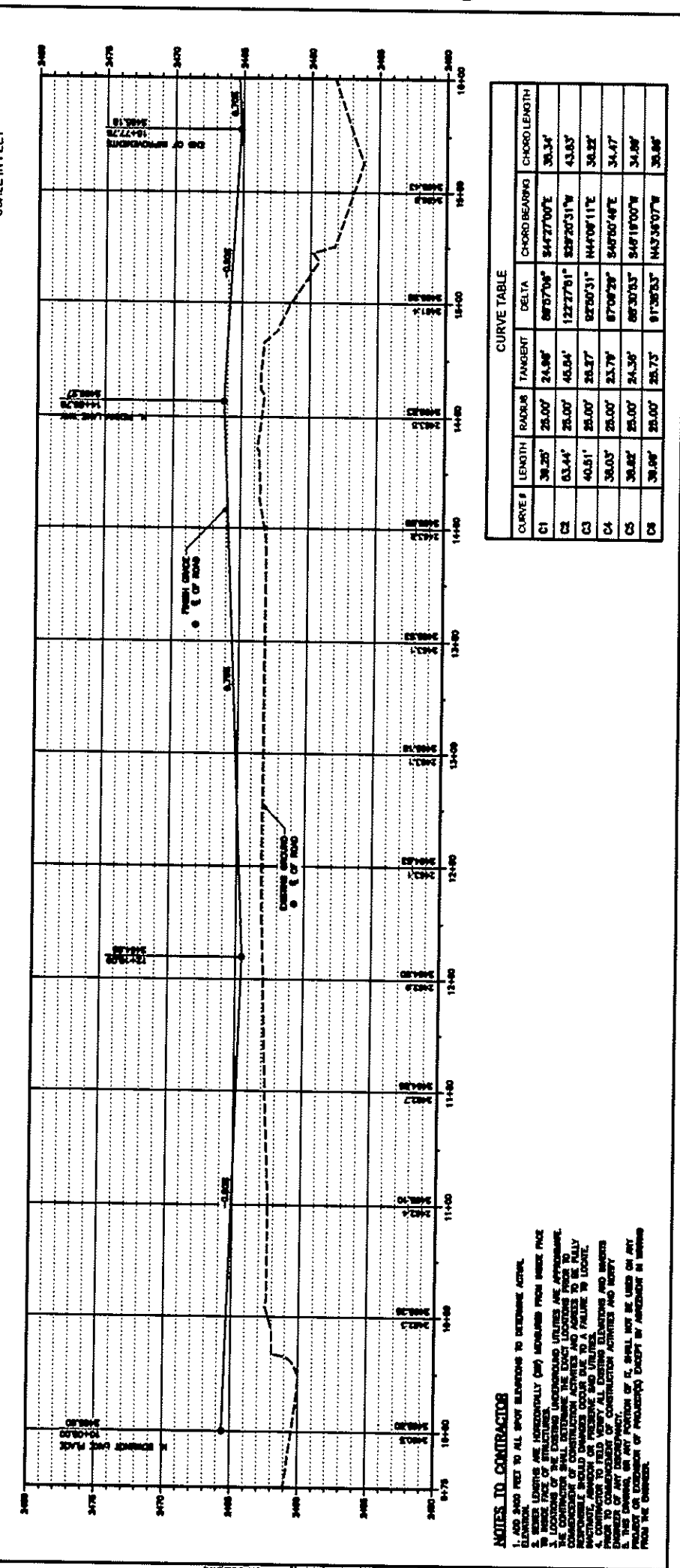
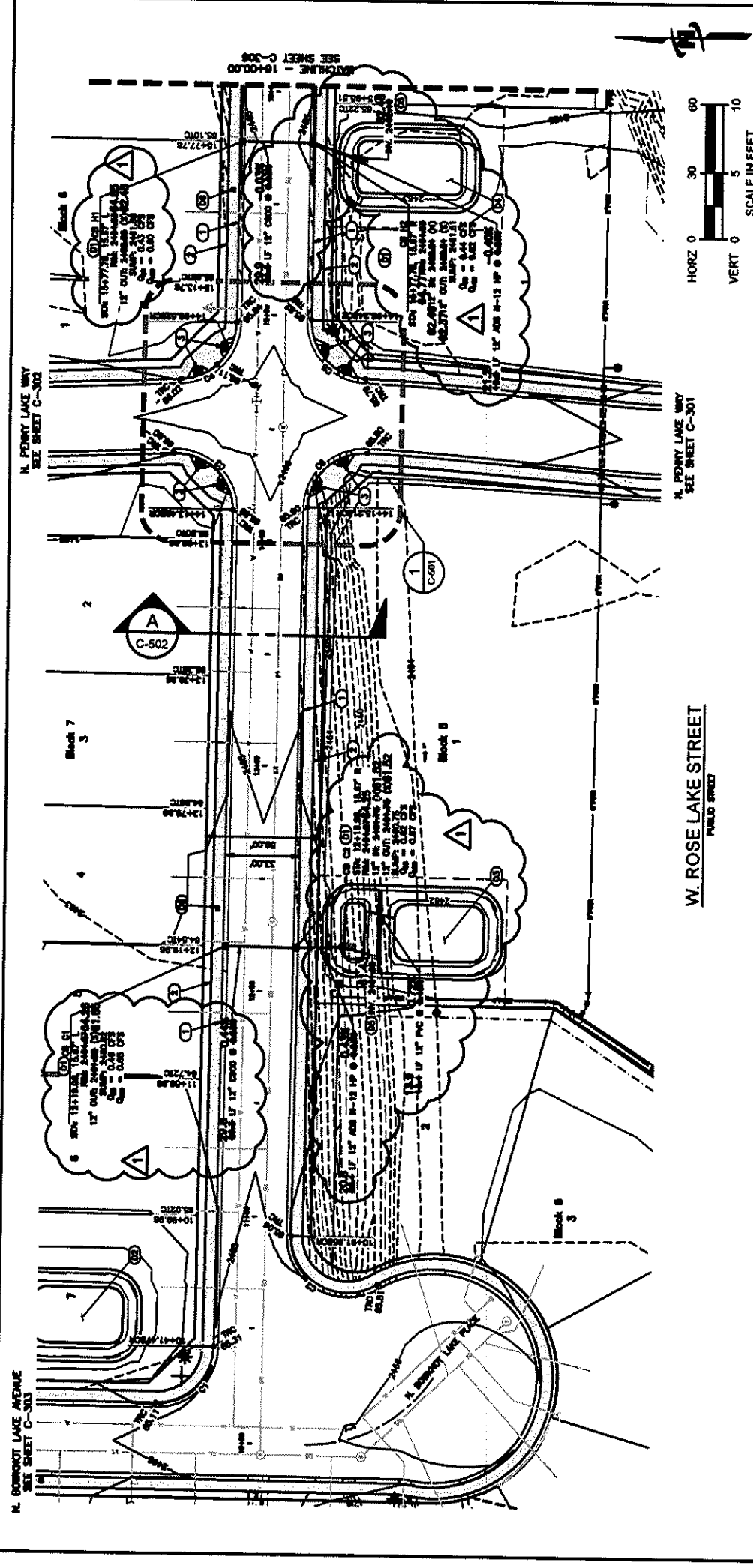
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/12/2020
2	ISSUED FOR PERMITS	08/12/2020
3	ISSUED FOR PERMITS	08/12/2020
4	ISSUED FOR PERMITS	08/12/2020
5	ISSUED FOR PERMITS	08/12/2020
6	ISSUED FOR PERMITS	08/12/2020
7	ISSUED FOR PERMITS	08/12/2020
8	ISSUED FOR PERMITS	08/12/2020
9	ISSUED FOR PERMITS	08/12/2020
10	ISSUED FOR PERMITS	08/12/2020
11	ISSUED FOR PERMITS	08/12/2020
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15	ISSUED FOR PERMITS	08/12/2020
16	ISSUED FOR PERMITS	08/12/2020
17	ISSUED FOR PERMITS	08/12/2020
18	ISSUED FOR PERMITS	08/12/2020
19	ISSUED FOR PERMITS	08/12/2020
20	ISSUED FOR PERMITS	08/12/2020



- ROADWAY NOTES**
- (1) 3" ROLLED CURB AND OUTER PER ACHD SUPPLEMENT TO SPHC 30-702
  - (2) 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SPHC 30-709. 2.0% MAX. CROSS SLOPE.
  - (3) PAVED/PAVED TYPE 7.5" PER ACHD SUPPLEMENTAL TO SPHC 30-712A. WITH DETECTABLE SURFING PER ACHD SUPPLEMENTAL DRAWING 30-712.
- DRAINAGE NOTES**
- (1) TYPE IV CATCH BASIN PER ACHD SUPPLEMENT TO SPHC 30-804A
  - (2) STORM POND B
  - (3) STORM POND C
  - (4) STORM POND H
  - (5) PRE-CAST/CAST PLUMED END SECTION WITH ROCK IMP RMP 4"x4" WITH 4" TO 8" CORNICES 1' DEEP
  - (6) COUNTER-OBSERVATION WELL PER ACHD SUPPLEMENT TO SPHC 30-827

**RECORD DRAWINGS**

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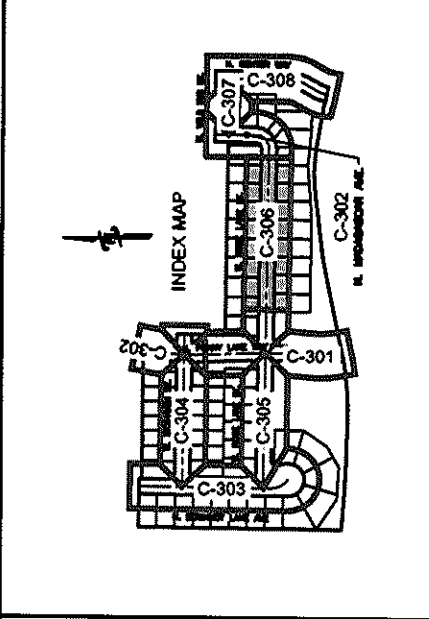


**CURVE TABLE**

CURVES	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	38.25'	25.00'	24.96°	88°07'08"	S44°27'00"E	38.34'
C2	53.44'	25.00'	45.54°	122°27'51"	S29°20'31"W	43.83'
C3	40.51'	25.00'	23.37°	82°50'31"	N44°08'11"E	38.22'
C4	38.03'	25.00'	23.79°	87°08'29"	S47°50'49"E	34.47'
C5	38.82'	25.00'	24.35°	88°30'53"	S48°18'00"W	34.89'
C6	38.98'	25.00'	25.73°	91°30'53"	N43°50'7"W	38.86'

**NOTES TO CONTRACTOR**

1. AND SHOWN NEXT TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL ELEVATION. ELEVATIONS ARE HORIZONTALLY (HD) MEASURED FROM BENCHMARK TO THE FACE OF STRUCTURES.
2. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. CONTRACTOR TO FIELD VERIFY ALL EXISTING ELEVATIONS AND BENCHMARKS TO CONFORMANCE OF CONSTRUCTION ACTIVITIES AND BENCHMARKS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
6. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

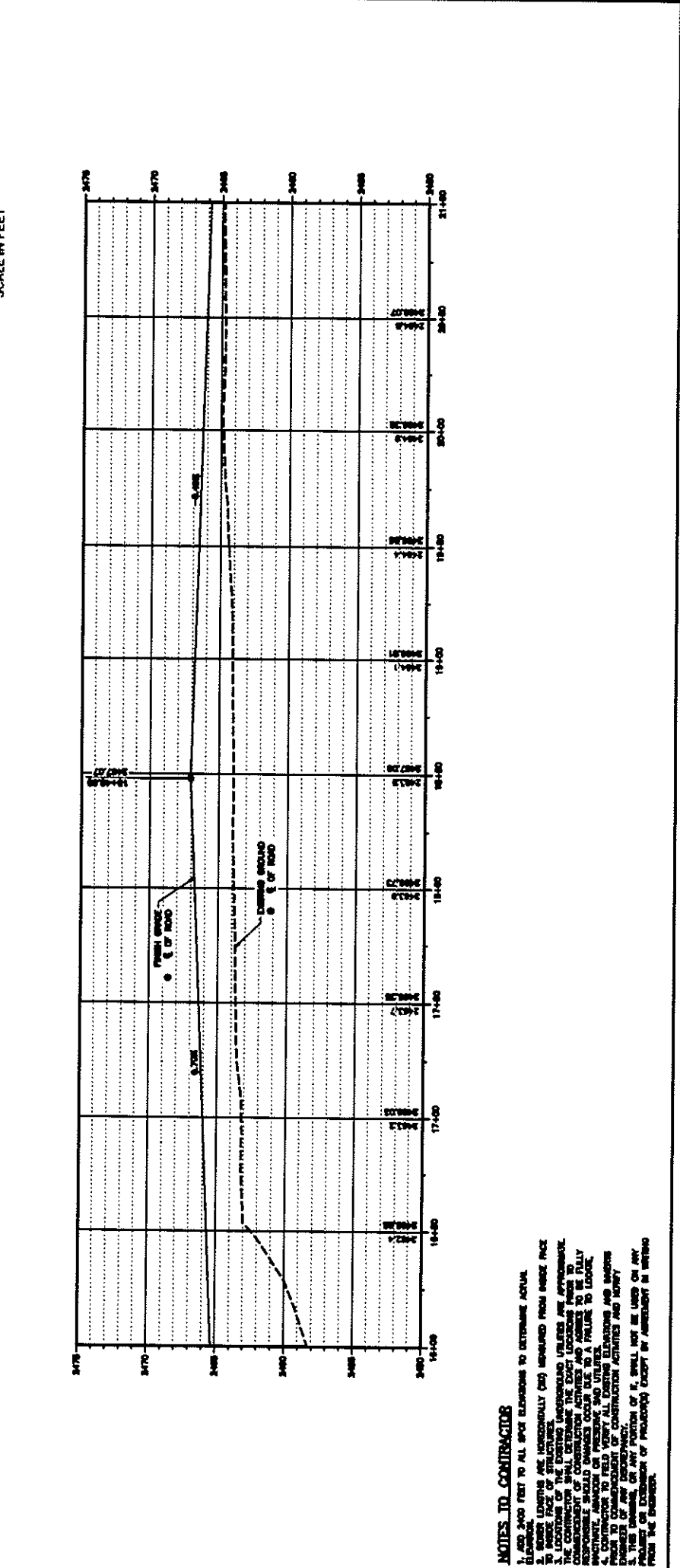
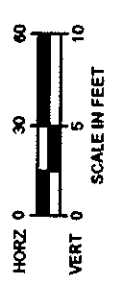
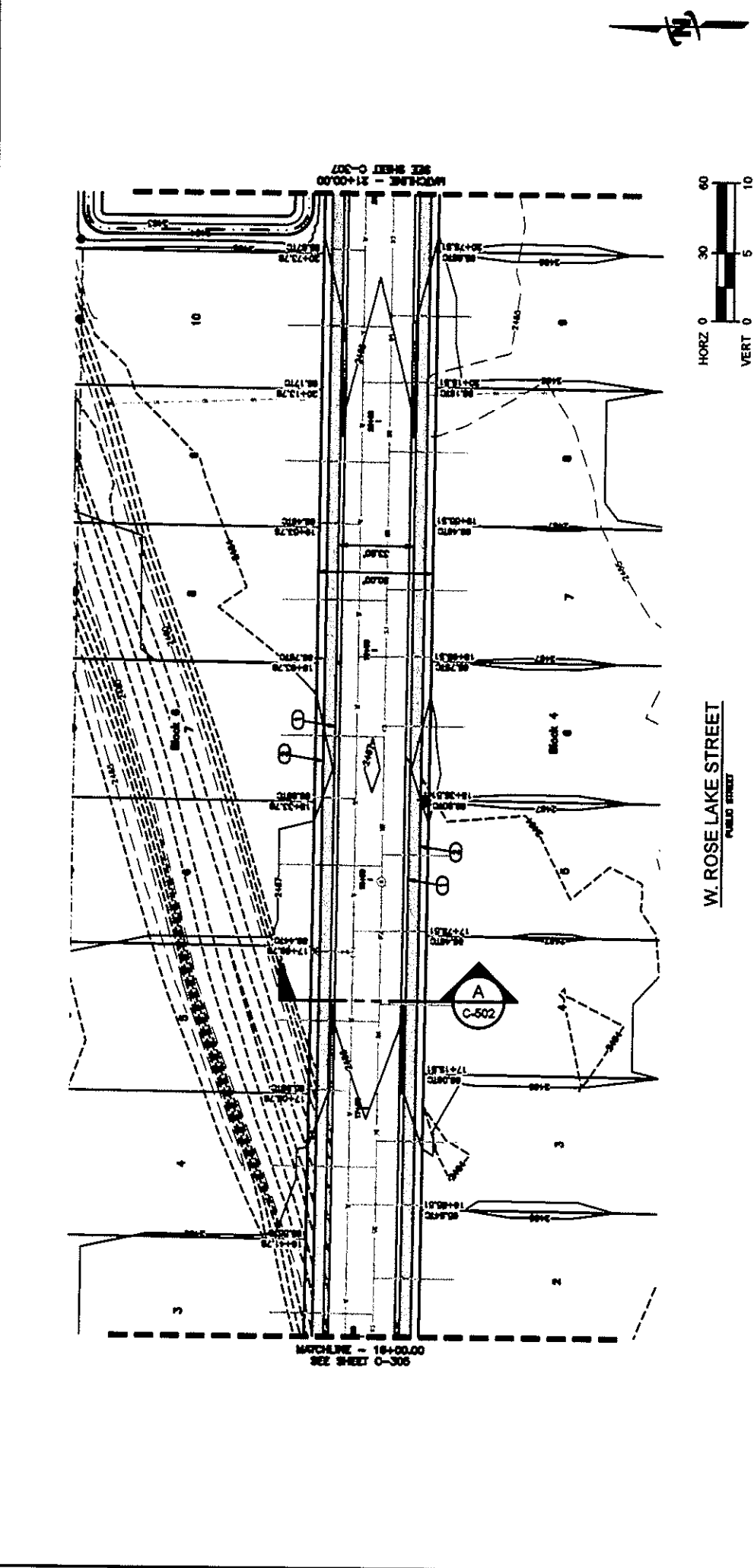


**ROADWAY NOTES**

- 1. 3" ROLLER CURB AND GUTTER PER ACHD SUPPLEMENT TO SPWC
- 2. 8" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SPWC
- 3. 30-10% 2.00' MIN. CROSS SLOPE.

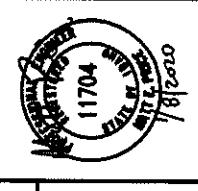
**RECORD DRAWINGS**

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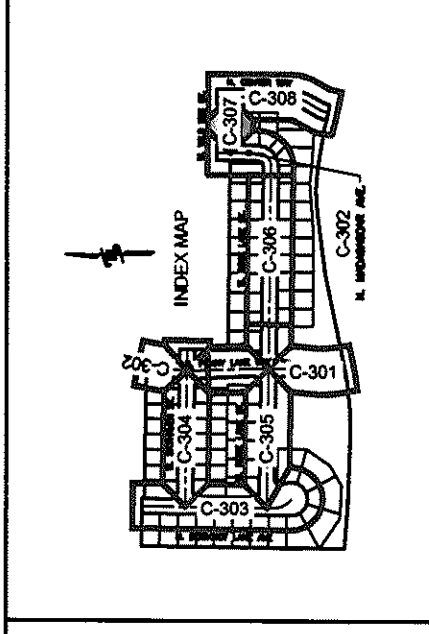
**NOTES TO CONTRACTOR**

1. ALL 300 FEET TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL ELEVATION.
2. ALL SPOT ELEVATIONS ARE MEASURED FROM BENCHMARK.
3. LOCATIONS OF ALL SPOT ELEVATIONS ARE APPROXIMATE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING ELEVATIONS AT ALL LOCATIONS OF ALL SPOT ELEVATIONS AND FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING ELEVATIONS AT ALL LOCATIONS OF ALL SPOT ELEVATIONS AND FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING ELEVATIONS AT ALL LOCATIONS OF ALL SPOT ELEVATIONS AND FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING ELEVATIONS AT ALL LOCATIONS OF ALL SPOT ELEVATIONS AND FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING ELEVATIONS AT ALL LOCATIONS OF ALL SPOT ELEVATIONS AND FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING ELEVATIONS AT ALL LOCATIONS OF ALL SPOT ELEVATIONS AND FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING ELEVATIONS AT ALL LOCATIONS OF ALL SPOT ELEVATIONS AND FOR REPORTING ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.



NO.	DATE	DESCRIPTION
1	12/20/10	DESIGN
2	01/20/11	REVISED
3	02/20/11	REVISED
4	03/20/11	REVISED
5	04/20/11	REVISED
6	05/20/11	REVISED
7	06/20/11	REVISED
8	07/20/11	REVISED
9	08/20/11	REVISED
10	09/20/11	REVISED

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO  
 STREET PLAN AND PROFILE  
 W. WILDE IRIS ST.  
 SHEET NUMBER  
**C-307**



- ROADWAY NOTES**
- 1) 3" ROLLER CURB AND GUTTER PER ACHD SUPPLEMENT TO SPWC 80-702
  - 2) 6" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SPWC 80-703, 2.0% MAX. CROSS SLOPE
  - 3) PAVED STREETS SHALL BE 12" PER ACHD SUPPLEMENTAL TO SPWC 80-712, WITH ACCEPTABLE VARIATIONS PER ACHD SUPPLEMENTAL DRAWING 80-712.
  - 4) VALLEY GUTTER PER ACHD SUPPLEMENT TO SPWC 80-708
- DRAINAGE NOTES**
- 5) STORM POND 1 @ 1:50

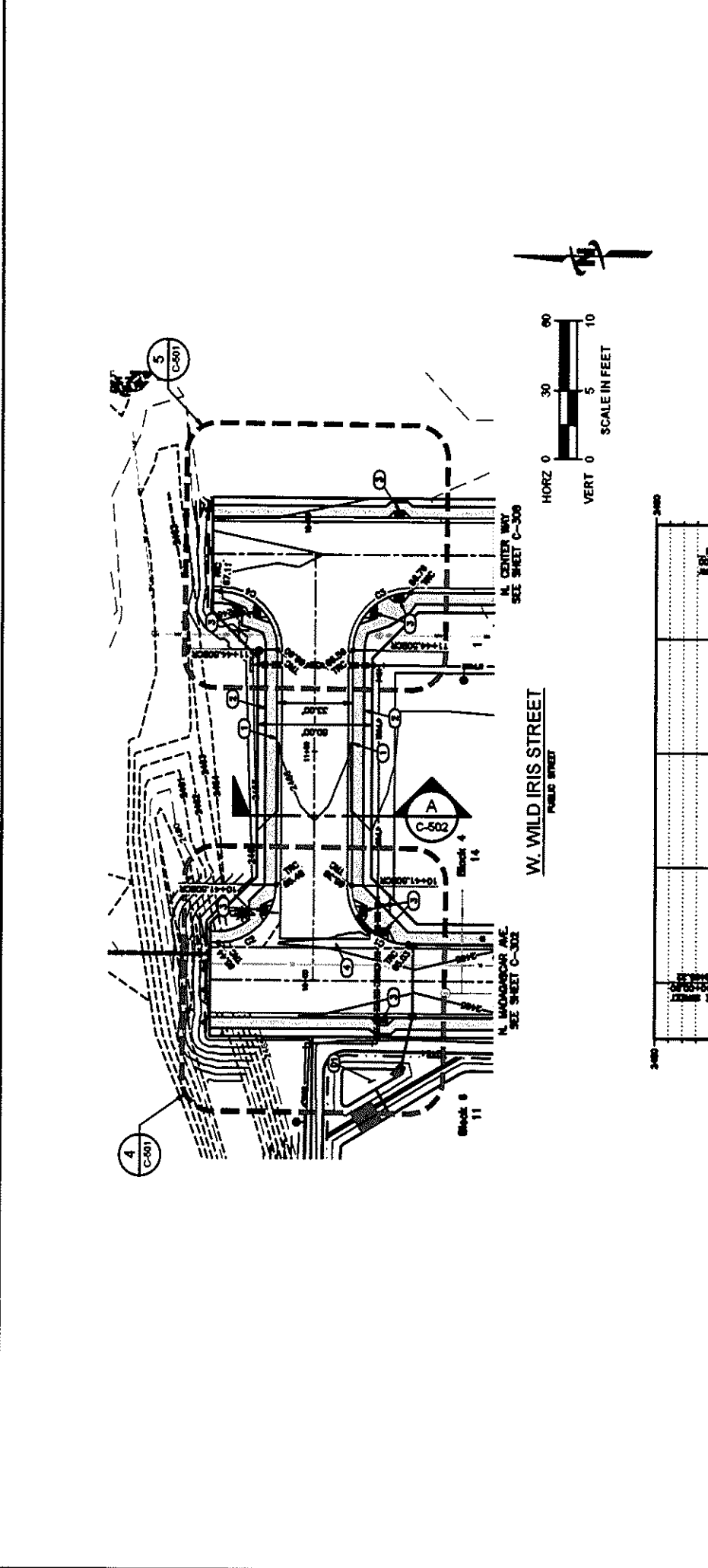
**RECORD DRAWINGS**

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OTHER RESERVED RIGHTS OF THESE DRAWINGS AND THE USER SHALL REMAIN ALL COMMON LAW STATUTORY COPYRIGHT AND PATENT RIGHTS RESERVED TO JUB ENGINEERS, INC.

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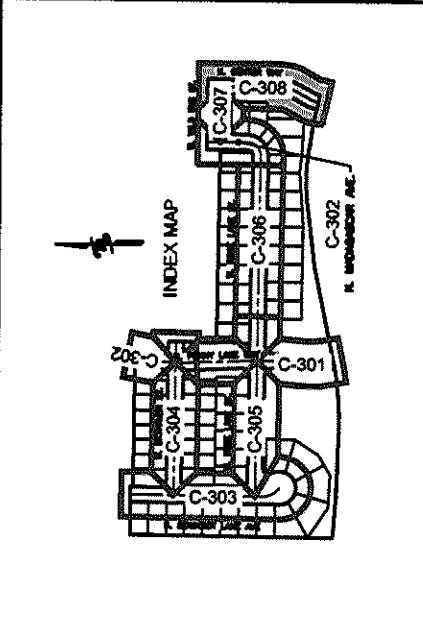
**CURVE TABLE**

CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	38.27	25.00'	25.00'	90°00'00"	S46°06'17"W	38.36'
C2	38.27	25.00'	25.00'	90°00'00"	S47°53'43"E	38.36'
C3	38.27	25.00'	25.00'	90°00'00"	N44°53'43"W	38.36'
C4	38.27	25.00'	25.00'	90°00'00"	N46°06'17"E	38.36'

**NOTES TO CONTRACTOR**

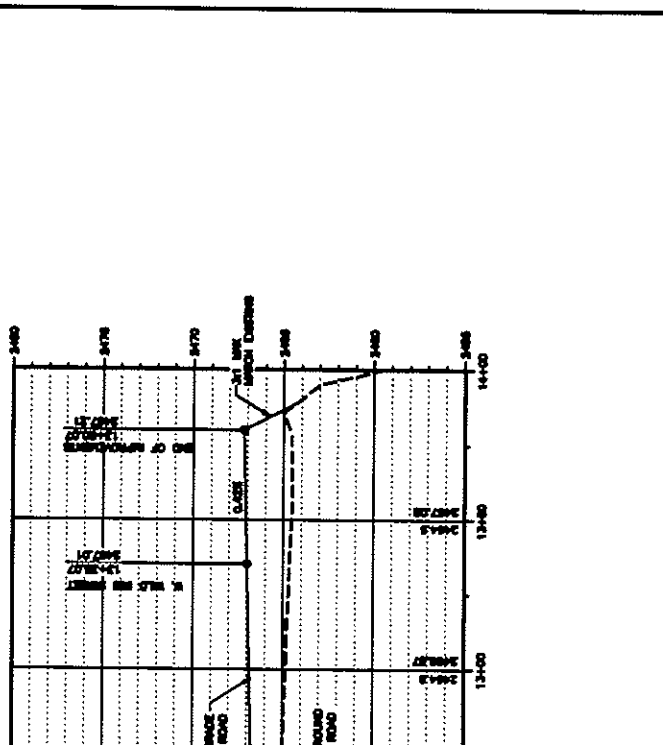
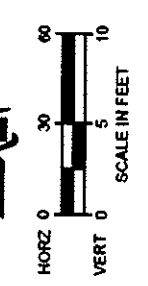
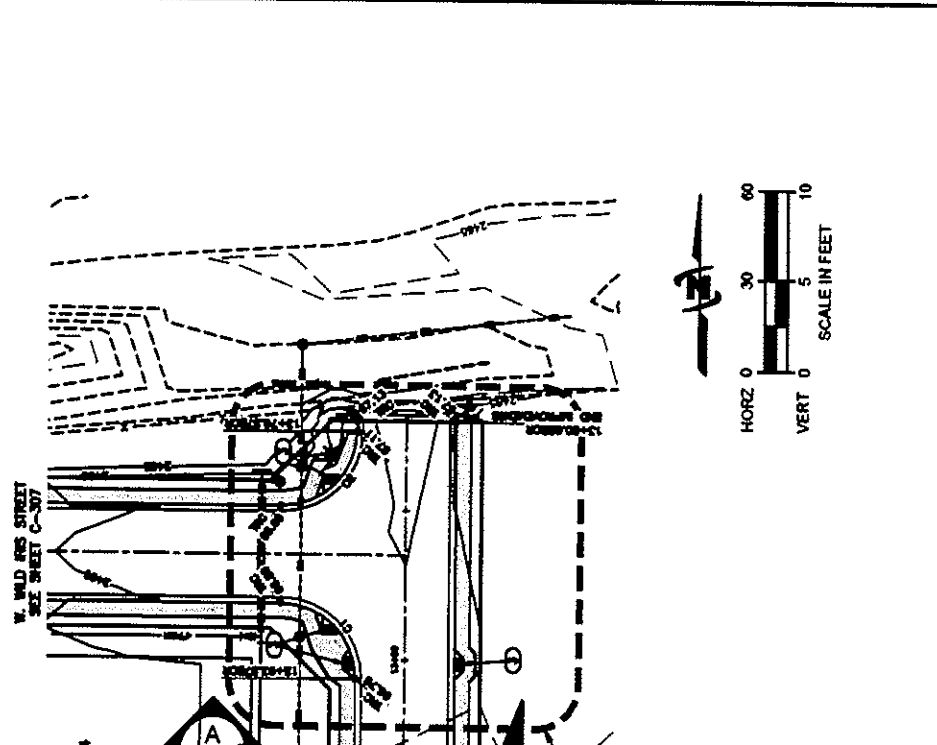
1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE HORIZONTALLY (HD) MEASURED FROM INSIDE FACE TO INSIDE FACE OF STRUCTURES.
3. ALL DIMENSIONS ARE VERTICALLY (VD) MEASURED FROM INSIDE FACE TO INSIDE FACE OF STRUCTURES.
4. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND SHALL BE FULLY RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND UTILITIES. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND LOCATIONS OF ANY DIMENSIONS. CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND LOCATIONS OF ANY DIMENSIONS. CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS.

NO.	DATE	DESCRIPTION



- ### ROADWAY NOTES
- 1. 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO SP9C SD-702
  - 2. 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO SP9C SD-701, 2.0% S&C CROSS SLOPE.
  - 3. PAVEMENT MAP TYPE 76 PER ACHD SUPPLEMENTAL TO SP9C SD-701 WITH DETECTABLE WARNINGS PER ACHD SUPPLEMENTAL DRAWING SD-712
  - 4. SLOWLY PLACED 1/2" S&C C-200 SAND PER ACHD SUPPLEMENT TO SP9C SD-301. MATCH EXISTING.
  - 5. MATCH EXISTING CURB, GUTTER, AND SIDEWALK CURB
  - 6. 5" CURB TRANSITION FROM 6" VERTICAL CURB TO 3" ROLLED CURB
- ### DRAINAGE NOTES
- 1. TYPE IV CATCH BASIN PER ACHD SUPPLEMENT TO SP9C SD-804A
  - 2. GROUNDWATER OBSERVATION WELL PER ACHD SUPPLEMENT TO SP9C SD-827
  - 3. STORM POND L
  - 4. PRE/CAST ASPHALT END SECTION WITH ROCK RIP RAP 4'x4' WITH 4" TO 8" COBBLES 1' DEEP
  - 5. 48" Ø MANHOLE PER SP9C SD-811

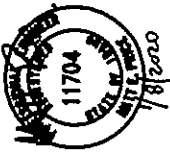
RECORD DRAWINGS  
 These record drawings have been prepared based on information submitted during the construction of the project. The engineer and architect are not responsible for the construction of the project or for any errors or omissions in the drawings. The engineer and architect are not responsible for the construction of the project or for any errors or omissions in the drawings. The engineer and architect are not responsible for the construction of the project or for any errors or omissions in the drawings.



CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	38.37'	25.00'	25.00'	90°00'00"	84°43'43"	55.38'
C2	38.37'	25.00'	25.00'	90°00'00"	84°00'17"	55.38'

**NOTES TO CONTRACTOR**  
 1. ADD 2.00 FEET TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL ELEVATION.  
 2. ELEVATIONS ARE INDICATED BY (E) DERIVED FROM BENCHMARK ELEVATION.  
 3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND VERIFY TO CONSTRUCTION OF UNDERGROUND UTILITIES AND WAREHOUSES TO BE RALLY RESPONSIBLE SHOULD DAMAGES OCCUR DUE TO A FAILURE TO LOCATE.  
 4. CONTRACTOR TO FIELD VERIFY ALL EXISTING ELEVATIONS AND BENCHMARKS TO CONSTRUCTION OF CONSTRUCTION ACTIVITIES AND VERIFY TO THIS DRAWING. ON ANY POSITION OF E, SHALL NOT BE USED ON ANY PROJECT OR EXTENSION OF PROJECT(S) EXCEPT BY AGREEMENT IN WRITING FROM THE ENGINEER.

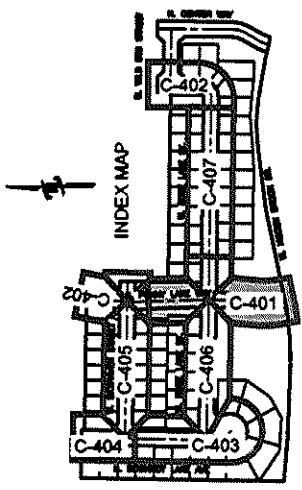
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NO.	DESCRIPTION	DATE

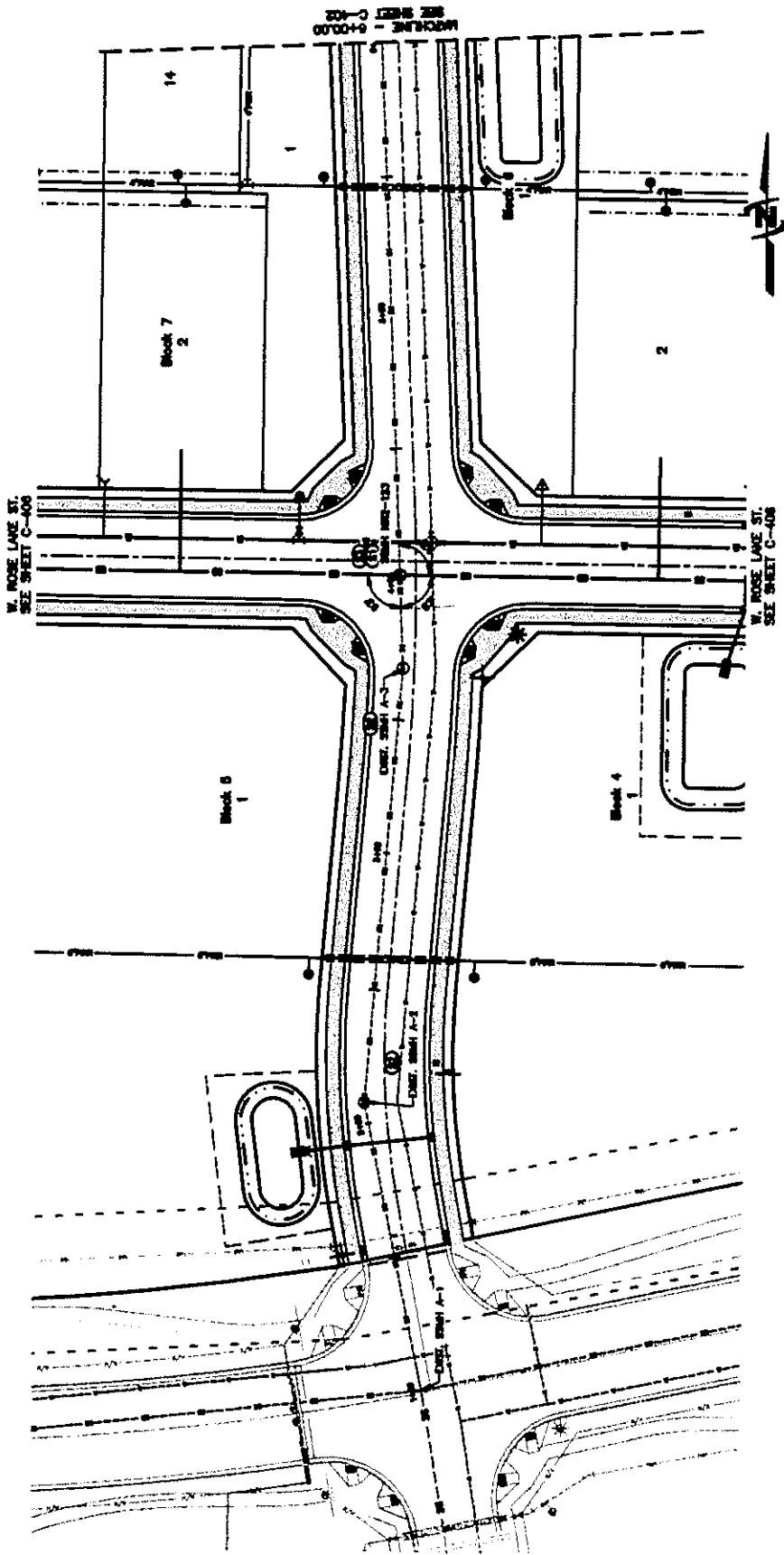
**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**  
**WATER AND SEWER PLAN AND PROFILE**  
**N. PENNY LAKE WAY**

DATE: 03-30-2021  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 PROJECT NO: C-401  
 SHEET NUMBER: C-401

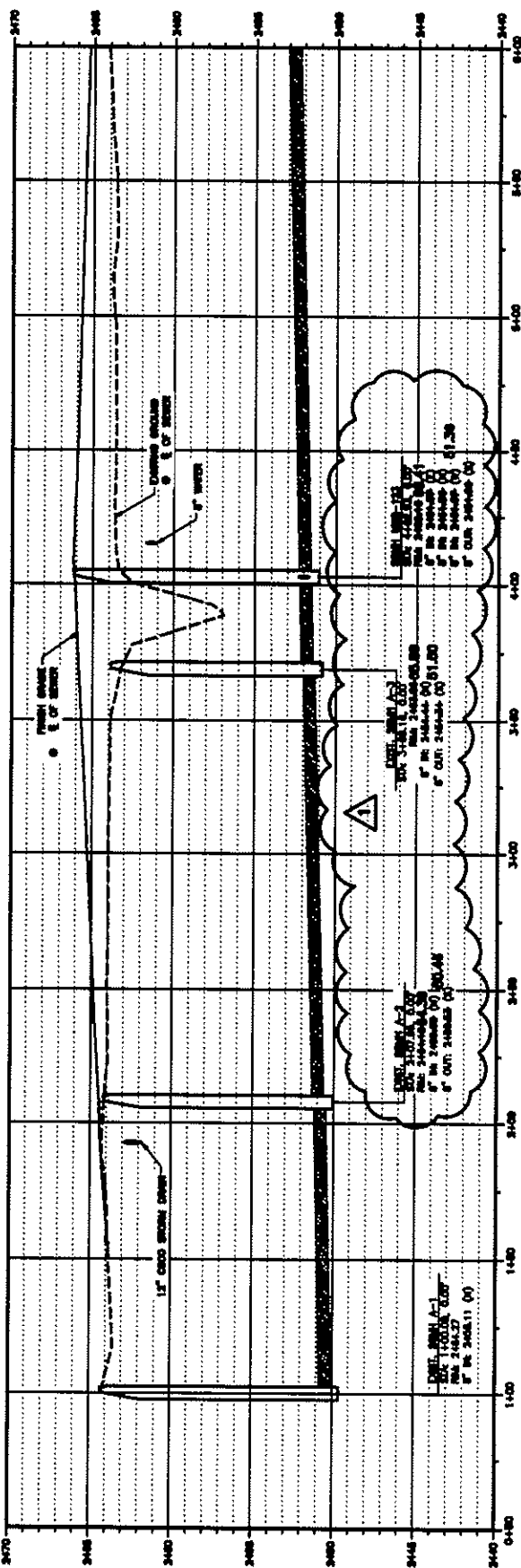
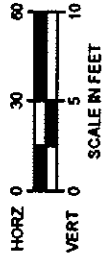


**SANITARY SEWER KEY NOTES**

- (1) 48" SEWER MANHOLE PER ISHD STD. DIV. 7.2(2)(A)
- (2) EXISTING 48" SEWER MANHOLE CONTRACTOR TO ADJUST RIM TO FINISH GRADE
- (3) CONNECT TO EXISTING SEWER MAIN, VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION, NOTIFY ENGINEER OF ANY DISCREPANCIES



**SEWER LINE A-1**  
 18" POLY LINE 100'

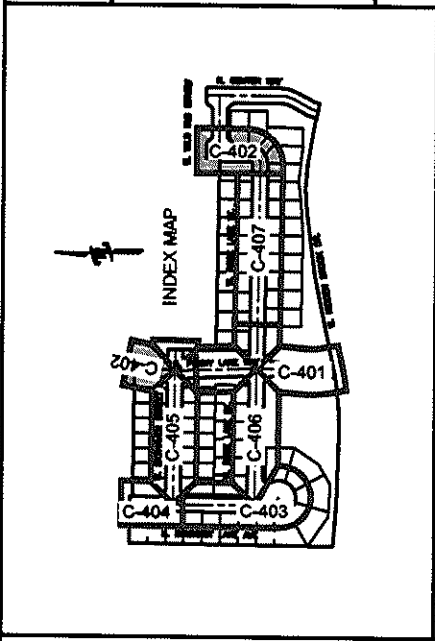


**NOTES TO CONTRACTOR**

1. ALL SPOT ELEVATIONS TO BE MEASURED FROM THE FINISHED GRADE.
2. SEWER LINES ARE HORIZONTALLY DIM MEASURED FROM THE FINISHED GRADE.
3. SEWER LINES ARE HORIZONTALLY DIM MEASURED FROM THE FINISHED GRADE.
4. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINES ARE AS SHOWN.
5. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINES ARE AS SHOWN.
6. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINES ARE AS SHOWN.
7. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINES ARE AS SHOWN.
8. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINES ARE AS SHOWN.
9. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINES ARE AS SHOWN.
10. THE CONTRACTOR SHALL VERIFY THE EXISTING SEWER LINES ARE AS SHOWN.



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/10/20
2	ISSUED FOR RECORD	08/10/20



**RECORD DRAWINGS**

**WATER KEY NOTES**

- (1) DOUBLE WATER SERVICE PER SMDW 7.00(W)
- (2) SINGLE WATER SERVICE PER SMDW 7.00(W)
- (3) POTABLE/NON-POTABLE SERVICE/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
- (4) POTABLE/NON-POTABLE MAIN/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
- (5) FIRE HYDRANT ASSEMBLY PER SMDW 7.10(W)
- (6) 45° BEND AND THRUST BLOCK PER SMDW STD. DWG. 7.00(W)
- (7) 22.5° BEND AND THRUST BLOCK PER SMDW STD. DWG. 7.00(W)
- (8) 11.25° BEND AND THRUST BLOCK PER SMDW STD. DWG. 7.00(W)
- (9) BLOWOFF ASSEMBLY (PER SMDW 7.125(W))

**SANITARY SEWER KEY NOTES**

- (1) 48" SEWER MANHOLE PER SMDW STD. DWG. 7.22(S)
- (2) EXISTING 48" SEWER MANHOLE CONTRACTOR TO ADJUST RIM TO FINISH GRADE
- (3) CONNECT TO EXISTING SEWER MAIN, VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION, NOTIFY ENGINEER OF ANY DISCREPANCIES
- (4) SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SMDW STD. DWG. 7.16(S)

**NOTICE TO CONTRACTOR**

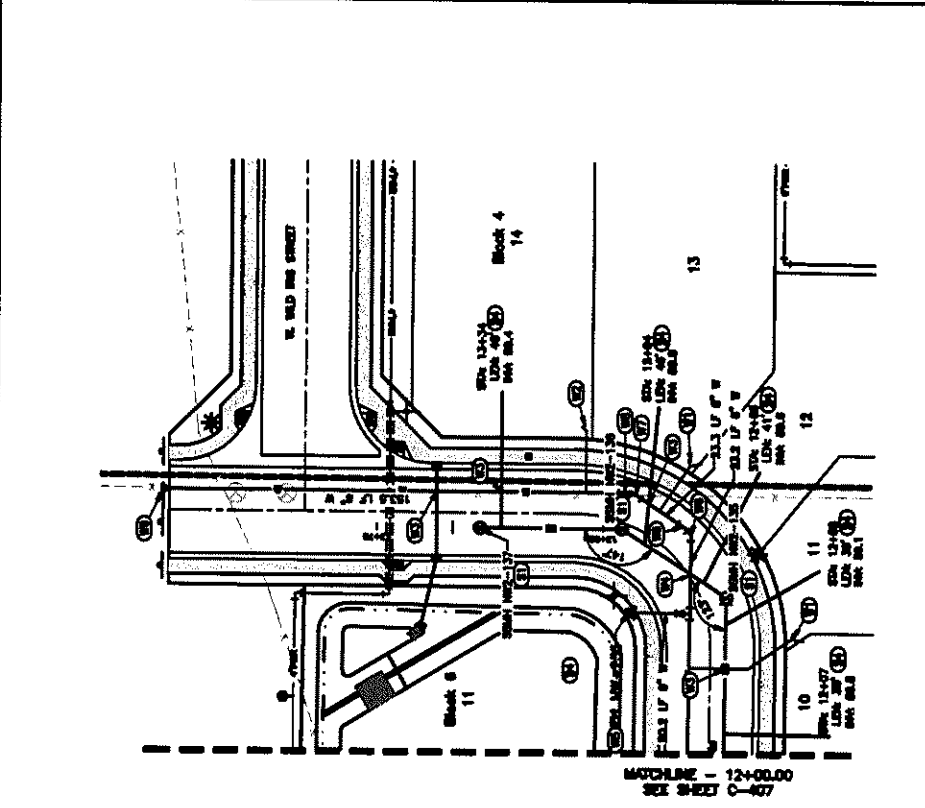
1. ALL SHOWN FEET TO ALL SHOWN DIMENSIONS TO NETWORK ACTUAL DIMENSIONS UNLESS OTHERWISE NOTED.

2. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. UNREASONABLE DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

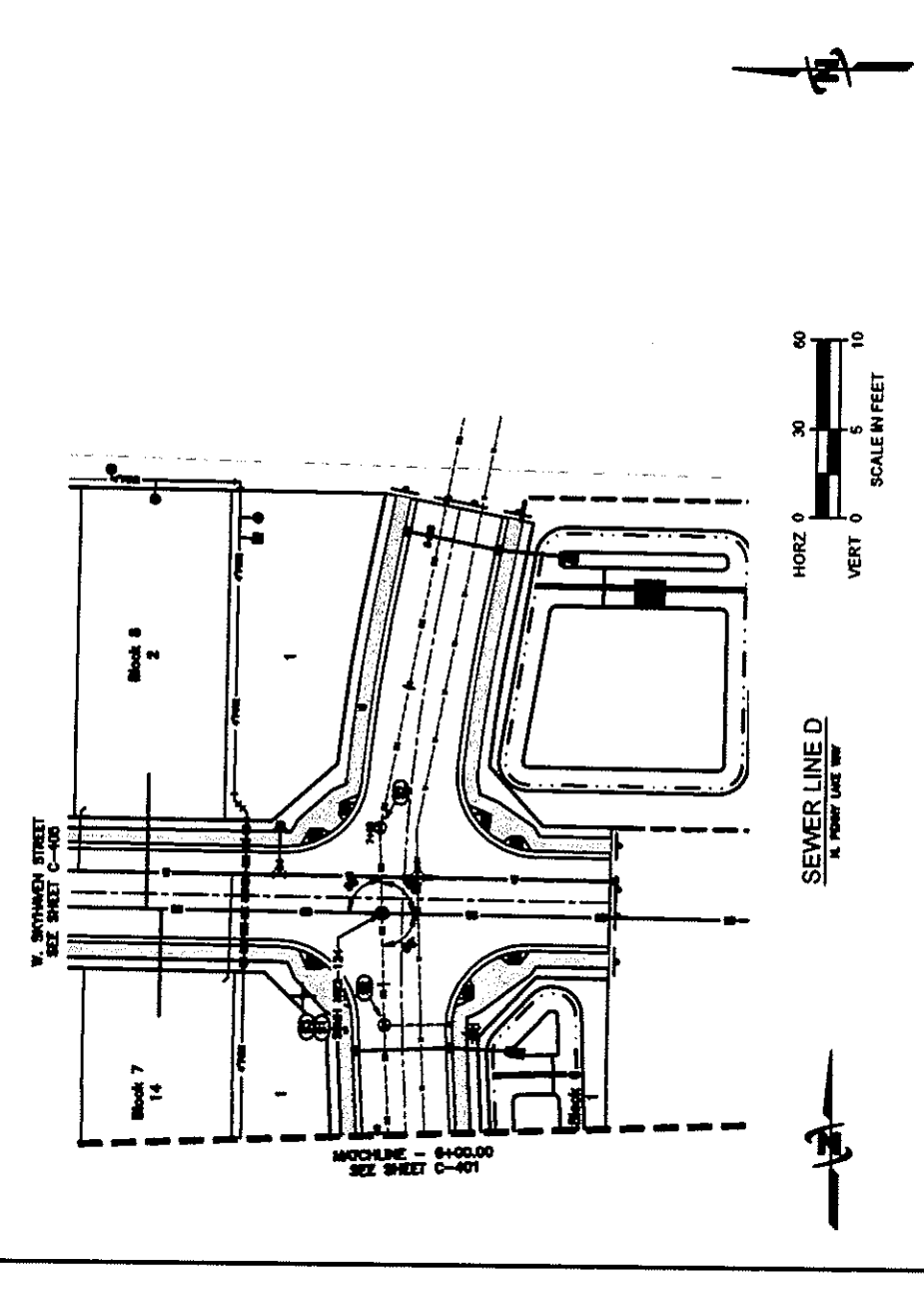
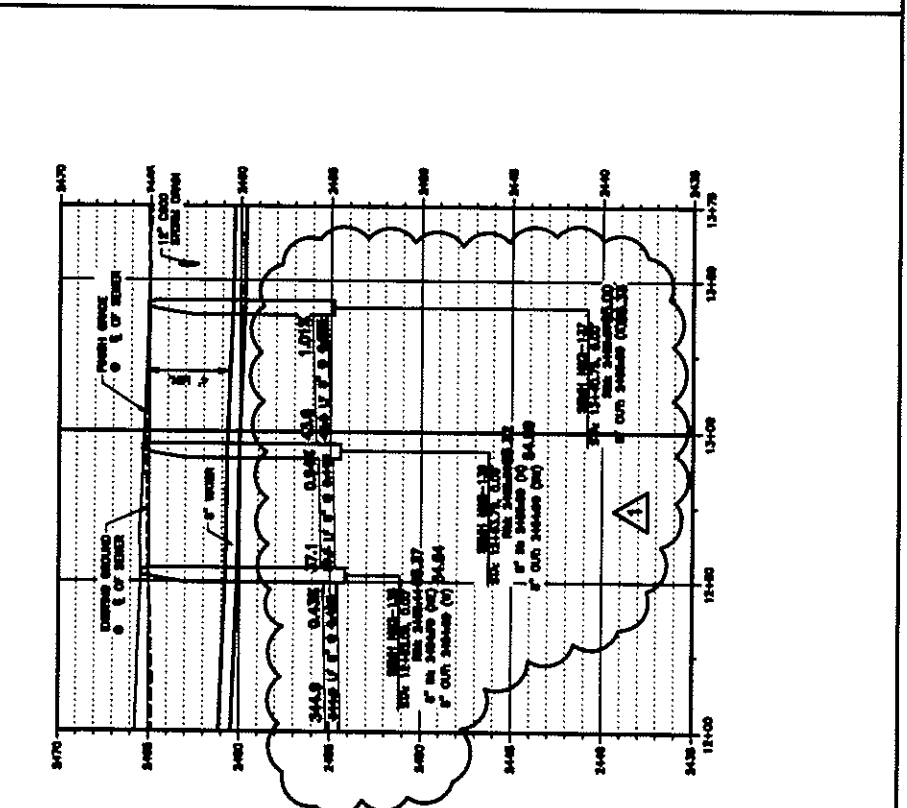
3. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. UNREASONABLE DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

4. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. UNREASONABLE DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

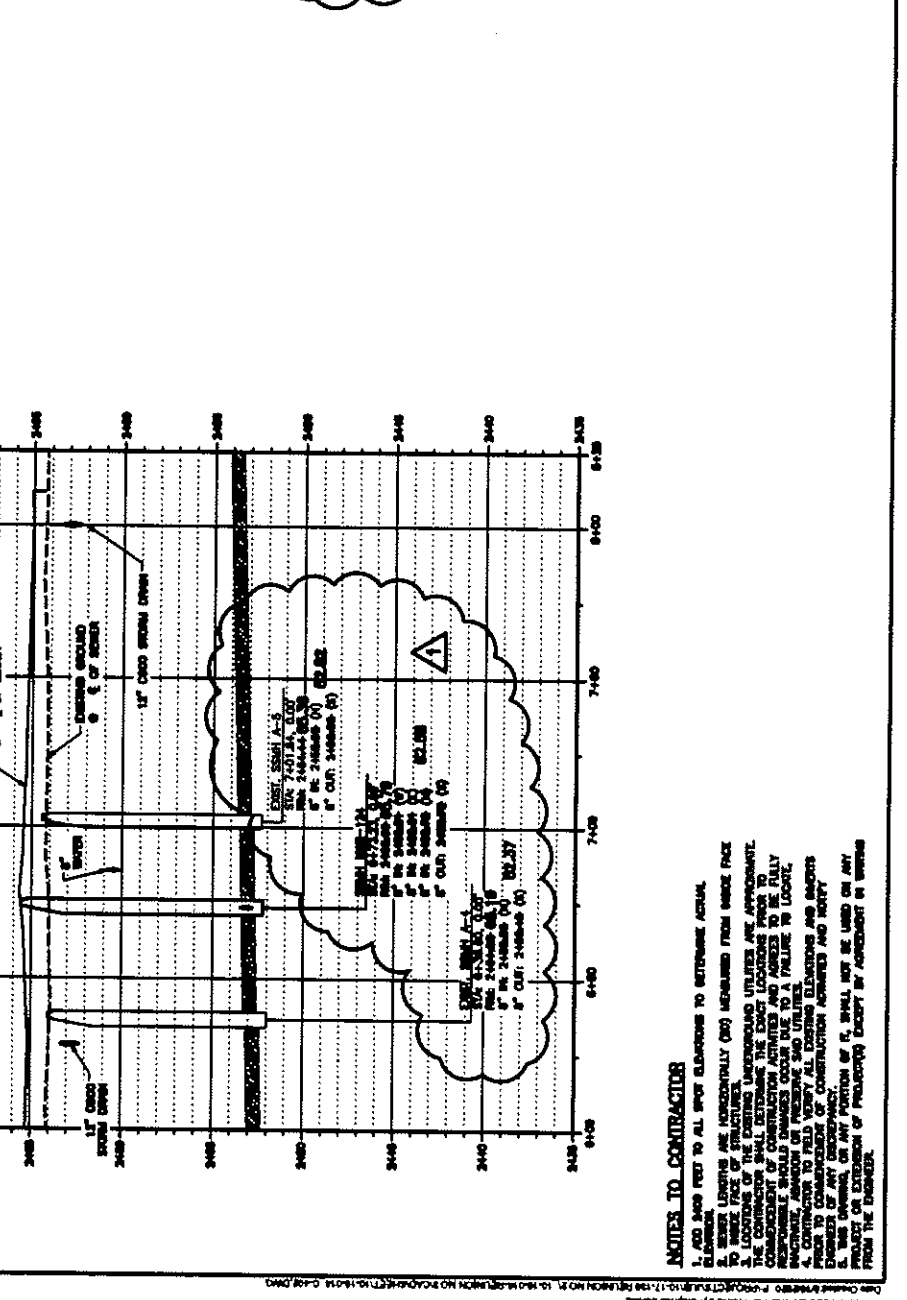
5. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. UNREASONABLE DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

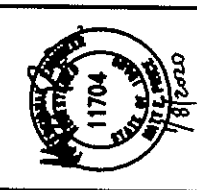


**SEWER LINE A**  
 N. MADAGASCAR AVE.



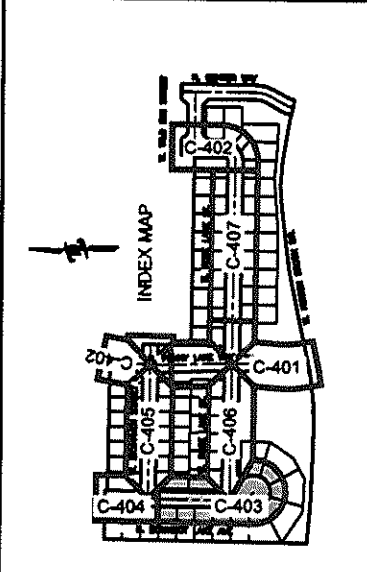
**SEWER LINE D**  
 W. SKYWAYMEN STREET





NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/18/2020
2	ISSUED FOR RECORD	11/18/2020

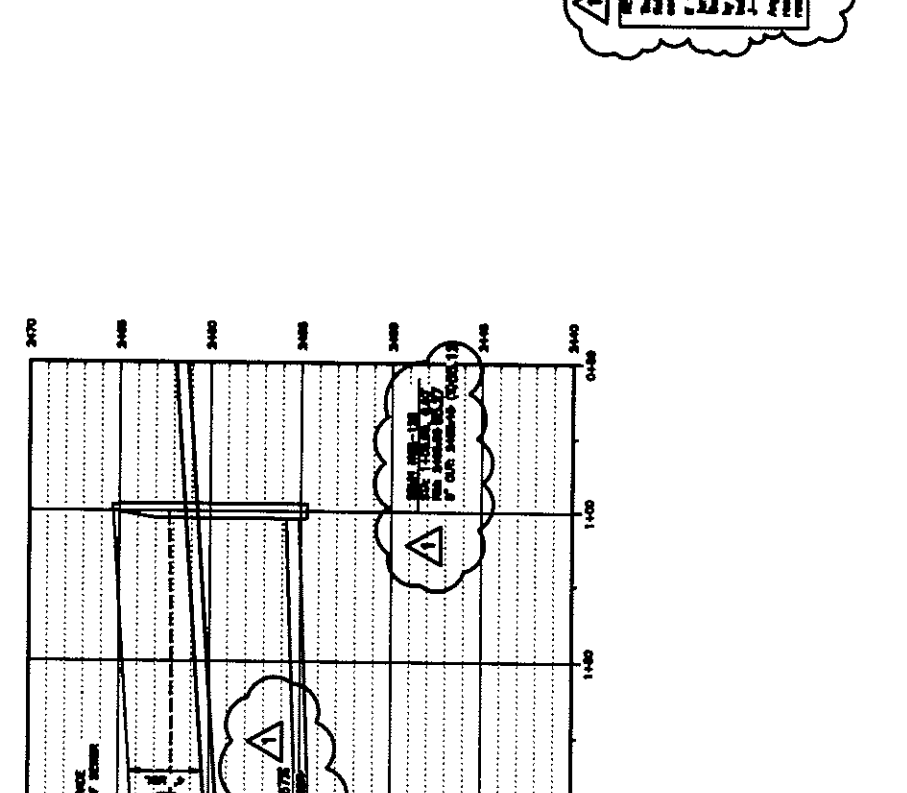
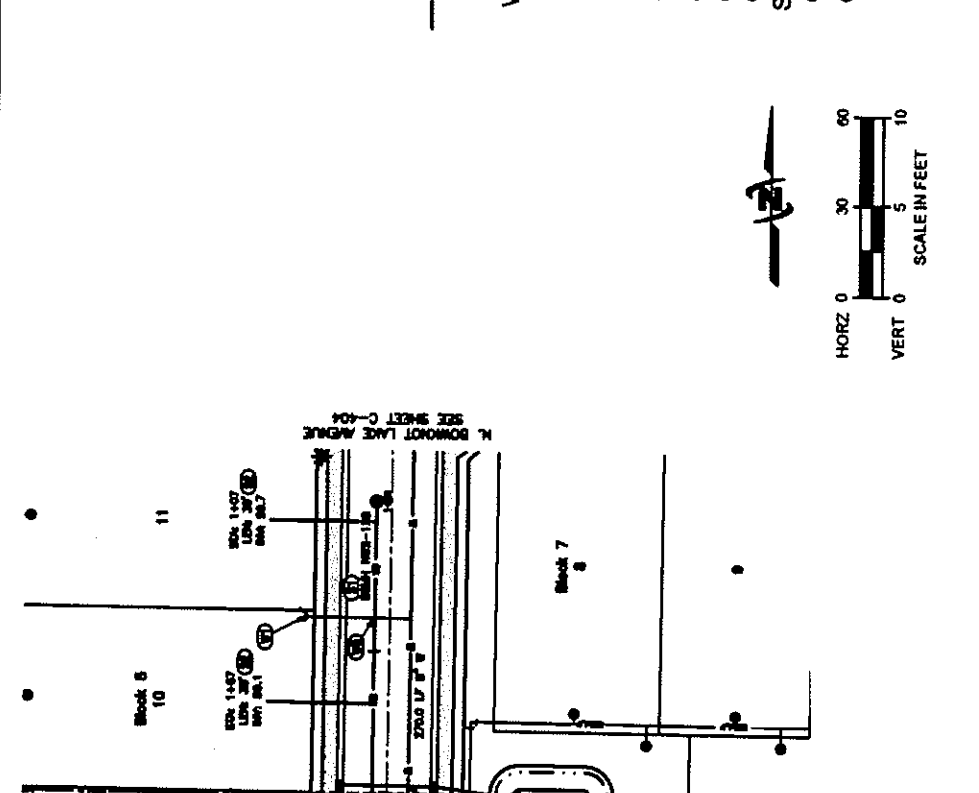
FILE: 15-13-2018 C-403  
 DESIGNED BY: JUB  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 DATE: 11/18/2020  
 SHEET NUMBER: **C-403**



- RECORD DRAWINGS**
- WATER KEY NOTES**
- (1) DOUBLE WATER SERVICE PER SOWD 7.00(W)
  - (2) SINGLE WATER SERVICE PER SOWD 7.00(W)
  - (3) INSTALL 8" BLOWOFF ASSEMBLY (PER SOWD 7.10(W))
  - (4) POTABLE/NON-POTABLE MAIN/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (5) POTABLE/NON-POTABLE SERVICE/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (6) 8" GATE VALVE WITH THRUST BLOCKING PER SOWD 30-403
  - (7) 8" TEE WITH THRUST BLOCKING PER SOWD 30-403
  - (8) 45° BEND WITH THRUST BLOCKING PER SOWD 30-403
- SANITARY SEWER KEY NOTES**
- (1) 48" SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SOWD STD. DWG. 7.22(0A)
  - (2) DWG. 7.10(0)

**NOTES TO CONTRACTOR**

1. ADD 3000 FEET TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL ELEVATIONS.
2. SPOT ELEVATIONS ARE APPROXIMATELY (AS) MEASURED FROM FINISH FLOOR TO FINISH GRADE.
3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND LOCAL AGENCIES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND LOCAL AGENCIES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND LOCAL AGENCIES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND LOCAL AGENCIES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND LOCAL AGENCIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND LOCAL AGENCIES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND LOCAL AGENCIES.



**WATER KEY NOTES**

- (1) DOUBLE WATER SERVICE PER SOWD 7.00(W)
- (2) SINGLE WATER SERVICE PER SOWD 7.00(W)
- (3) INSTALL 8" BLOWOFF ASSEMBLY (PER SOWD 7.10(W))
- (4) POTABLE/NON-POTABLE MAIN/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
- (5) POTABLE/NON-POTABLE SERVICE/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
- (6) 8" GATE VALVE WITH THRUST BLOCKING PER SOWD 30-403
- (7) 8" TEE WITH THRUST BLOCKING PER SOWD 30-403
- (8) 45° BEND WITH THRUST BLOCKING PER SOWD 30-403

**SANITARY SEWER KEY NOTES**

- (1) 48" SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SOWD STD. DWG. 7.22(0A)
- (2) DWG. 7.10(0)

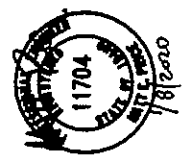
**INDEX MAP**

**SCALE IN FEET**

HORIZ 0 30 60  
 VERT 0 5 10

**REUNION SUBDIVISION NO. 3**  
 CITY OF STAR, IDAHO  
 WATER AND SEWER PLAN AND PROFILE  
 N. BOWKNOT LAKE AVENUE

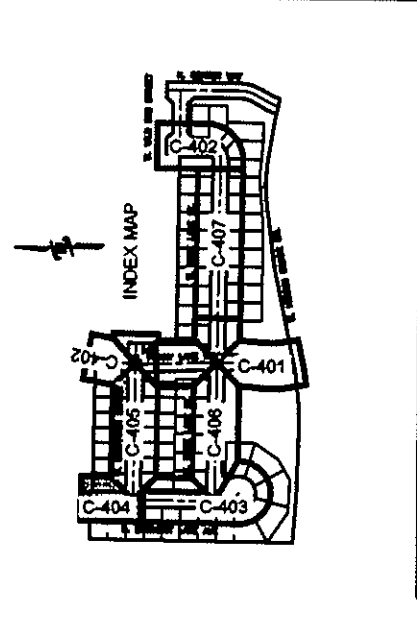
FILE: 15-13-2018 C-403  
 DESIGNED BY: JUB  
 DRAWN BY: JUB  
 CHECKED BY: JUB  
 DATE: 11/18/2020  
 SHEET NUMBER: **C-403**



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	07/22/18
2	ISSUED FOR RECORD	07/22/18

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO  
 WATER AND SEWER PLAN AND PROFILE  
 N. BOWNOT LAKE AVENUE

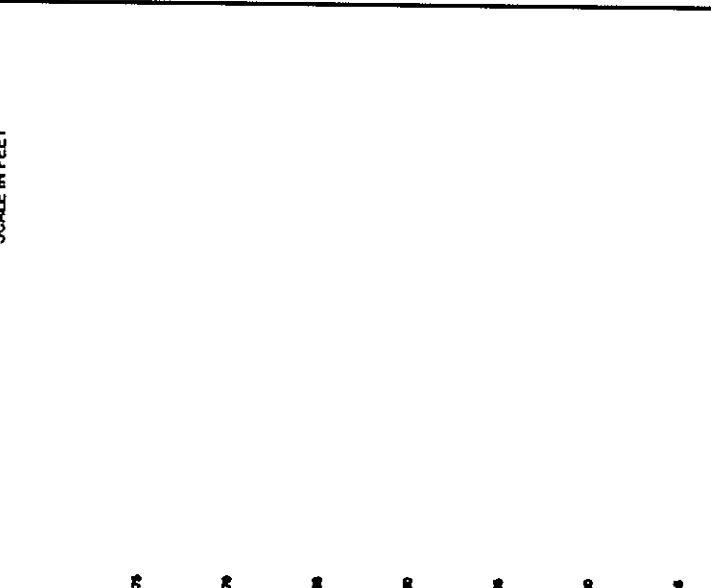
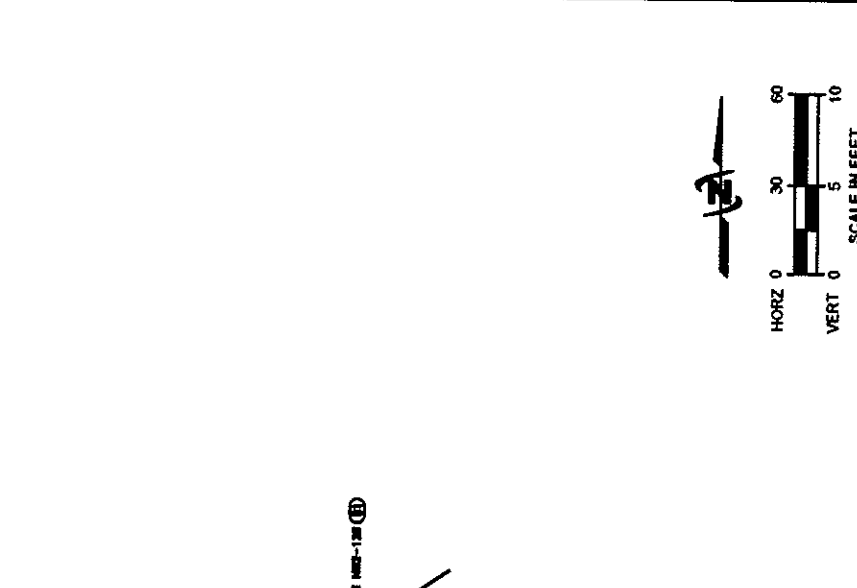
FILE: 18-03-01 C-04  
 CONTRACT NO. 18-03-01  
 SHEET NO. 3  
 SHEET NUMBER: **C-404**



- RECORD DRAWINGS**
- WATER KEY NOTES**
- (1) DOUBLE WATER SERVICE PER SSWD 7.00(W)
  - (2) SINGLE WATER SERVICE PER SSWD 7.00(W)
  - (3) INSTALL 2" BLOWOFF ASSEMBLY (PER SSWD 7.10(W))
  - (4) POTABLE/NON-POTABLE MANH/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (5) POTABLE/NON-POTABLE SERVICE/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (6) 8" GATE VALVE WITH THRUST BLOCKING PER ISWPC SD-403
  - (7) 8" TEE WITH THRUST BLOCKING PER ISWPC SD-403
  - (8) 45° BEND WITH THRUST BLOCKING PER ISWPC SD-403
- SANITARY SEWER KEY NOTES**
- (1) 48" SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SSWD STD. DWG. 7.20(S)
  - (2) SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SSWD STD. DWG. 7.10(S)

**RECORD DRAWINGS**

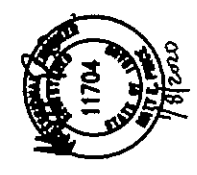
This drawing has been prepared based on information provided by the applicant and is not to be used for construction. The engineer is not responsible for the accuracy of the information provided. The engineer is not responsible for the accuracy of the information provided. The engineer is not responsible for the accuracy of the information provided.



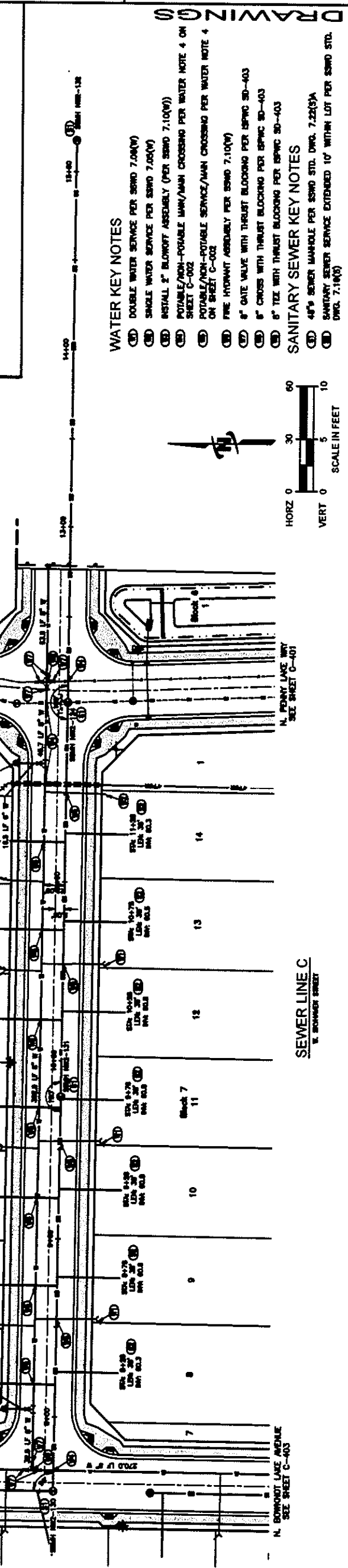
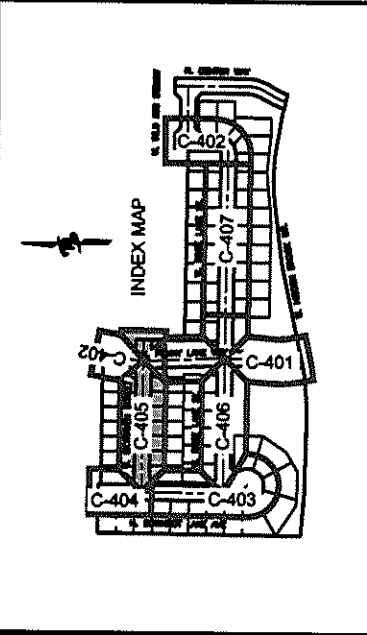
**NOTES TO CONTRACTOR**

1. ALL 3600 FEET TO ALL SPOT ELEVATIONS TO BE MEASURED AS FOLLOWS:
2. ALL SPOT ELEVATIONS ARE TO BE MEASURED FROM THE FACE OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE.
3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND LOCATIONS OF THE EXISTING UTILITIES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND LOCATIONS OF THE EXISTING UTILITIES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND LOCATIONS OF THE EXISTING UTILITIES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND LOCATIONS OF THE EXISTING UTILITIES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND LOCATIONS OF THE EXISTING UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND LOCATIONS OF THE EXISTING UTILITIES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND LOCATIONS OF THE EXISTING UTILITIES.

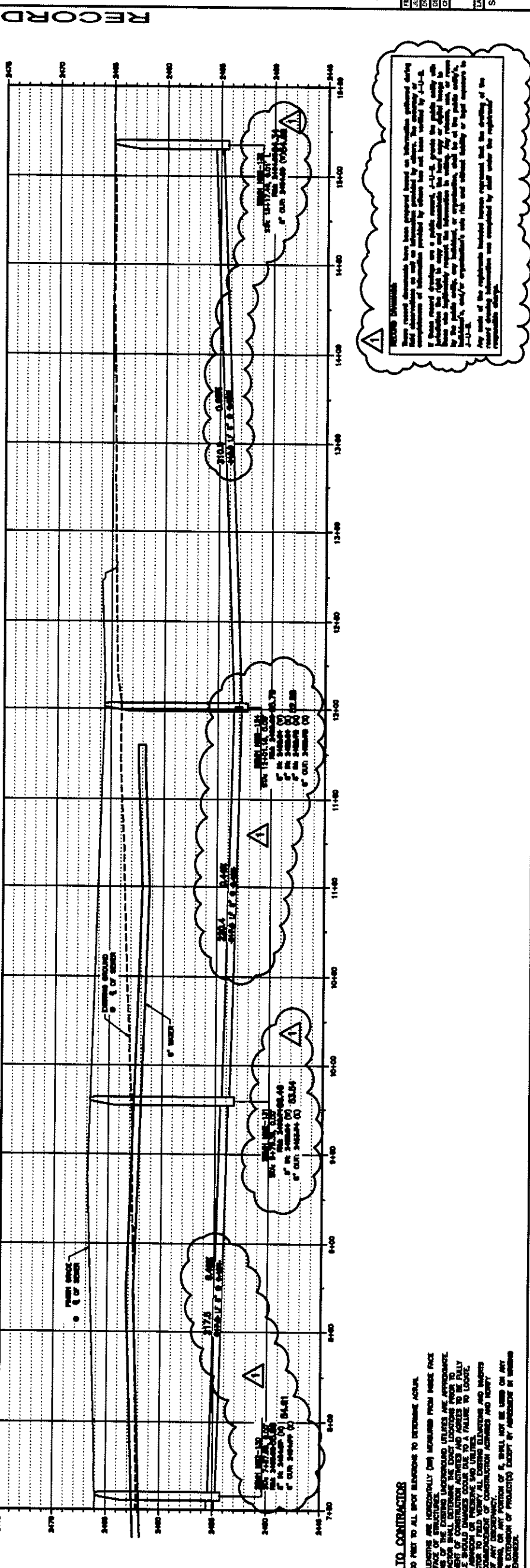
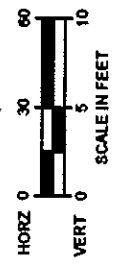




NO.	DESCRIPTION	DATE



- WATER KEY NOTES**
- (1) DOUBLE WATER SERVICE PER SMD 7.04(N)
  - (2) SINGLE WATER SERVICE PER SMD 7.02(N)
  - (3) INSTALL 2" BLOWOFF ASSEMBLY (PER SMD 7.10(N))
  - (4) POTABLE/NON-POTABLE MAN/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (5) POTABLE/NON-POTABLE SERVICE/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (6) FIRE HYDRANT ASSEMBLY PER SMD 7.10(N)
  - (7) 8" GATE VALVE WITH THRUST BLOCKING PER SMD 3D-403
  - (8) 8" CROSS WITH THRUST BLOCKING PER SMD 3D-403
  - (9) 8" TEE WITH THRUST BLOCKING PER SMD 3D-403
- SANITARY SEWER KEY NOTES**
- (10) 48" S sanitary manhole per SMD STD. DWG. 7.22(S)A
  - (11) SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SMD STD. DWG. 7.14(N)



**NOTES TO CONTRACTOR**

1. AND SHOWN TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL GRADE.

2. SEWER LINES ARE HORIZONTALLY (OH) MEASURED FROM THE FACE OF THE STRUCTURE.

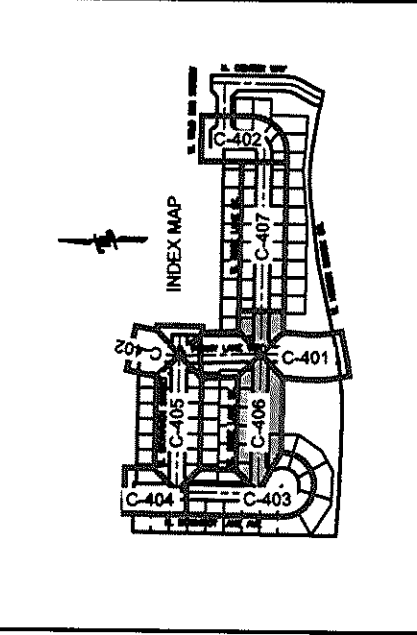
3. THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES ARE APPROXIMATELY THE SAME AS SHOWN ON THIS PLAN AND SHALL BE RESPONSIBLE FOR THE FULLY COMPLETION OF CONSTRUCTION ACTIVITIES AND AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

4. CONTRACTOR TO FIELD VERIFY ALL EXISTING ELEVATIONS AND LOCATIONS OF ALL UTILITIES AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY UPON DISCOVERY.

5. THIS DRAWING, OR ANY PORTION OF IT, SHALL NOT BE USED ON ANY PROJECT OR EXTENSION OF PROJECT(S) EXCEPT BY AUTHORITY OF THE ENGINEER.



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/20/00
2	ISSUED FOR CONSTRUCTION	11/20/00
3	ISSUED FOR RECORD	11/20/00



**RECORD DRAWINGS**

**WATER KEY NOTES**

- (1) DOUBLE WATER SERVICE PER SMD 7.08(N)
- (2) POTABLE/NON-POTABLE MAIN/MAN CROSSING PER WATER NOTE 4 ON SHEET C-002
- (3) POTABLE/NON-POTABLE SERVICE/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
- (4) FIRE HYDRANT ASSEMBLY PER SMD 7.10(N)
- (5) 8" GATE VALVE WITH THRUST BLOCKING PER ISPIC 80-403
- (6) 8" TEE WITH THRUST BLOCKING PER ISPIC 80-403
- (7) 8" CROSS WITH THRUST BLOCKING PER ISPIC 80-403
- (8) INSTALL ECLIPSE 888-SS STAINLESS STEEL SAMPLING STATION

**SANITARY SEWER KEY NOTES**

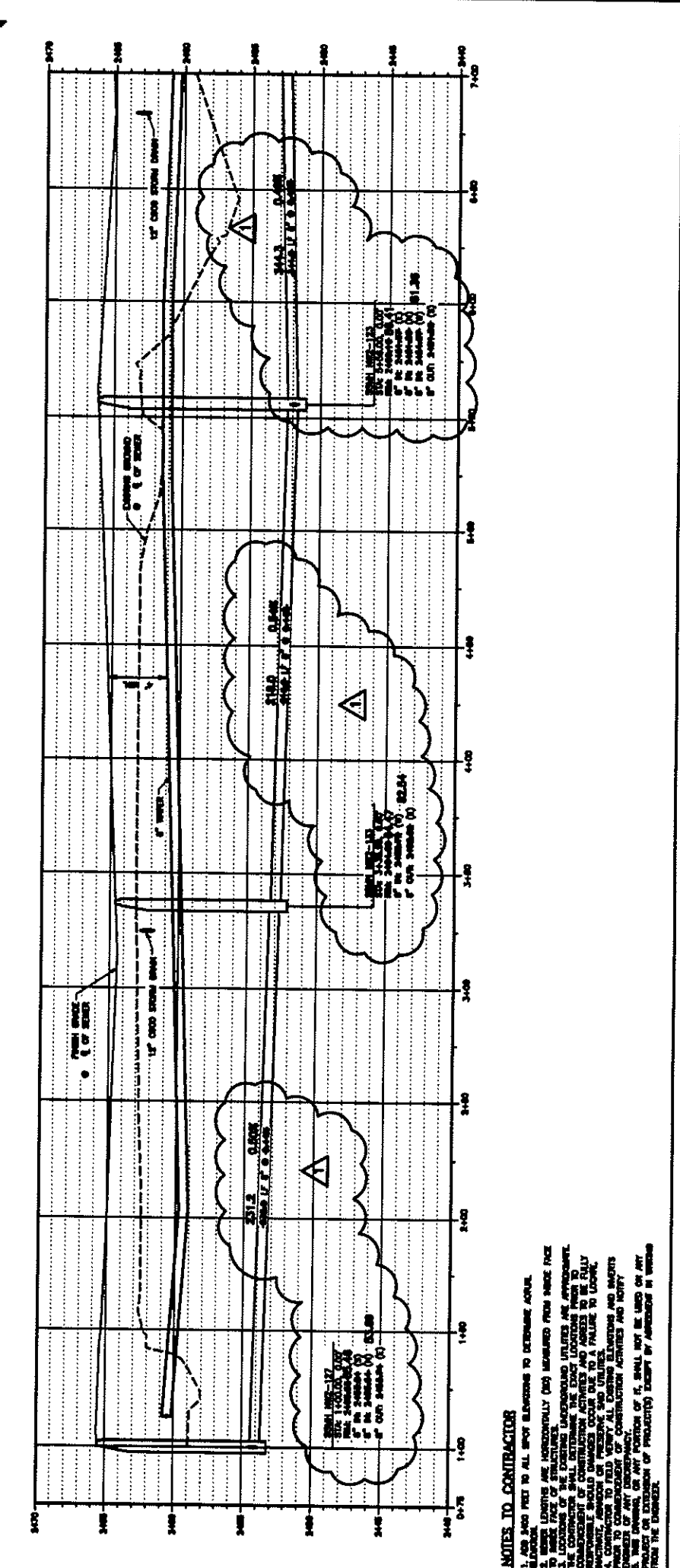
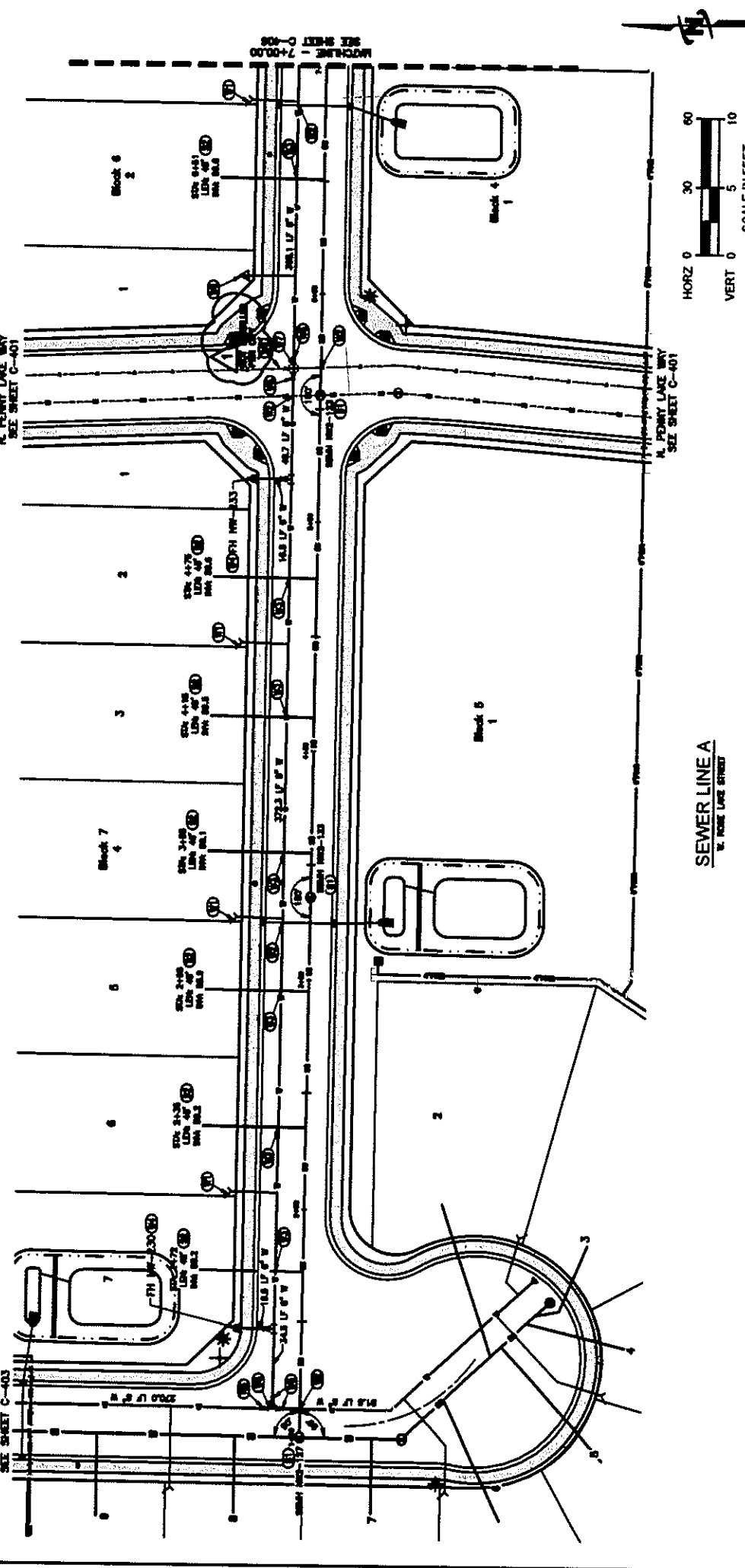
- (9) 48" SANITARY MANHOLE PER SMD STD. DWG. 7.22(S)A
- (10) SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SMD STD. DWG. 7.14(S)

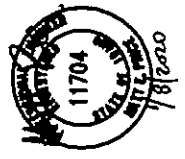
**NOTES TO CONTRACTOR**

1. ALL SPOT ELEVATIONS TO DECREASE ACTUAL ELEVATION.

2. SPOT ELEVATIONS ARE MEASURED FROM FINISH FACE OF CURB.

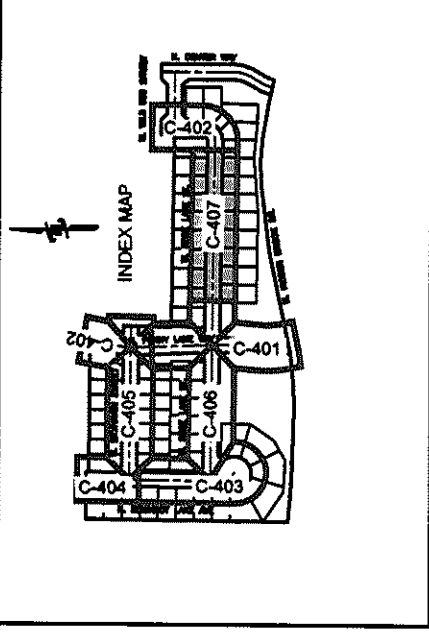
3. LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE FULLY EXPOSED AND MARKED PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE FULLY EXPOSED AND MARKED PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE FULLY EXPOSED AND MARKED PRIOR TO CONSTRUCTION.





NO.	REVISION	DATE

**C-407**  
 SHEET NUMBER:  
 LAST UPDATED: 9/22/2018



**RECORD DRAWINGS**

**WATER KEY NOTES**

- (1) DOUBLE WATER SERVICE PER SMD 7.08(N)
- (2) POTABLE/NON-POTABLE SERVICE/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-402
- (3) FINE HYDRANT ASSEMBLY PER SMD 7.10(W)

**SANITARY SEWER KEY NOTES**

- (1) 48" SDR 35 PIPE PER SMD STD. DWG. 7.22(D)
- (2) SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SMD STD. DWG. 7.10(S)

**NOTES TO CONTRACTOR**

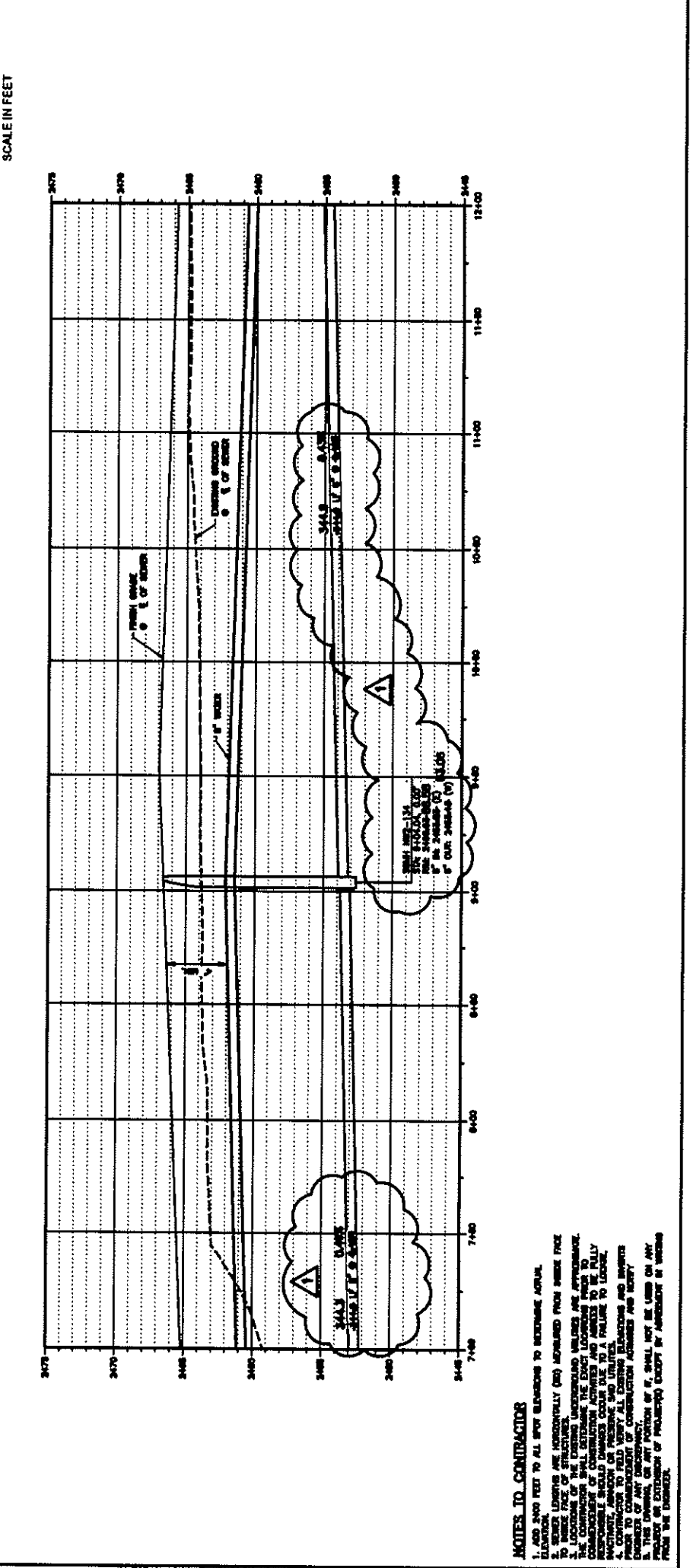
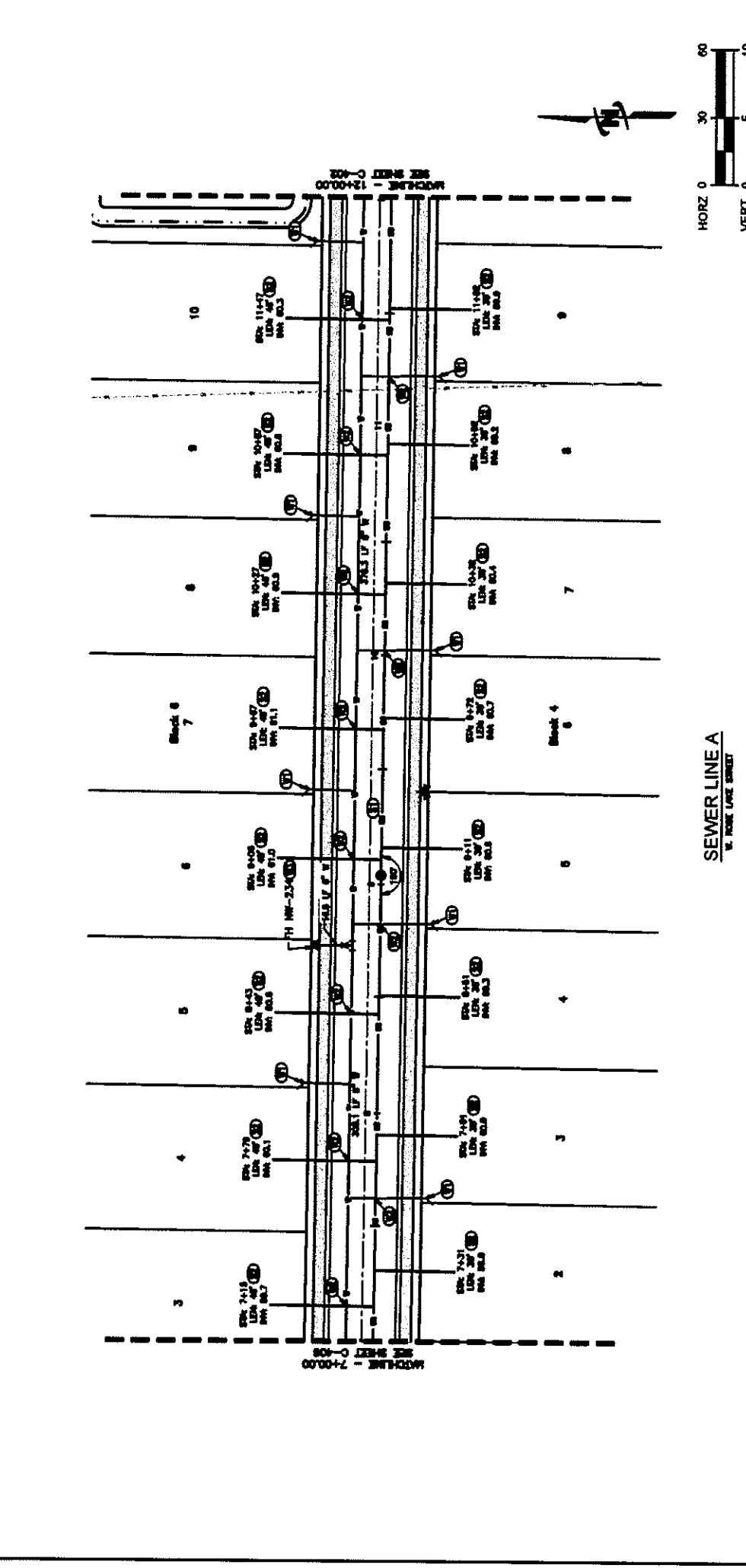
1. ALL DIMENSIONS ARE HORIZONTALLY (2D) UNLESS OTHERWISE NOTED.

2. SEWER LINES ARE HORIZONTALLY (2D) UNLESS OTHERWISE NOTED.

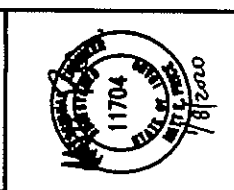
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF STAR, IDAHO, CONSTRUCTION STANDARDS AND SPECIFICATIONS.

4. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND REPORT TO THE ENGINEER.

5. THE ENGINEER, OR ANY PORTION OF IT, SHALL NOT BE USED ON ANY PROJECT OR EXTENSION OF PROJECTS EXCEPT BY AGREEMENT OF THE ENGINEER.



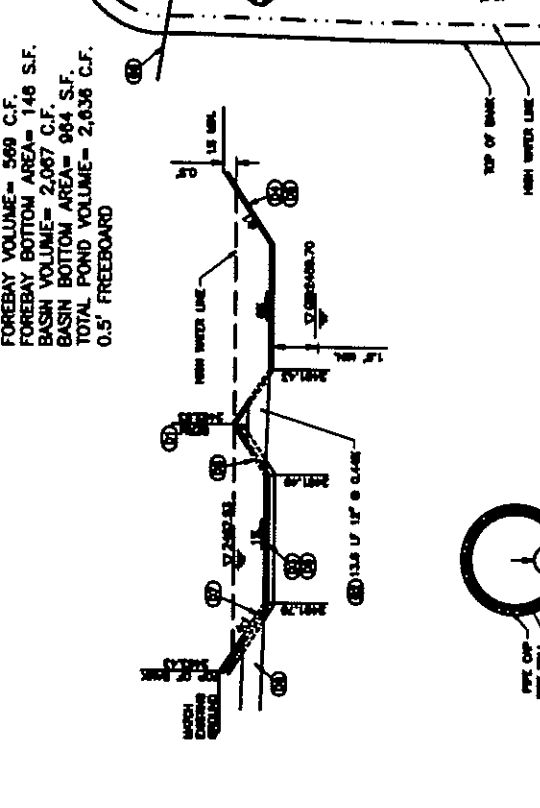
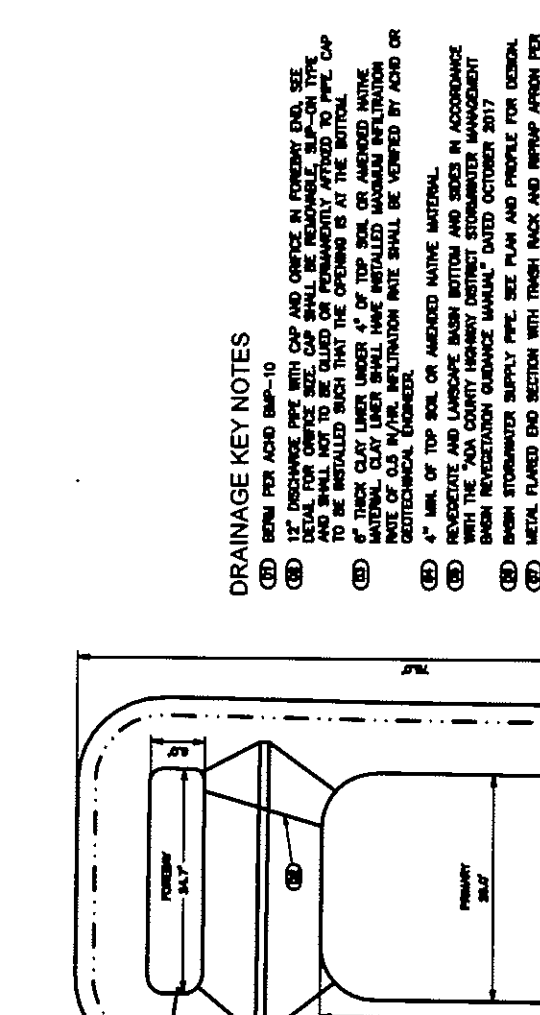
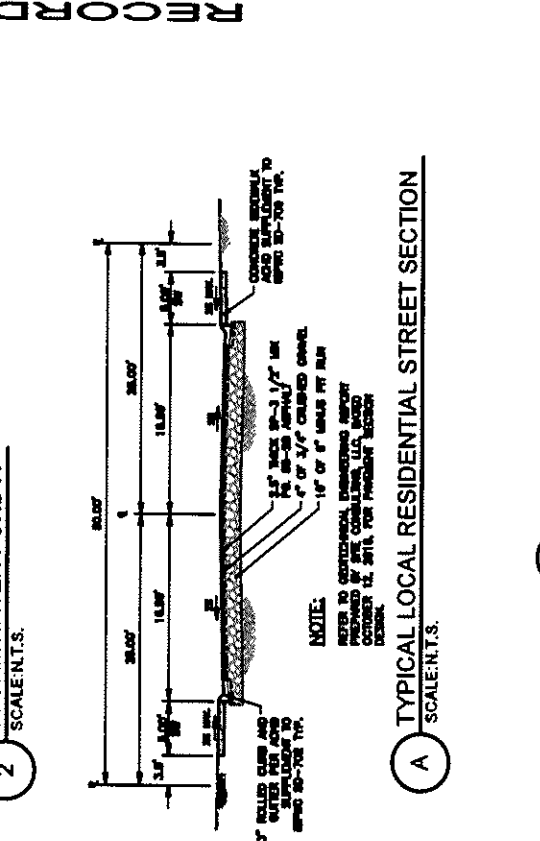
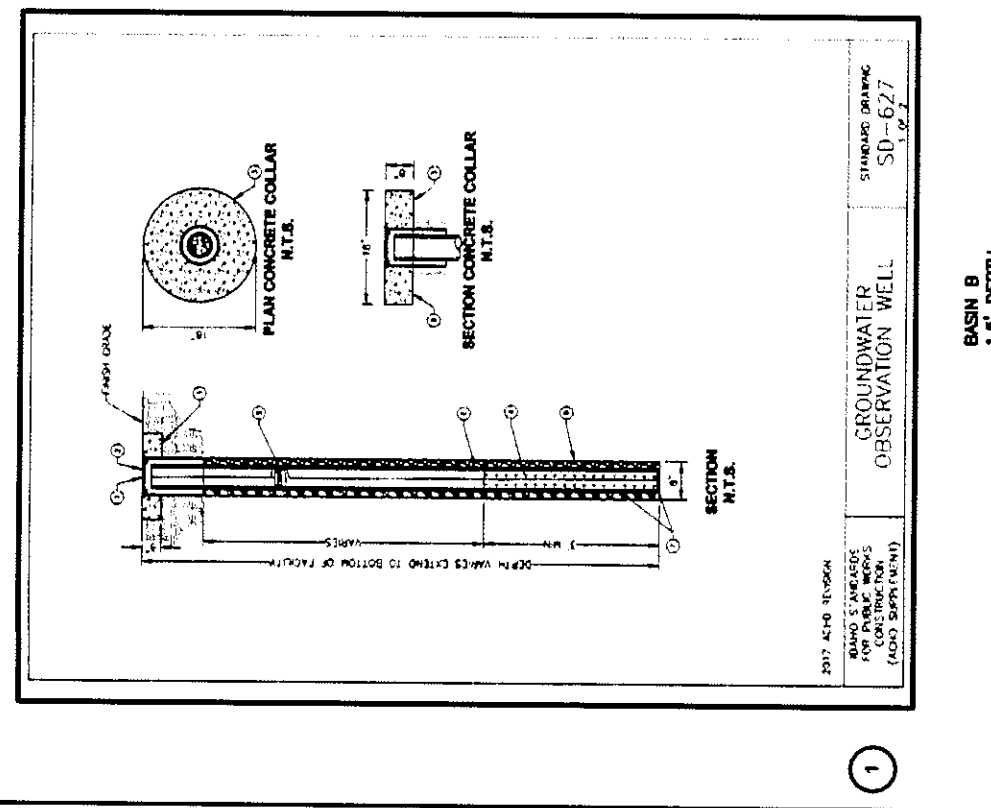
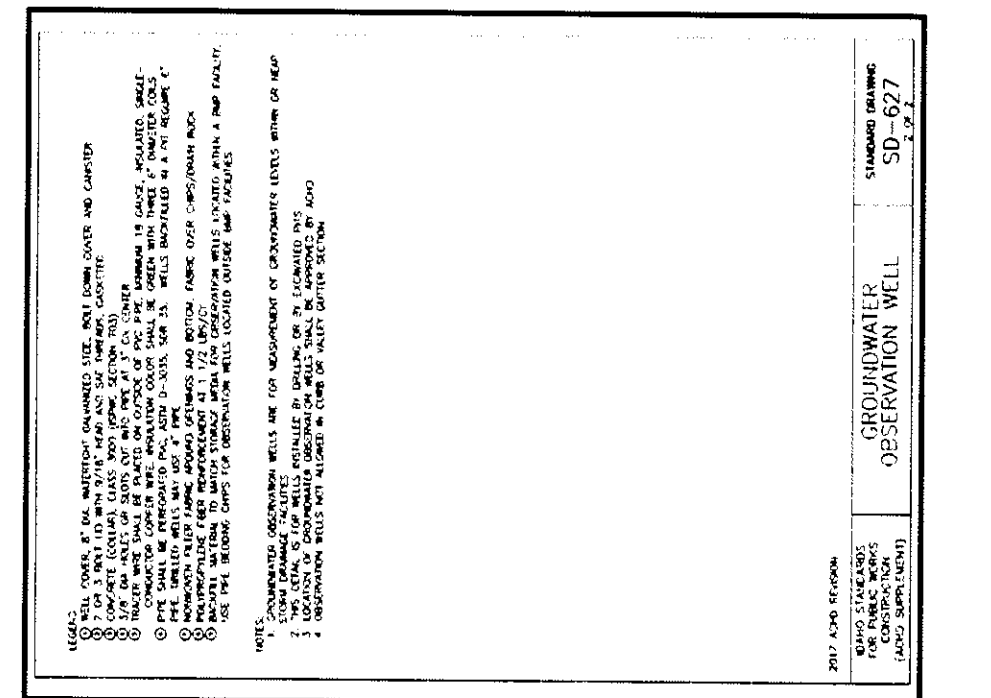
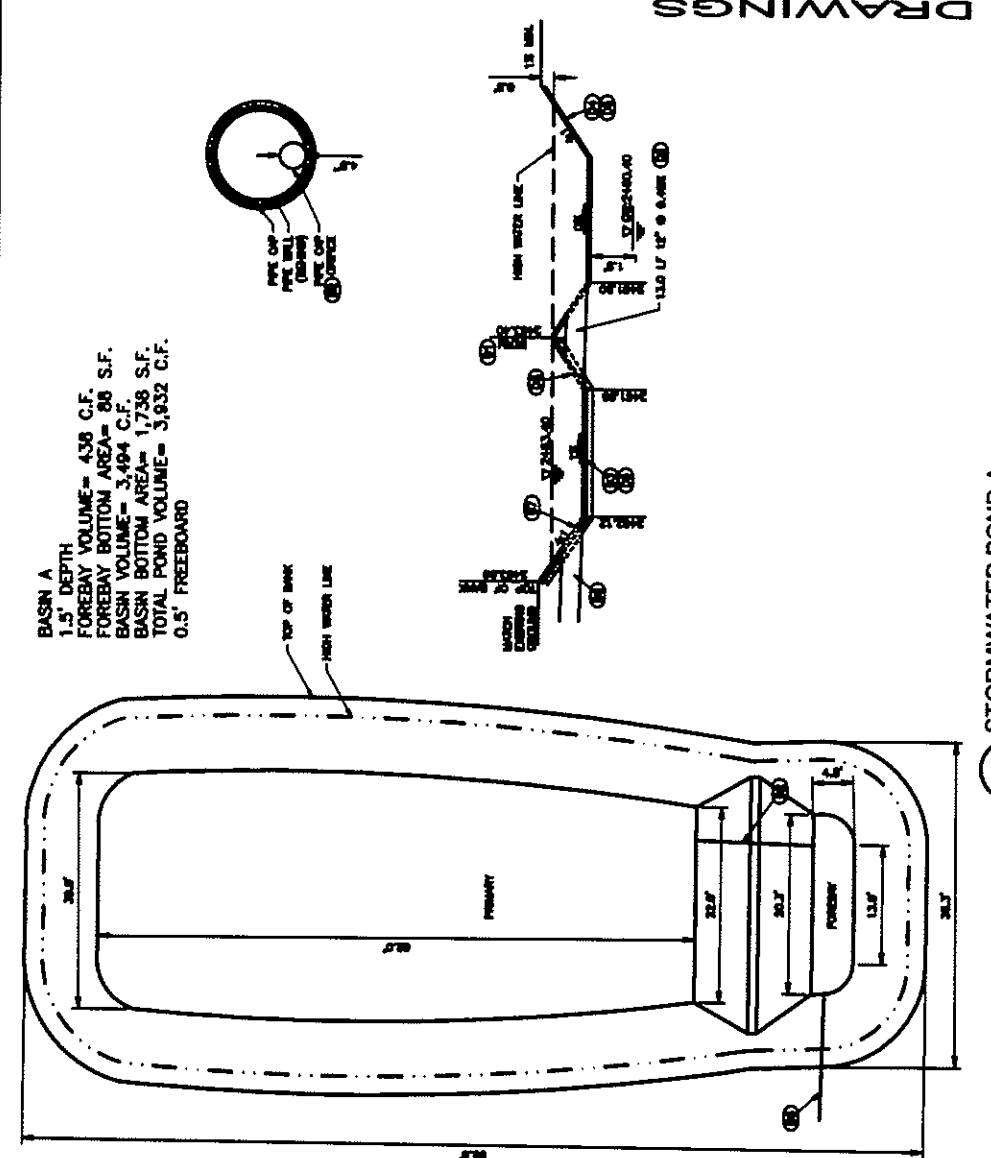




NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	12/20/20
2	ISSUED FOR RECORD	12/20/20

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO  
 STREET SECTION AND DRAINAGE DETAILS

**C-502**  
 SHEET NUMBER



**2** STORMWATER POND A  
 SCALE: N.T.S.

**3** STORMWATER POND B  
 SCALE: N.T.S.

**1** STORMWATER POND C  
 SCALE: N.T.S.

**BASIN A**  
 1.5' DEPTH  
 FOREBAY VOLUME= 436 C.F.  
 FOREBAY BOTTOM AREA= 86 S.F.  
 BASIN VOLUME= 3,494 C.F.  
 BASIN BOTTOM AREA= 1,738 S.F.  
 TOTAL POND VOLUME= 3,932 C.F.  
 0.5' FREEBOARD

**BASIN B**  
 1.5' DEPTH  
 FOREBAY VOLUME= 569 C.F.  
 FOREBAY BOTTOM AREA= 146 S.F.  
 BASIN VOLUME= 2,067 C.F.  
 BASIN BOTTOM AREA= 984 S.F.  
 TOTAL POND VOLUME= 2,636 C.F.  
 0.5' FREEBOARD

**BASIN C**  
 1.5' DEPTH  
 FOREBAY VOLUME= 569 C.F.  
 FOREBAY BOTTOM AREA= 146 S.F.  
 BASIN VOLUME= 2,067 C.F.  
 BASIN BOTTOM AREA= 984 S.F.  
 TOTAL POND VOLUME= 2,636 C.F.  
 0.5' FREEBOARD

**LEGEND:**  
 (1) WELL COVER, 36\"/>

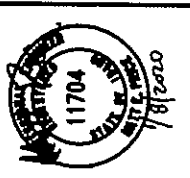
**NOTES:**  
 1. PERMITS AND APPROVALS SHALL BE OBTAINED FROM THE CITY OF STAR AND THE IDAHO DEPARTMENT OF WATER RESOURCES.  
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IDAHO DEPARTMENT OF WATER RESOURCES DESIGN MANUAL, DATED OCTOBER 2017.  
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IDAHO DEPARTMENT OF WATER RESOURCES DESIGN MANUAL, DATED OCTOBER 2017.  
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IDAHO DEPARTMENT OF WATER RESOURCES DESIGN MANUAL, DATED OCTOBER 2017.

**ADDITIONAL NOTES:**  
 1. CONTRACTOR SHALL NOTIFY THE ENGINEER AND ACHD INSPECTION STAFF IF GROUNDWATER IS ENCOUNTERED HIGHER THAN ANTICIPATED ON THE FIELD. PERCOLATION TESTS ARE LOWER THAN THE DESIGN INFILTRATION RATE.  
 2. GROUNDWATER DATA PER GROUNDWATER REPORT PREPARED BY SITE CONSULTING, LLC, DATED OCTOBER 12, 2017. INFILTRATION INFILTRATION RATE OF 0.5 IN/HR PER GEOTECHNICAL REPORT PREPARED BY SITE CONSULTING, LLC, DATED JUNE 6, 2017.

**DRAINAGE KEY NOTES:**  
 (1) 12\"/>

**STREET SECTION AND DRAINAGE DETAILS**  
 (1) 3\"/>

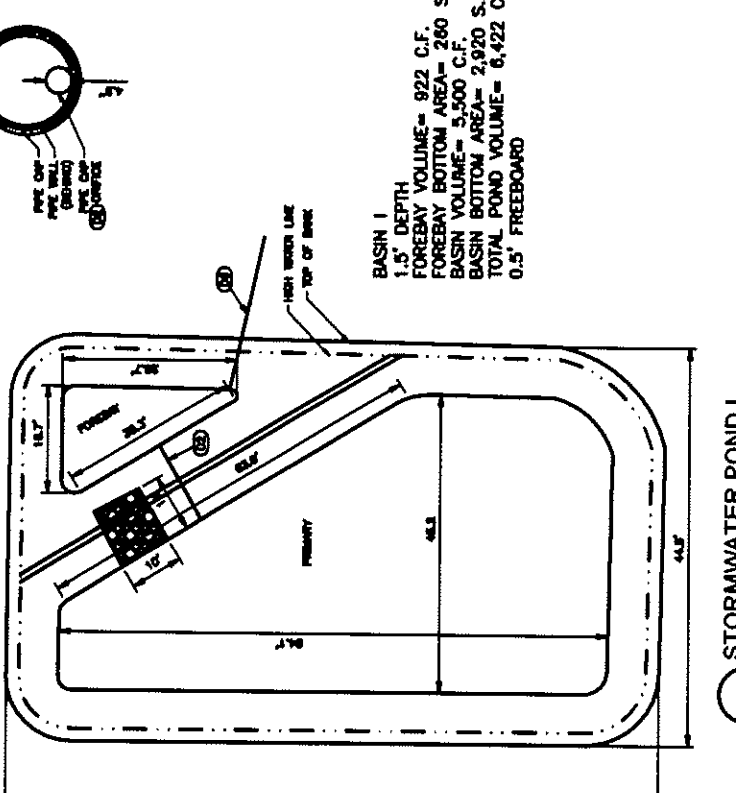
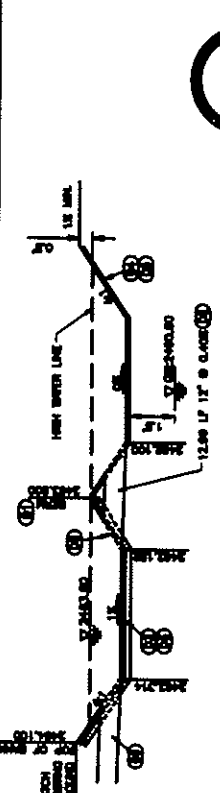
Plans Are Accepted For Public Street Construction  
 By accepting and signing the hereunto attached plans, the Professional Engineer and the City Engineer certify that the plans comply with all applicable laws and regulations, including but not limited to the provisions of the Uniform Building Code and the Idaho Building Code, and that the plans are in accordance with the requirements of the City of Star, Idaho. The Professional Engineer and the City Engineer shall be responsible for the accuracy of the information provided on these plans and for the safety of the public. The Professional Engineer and the City Engineer shall not be responsible for the accuracy of the information provided on these plans and for the safety of the public if the information is not in accordance with the requirements of the City of Star, Idaho.



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/21/18
2	ISSUED FOR RECORD	08/21/18
3	ISSUED FOR RECORD	08/21/18
4	ISSUED FOR RECORD	08/21/18
5	ISSUED FOR RECORD	08/21/18

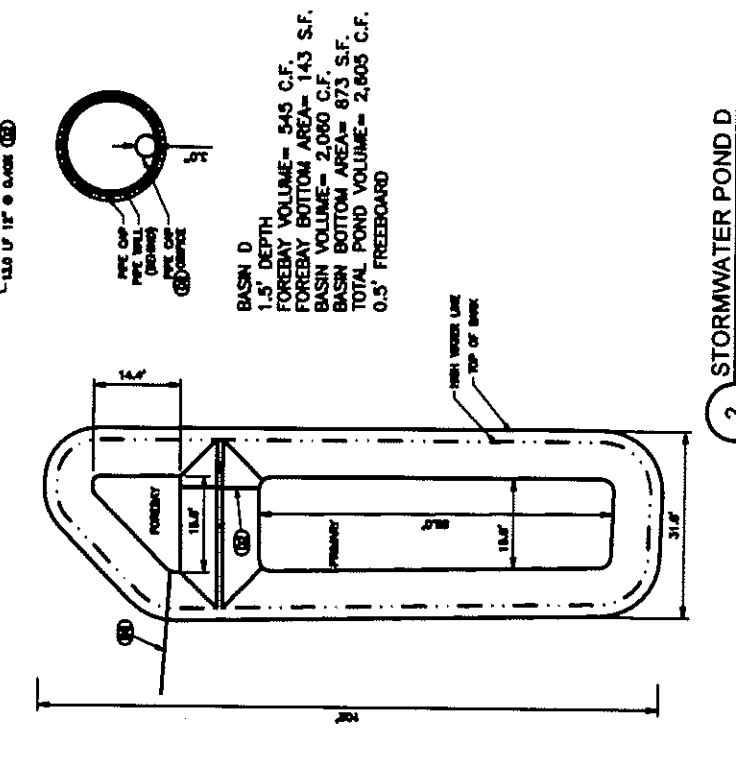
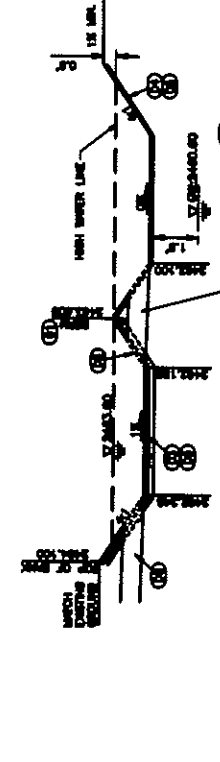
**RECORD DRAWINGS**

**NOTES TO CONTRACTOR**  
 1. ALL SHOWN PER TO ALL SPOT ELEVATIONS TO EXTENSIVE ACTUAL.  
 2. EXISTING UTILITIES ARE INDICATED BY (X) MARKS FROM THESE PACE TO MAKE FACE OF STRUCTURES.  
 3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE.  
 4. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES AND MARKS RESPONSIBLY SHOULD DAMAGED COVER DUE TO A FAILURE TO LOCATE.  
 5. CONTRACTOR TO FIELD VERIFY ALL EXISTING ELEVATIONS AND MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND NOTIFY THE ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES.  
 6. THIS DRAWING OR ANY PORTION OF IT, SHALL NOT BE USED ON ANY PROJECT OR EXTENSION OF PROJECT(S) EXCEPT BY AGREEMENT IN WRITING FROM THE ENGINEER.



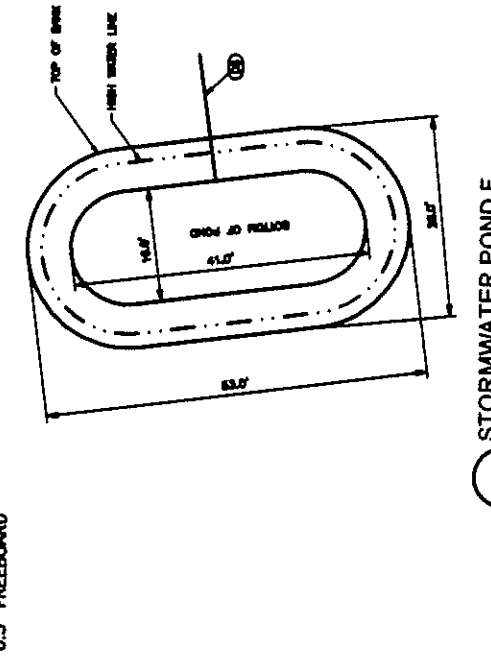
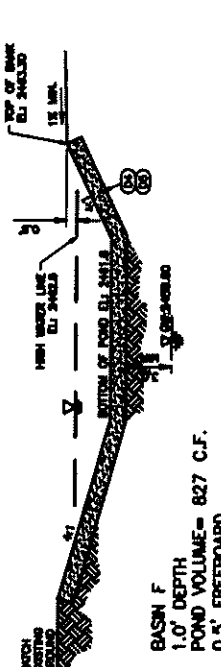
**BASIN I**  
 1.5' DEPTH  
 FOREBAY VOLUME= 922 C.F.  
 FOREBAY BOTTOM AREA= 260 S.F.  
 BASIN VOLUME= 5,500 C.F.  
 BASIN BOTTOM AREA= 2,920 S.F.  
 TOTAL POND VOLUME= 6,422 C.F.  
 0.5' FREEBOARD

**3** STORMWATER POND I  
 SCALE: N.T.S.



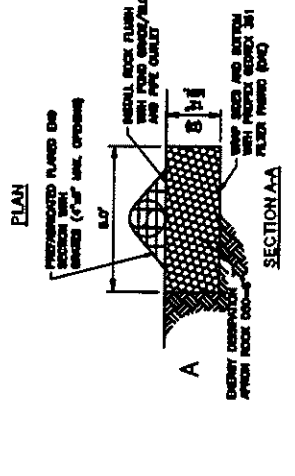
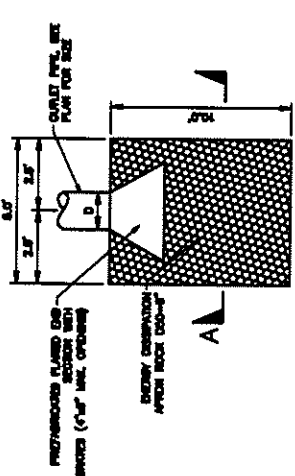
**BASIN D**  
 1.5' DEPTH  
 FOREBAY VOLUME= 545 C.F.  
 FOREBAY BOTTOM AREA= 143 S.F.  
 BASIN VOLUME= 2,060 C.F.  
 BASIN BOTTOM AREA= 673 S.F.  
 TOTAL POND VOLUME= 2,605 C.F.  
 0.5' FREEBOARD

**2** STORMWATER POND D  
 SCALE: N.T.S.

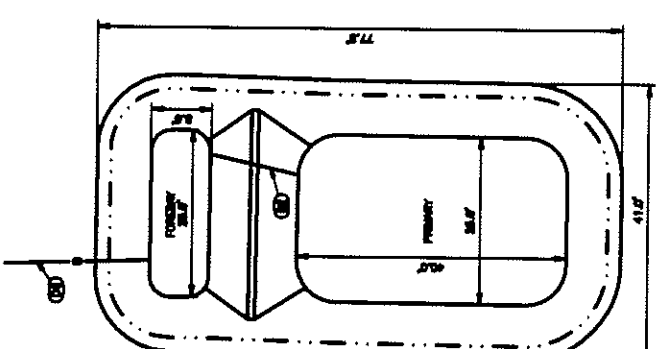
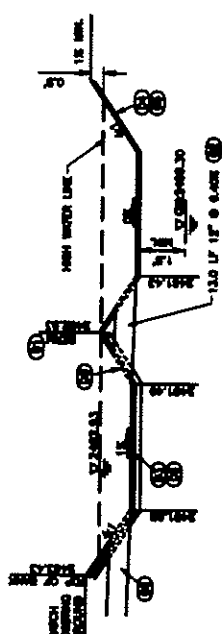


**BASIN F**  
 1.0' DEPTH  
 POND VOLUME= 827 C.F.  
 0.5' FREEBOARD

**5** STORMWATER POND F  
 SCALE: N.T.S.



**1** FLARED END SECTION DETAIL  
 SCALE: N.T.S.



**BASIN C**  
 1.5' DEPTH  
 FOREBAY VOLUME= 679 C.F.  
 FOREBAY BOTTOM AREA= 210 S.F.  
 BASIN VOLUME= 2,067 C.F.  
 BASIN BOTTOM AREA= 984 S.F.  
 TOTAL POND VOLUME= 2,746 C.F.  
 0.5' FREEBOARD

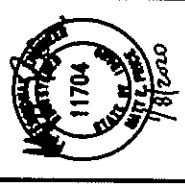
**4** STORMWATER POND C  
 SCALE: N.T.S.

**DRAINAGE KEY NOTES**

- (1) REMAIN PER ACHD IMP-10
- (2) IF DOWNSIDE PIPE WITH CAP AND ORIFICE IN FOREBAY END, SEE SECTION 03100 FOR INSTALLATION. CAP SHALL BE REMOVABLE, SLIP-ON TYPE AND SHALL BE INSTALLED WITH THE OPENING TO PIPE CAP TO BE INSTALLED SUCH THAT THE OPENING IS AT THE BOTTOM.
- (3) 8" THICK CLAY LINER UNDER 4" OF TOP SOIL OR UNIFIED NATIVE MATERIAL. CLAY LINER SHALL HAVE INSTALLED MAXIMUM INTRINSIC RATE OF 0.5 IN/HR. INFILTRATION RATE SHALL BE VERIFIED BY ACHD OR GEOTECHNICAL ENGINEER.
- (4) 4" MIN. OF TOP SOIL OR UNIFIED NATIVE MATERIAL.
- (5) REDEVELOP AND LANDSCAPE BASH BOTTOM AND SIDES IN ACCORDANCE WITH THE ACHD COUNTY FOREMANT DISTRICT STORMWATER MANAGEMENT BASH REDEVELOPMENT GUIDANCE MANUAL DATED OCTOBER 2017
- (6) BASH STORMWATER SUPPLY PIPE. SEE PLAN AND PROFILE FOR DESIGN.
- (7) METAL FLARED END SECTION WITH TRASH RACK AND REINAP APRON PER ACHD SPEC 50-45B.
- (8) METAL FLARED END SECTION WITH TRASH RACK AS PER ACHD SPEC 50-55B, OMT REINAP APRON.
- (9) ARMORED SPILL CHANNEL.

**ADDITIONAL NOTES**

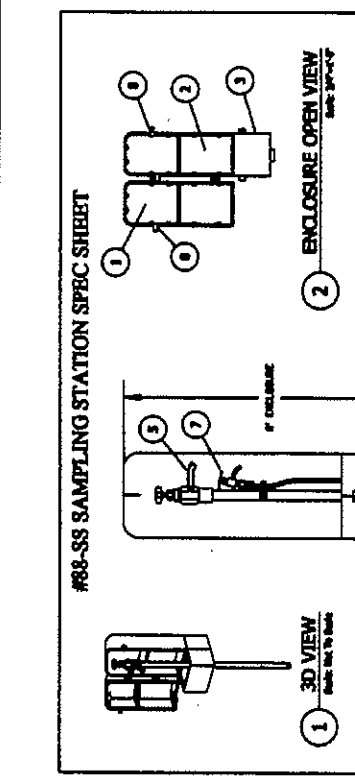
- 1. CONTRACTOR SHALL NOTIFY THE ENGINEER AND ACHD INSPECTION STAFF IF PERMITS ARE NOT OBTAINED PRIOR TO THE START OF CONSTRUCTION. PERCOLATION TESTS ARE LOWER THAN THE DESIGN INFILTRATION RATE.
- 2. GROUNDWATER DATA PER GROUNDWATER REPORT PREPARED BY SITE CONSULTING, LLC, DATED OCTOBER 12, 2018. MAXIMUM DESIGN INFILTRATION RATE OF 0.5 IN/HR PER GEOTECHNICAL REPORT PREPARED BY SITE CONSULTING, LLC, DATED JUNE 8, 2017.



NO.	REVISION	DATE

**RECORD DRAWINGS**

THIS DRAWING IS THE PROPERTY OF JUB ENGINEERS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.



**#88-SS SAMPLING STATION SPBC SHEET**

1. 3D VIEW  
 2. ENCLASURE OPEN VIEW

SAMPLING STATION SHALL BE 18" DEEP WITH A 5" DIA. OPENING. THE STATION SHALL BE ENCLOSED IN A LOCKABLE, NON-REMOVABLE ALUMINUM BOX WITH REMOVED OPENING.

WHEN OPEN, THE STATION SHALL REMAIN NO LESS THAN 18" ABOVE THE GROUND SURFACE. ALL WORKING PARTS SHALL BE OF STAINLESS STEEL AND SERVICEABLE FROM ABOVE GROUND WITH NO DRIPPING OR ESPACEMENT REQUIRED.

A STAINLESS STEEL PET COCK WILL BE LOCATED BELOW THE SAMPLING BOTTLE TO ALLOW PUMPING OF WATER FROM THE BOTTLE INTO THE STATION TO PREVENT FREEZING.

THE STATION SHALL BE MANUFACTURED BY THE SUPPLIER OF RECORD, ST. LOUIS MO. 6180 OR APPROVED EQUAL.

#88-SS SAMPLING STATION TO BE INSTALLED AT THE FOLLOWING LOCATION:

NO.	REVISION	DATE

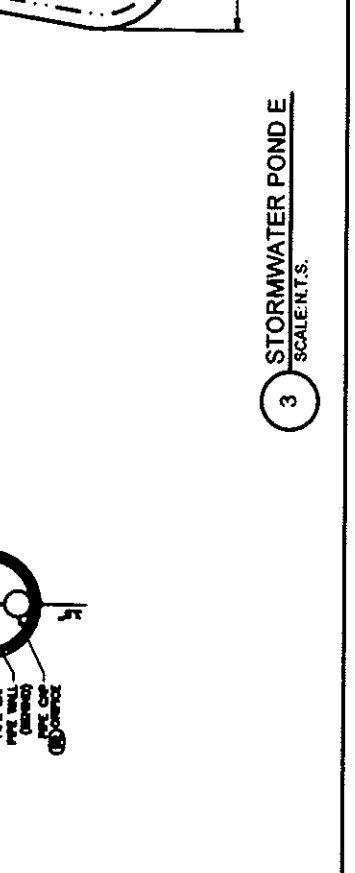
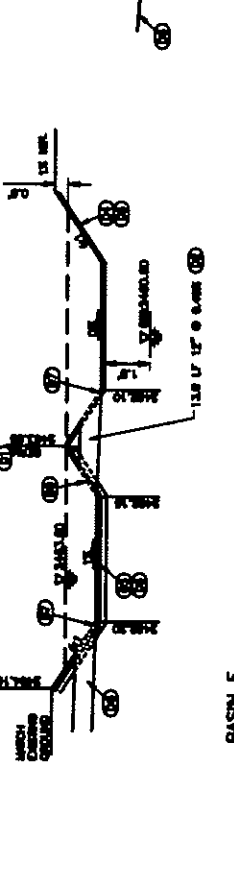
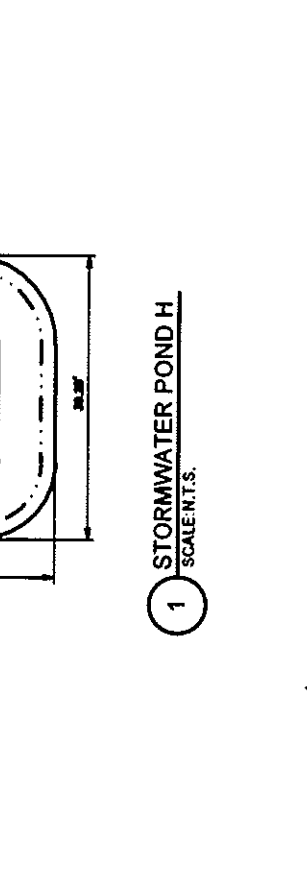
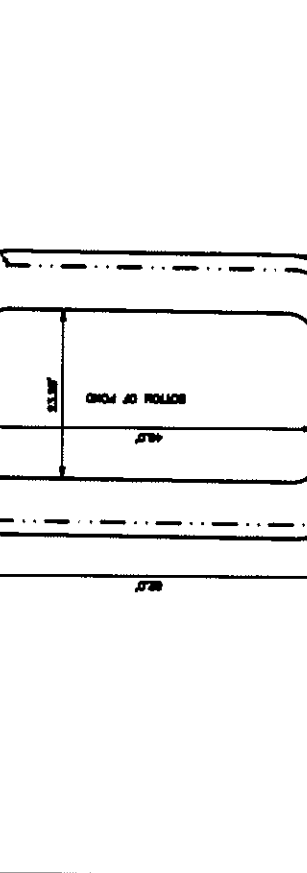
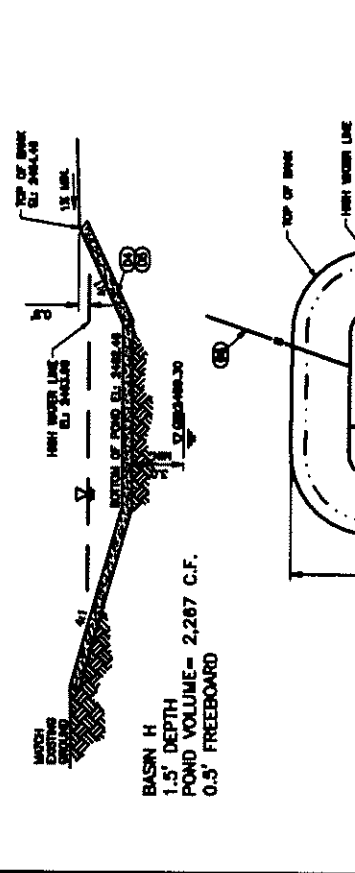
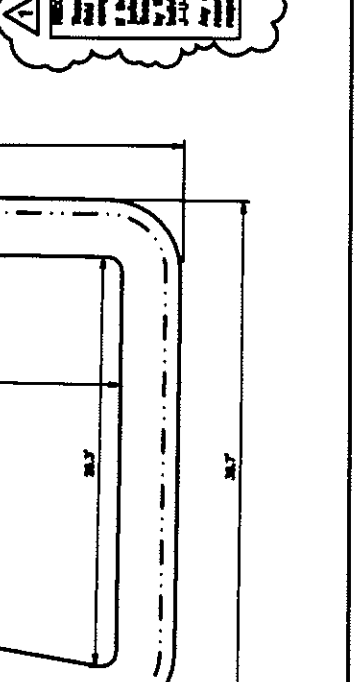
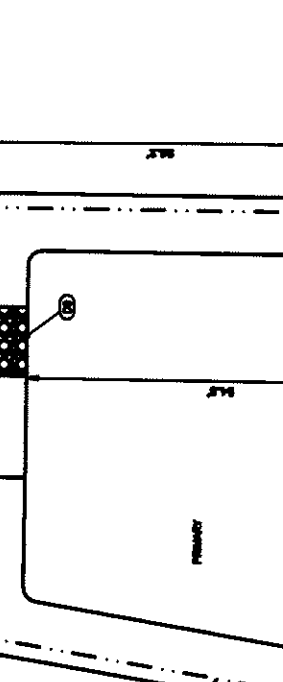
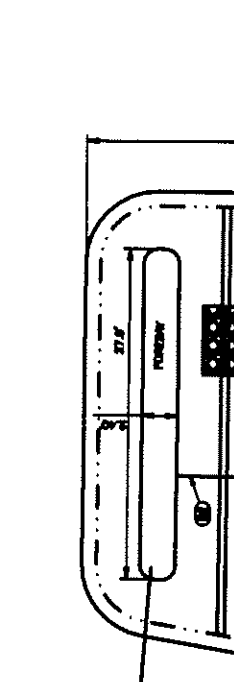
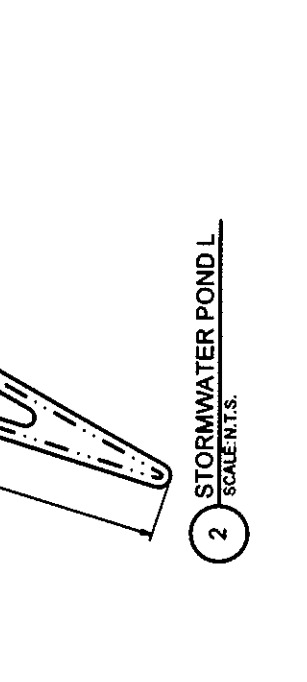
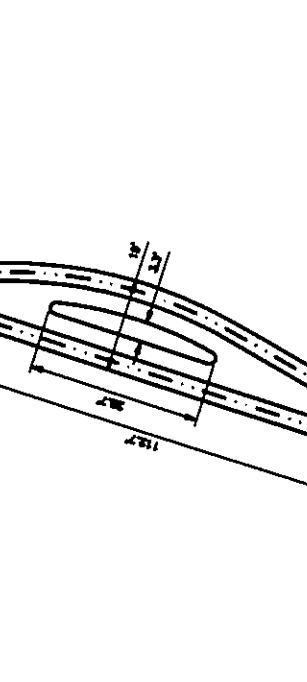
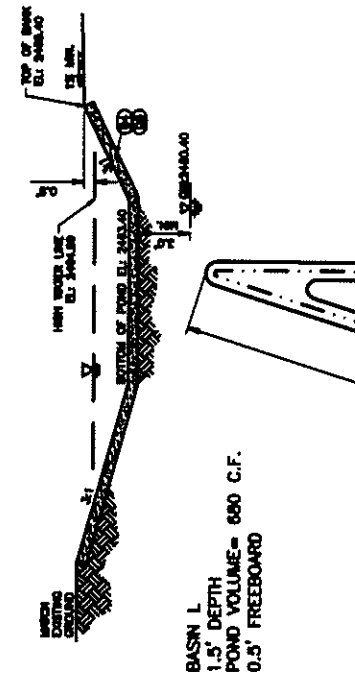
**4 DETAIL - ECLIPSE WATER SAMPLING STATION #88-SS**  
 SCALE: LOCATION SHOWN ON SHEET C-404

- DRAINAGE KEY NOTES**
- (1) 8" DIA. DISCHARGE PIPE WITH 1" DIA. OPENING IN FOREBAY END. SEE DETAIL.
  - (2) 12" DIA. DISCHARGE PIPE WITH 1" DIA. OPENING IN FOREBAY END. SEE DETAIL.
  - (3) 6" THICK CLAY LINER UNDER 4" OF TOP SOIL OR AMENDED NATIVE MATERIAL. CLAY LINER SHALL HAVE INSTALLED MAXIMUM INFILTRATION RATE OF 0.5 IN/HR. INFILTRATION RATE SHALL BE VERIFIED BY ACHD OR GEOTECHNICAL ENGINEER.
  - (4) 4" MIN. OF TOP SOIL OR AMENDED NATIVE MATERIAL.
  - (5) REVEGETATE AND LANDSCAPE BASIN BOTTOM AND SIDES IN ACCORDANCE WITH THE "ADA COUNTY HIGHWAY DISTRICT STORMWATER MANAGEMENT BASIN REVEGETATION GUIDANCE MANUAL" DATED OCTOBER 2017.
  - (6) BASIN STORMWATER SUPPLY PIPE. SEE PLAN AND PROFILE FOR DESIGN.
  - (7) METAL FLANGED END SECTION WITH TIGHT MUCK AND REPAIR APRON PER ACHD SPEC. 65-258.
  - (8) METAL FLANGED END SECTION WITH TIGHT MUCK AND REPAIR APRON PER ACHD SPEC. 65-258.
  - (9) AMORPHOUS SPILL CHANNEL.

**ADDITIONAL NOTES**

1. CONTRACTOR SHALL NOTIFY THE ENGINEER AND ACHD INSPECTION STAFF IF GROUNDWATER IS ENCOUNTERED HIGHER THAN ANTICIPATED OR THE FIELD PERCOLATION TESTS ARE LOWER THAN THE DESIGN INFILTRATION RATE.

2. CONSULTER AREA FOR CONSULTANT REPORT PREPARED BY SITE CONSULTING, LLC DATED 06/05/18. SEE PLAN AND PROFILE FOR INFILTRATION RATE OF 0.5 IN/HR PER GEOTECHNICAL REPORT PREPARED BY SITE CONSULTING, LLC DATED JUNE 6, 2017.



## ACCOMMODATION RECORDING

### AMENDED FOURTH SUPPLEMENT TO MASTER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR PRISTINE MEADOWS SUBDIVISION

This Amended Fourth Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision ("Fourth Supplemental Declaration") is made this 23<sup>rd</sup> day of December, 2021, by Challenger Development Inc., an Idaho corporation ("Grantor").

#### ARTICLE I: SUPPLEMENT AND AUTHORITY

1.1 Supplement to Declaration. This Fourth Supplemental Declaration is a supplement to:

- a. That certain Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on September 20, 2006, as Ada County, Idaho Instrument Number 106150795 ("Master Declaration"); and
- b. That certain First Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on November 13, 2015, as Ada County, Idaho Instrument Number 2015-104635 and re-recorded on November 18, 2015, as Ada County, Idaho Instrument Number 2015-105801 ("First Supplement"); and
- c. That certain First Amendment to the Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on January 7, 2016, as Ada County, Idaho Instrument Number 2016-001589 ("First Amendment"); and
- d. That certain Second Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on September 7, 2018, as Ada County, Idaho Instrument Number 2018-085188 ("Second Supplement"); and
- e. That certain Third Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on April 8, 2020, as Ada County, Idaho Instrument Number 2020-040716 ("Third Supplement").

The Master Declaration, First Supplement, First Amendment, Second Supplement and Third Supplement shall collectively be referred to herein as the "Existing CC&Rs".

This Fourth Supplemental Declaration supplements the Existing CC&Rs with respect to that certain real property legally described on the attached Exhibit A, which is made a part hereof ("Fourth Supplement Property"). The Fourth Supplement Property is shown on the Amended Reunion Subdivision No. 3 final plat, a copy of which is attached hereto as Exhibit B and made a part hereof ("Fourth Supplement Plat"). The covenants, conditions and restrictions contained in this Fourth Supplemental Declaration are in addition to those covenants, conditions and restrictions contained in the Existing CC&Rs, except insofar as such covenants, conditions and restrictions are hereinafter expressly modified.



1.2 Grantor is Successor in Interest to Kastera Pavilion Commons LLC. Grantor is the successor in interest to Kastera Pavilion Commons LLC, the original “Grantor” under the Master Declaration. Accordingly, Grantor has the full and proper authority to execute this Fourth Supplemental Declaration.

## ARTICLE II: DECLARATION

Pursuant to Article XVI, Section 16.1 of the Master Declaration, Grantor hereby declares that the Fourth Supplement Property and any parcel or portion thereof is hereby annexed into the Property, as that term is defined in the Master Declaration, and shall be held, sold, conveyed, encumbered, hypothecated, leased, used, occupied and improved subject to all of the terms, covenants, conditions and restrictions of the Existing CC&Rs and this Fourth Supplemental Declaration. All Owners of Building Lots within the Fourth Supplement Property shall be subject to all the terms, covenants, conditions and restrictions of the Existing CC&Rs and this Fourth Supplemental Declaration, including, without limitation, being voting members in the Association.

## ARTICLE III: GENERAL AND SPECIFIC RESTRICTIONS

3.1 Common Area. Lot 2, Block 5, Lots 2 and 16, Block 6, Lots 1 and 7, Block 7, Lot 1, Block 8, and Lots 1 and 11, Block 9, as shown on the Fourth Supplement Plat, are Common Areas to be owned and maintained by the Association.

3.2 Residential Building Lots. All platted lots comprising the Fourth Supplement Property, other than the Common Areas, shall be used and developed as residential Building Lots.

3.3 Drainage. All of Lot 7, Block 7 and Lots 1 and 11, Block 9, as well as portions of Lot 2, Block 5 and Lot 2, Block 6, as shown on the Fourth Supplement Plat, are servient to and contain the Ada County Highway District (“ACHD”) storm water drainage system. These Common Areas are encumbered by that certain First Amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015, as Instrument No. 2015-103256, official records of Ada County, and are incorporated herein by this reference as if set forth in full (“Master Easement”). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section 40-2302 of the Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system. Said easement shall remain free of all encroachments and obstructions (including fences and trees) which may adversely affect the operation and maintenance of the storm drainage facilities.

There shall be no interference with the established drainage pattern over any portion of these Common Areas, unless an adequate alternative provision is made for proper drainage and is first approved in writing by the Architectural Control Committee and ACHD. For the purposes hereof, “established” drainage is defined as the system of drainage, whether natural or otherwise, which exists at the time the overall grading of any portion of these Common Areas is completed by the Grantor.

The Association shall be responsible for the maintenance, repair and/or replacement of any other storm water drainage systems located on the Fourth Supplement Property (other than storm water drainage systems on, and serving only, individual Building Lots). Such maintenance, repair and/or replacement shall be done in accordance with that certain Reunion Subdivision No. 3 Operation and Maintenance Manual, dated September, 2020, a copy of which is attached hereto as Exhibit C, and made a part hereof (“O&M Manual”). The O&M Manual shall not be revised or otherwise amended without the prior written consent of ACHD.

ACHD shall have the right to inspect any of the aforementioned storm water drainage systems and, if necessary, perform any maintenance, repairs or replacements caused by the Association or Owners. The cost of any such maintenance, repairs and/or replacements shall be promptly paid by the Association within thirty (30) days of receiving an invoice therefore. In the event any such cost is not timely paid by the Association, ACHD shall be entitled to enforce its collection rights pursuant to all rights and remedies afforded it pursuant to applicable law, including, without limitation, the right to place a lien on the Fourth Supplement Property until such costs are paid in full.

All other Owners, at his/her/their sole cost and expense, shall be responsible for the maintenance, repair and/or replacement of any storm water drainage system located on, and serving only, his/her/their individual Building Lot. Such maintenance, repair and/or replacement shall be done in accordance with all applicable laws, rules, regulations and/or ordinances.

Notwithstanding any of the foregoing, all Building Lots and Common Area shall be graded such that all storm water and other water drainage shall run across a curb or to a drainage easement and no drainage shall cross from a Building Lot or Common Area onto another Building Lot or Common Area except within an applicable drainage easement.

**3.4** Initial Front Yard Landscaping. Grantor shall have no obligation to provide sod, hydro seed or any other grass material in the front yards of any Building Lots within the Fourth Supplement Property.

**3.5** Initial Back and Side Yard Landscaping/Over Watering. Each Owner of a Building Lot originally purchased from Grantor shall complete his/her back and side yard landscaping within six (6) months from the closing date thereof. **Such landscaping shall be in accordance with the landscaping plan(s) approved by the Architectural Control Committee and must adequately address on-site drainage and erosion control.**

**In the event any Owner violates either of the back yard or side yard landscaping time requirements contained herein, said Owner shall pay to the Association a fine of \$100/day for as long as the violation persists.** Any fine, or fines, shall be due and payable within thirty (30) days of receiving an invoice therefore.

**3.6** Watering Schedules/Over Watering. By accepting a deed to any portion of the Fourth Supplement Property, each Owner and the Association agree to abide by any irrigation watering schedule enacted by the District or Association. Neither Grantor nor the Association shall be responsible, in any fashion, for the over watering of any landscaping (including lawns) by the Owner of any Building Lot.

**3.7** Parking. In addition to any other parking restrictions contained in the Master Declaration, all Owners within the Fourth Supplement Property, as well as their Occupants, are hereby prohibited from parking vehicles in the front yards of Building Lots; provided however, that this restriction shall not prohibit Owners, or their Occupants, from temporarily parking operative motor vehicles on the driveway aprons of Building Lots.

#### ARTICLE IV: GENERAL PROVISIONS

**4.1** Enforcement. The Association, Grantor and/or any Owner, shall have the right to enforce, by any proceeding at law or in equity, all terms, covenants, conditions or restrictions imposed by the provisions of this Fourth Supplemental Declaration. Failure by the Association, Grantor or any

Owner to immediately enforce any such term, covenant, condition or restriction shall in no event be deemed a waiver of the right to do so in the future.

4.2 Severability. Invalidation of any one of these terms, covenants, conditions or restrictions by judgment or court order shall in no way affect any other provisions which shall remain in full force and effect.

4.3 Term and Amendment. The terms, covenants, conditions and restrictions of this Fourth Supplemental Declaration shall run with and bind the Fourth Supplement Property for so long as the Master Declaration runs with and binds the Property. This Fourth Supplemental Declaration may be amended pursuant to the same amendment terms contained in the Master Declaration.

4.4 Duration and Applicability to Successors. The terms, covenants, conditions, and restrictions set forth in this Fourth Supplemental Declaration shall run with the land and shall inure to the benefit of and be binding upon the Grantor, the Association and all Owners and their successors in interest.

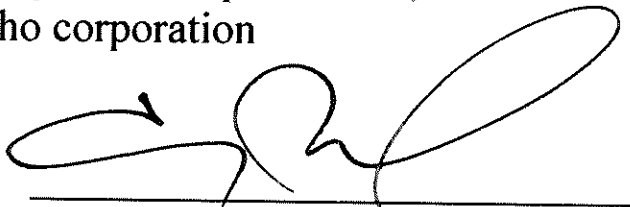
4.5 Governing Law. This Fourth Supplemental Declaration shall be construed and interpreted in accordance with the laws of the State of Idaho.

4.6 Definitions. Terms not otherwise defined herein shall have the same meanings as are ascribed to them in the Master Declaration.

IN WITNESS WHEREOF, the undersigned has duly executed this Fourth Supplemental Declaration as of the date first above written.


Challenger Development Inc.,  
an Idaho corporation

By:

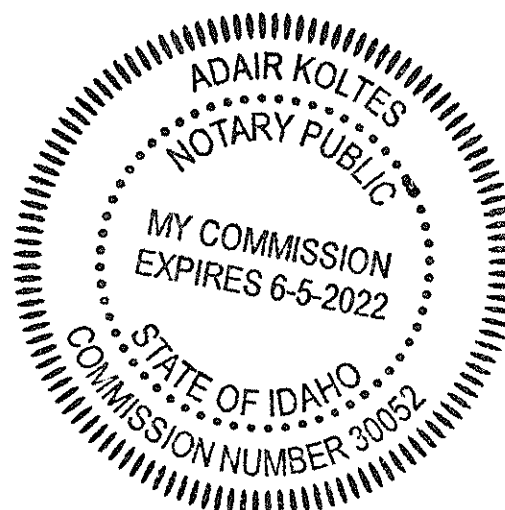
  
\_\_\_\_\_  
Corey D. Barton, President

STATE OF IDAHO     )  
  ) ss.  
County of Ada         )

This record was acknowledged before me on December 23<sup>rd</sup>, 2021, by Corey D. Barton as the President of Challenger Development Inc.

  
\_\_\_\_\_  
Signature of Notary Public

My commission expires: 6-5-22



**EXHIBIT A**  
**LEGAL DESCRIPTION OF FOURTH SUPPLEMENT PROPERTY**

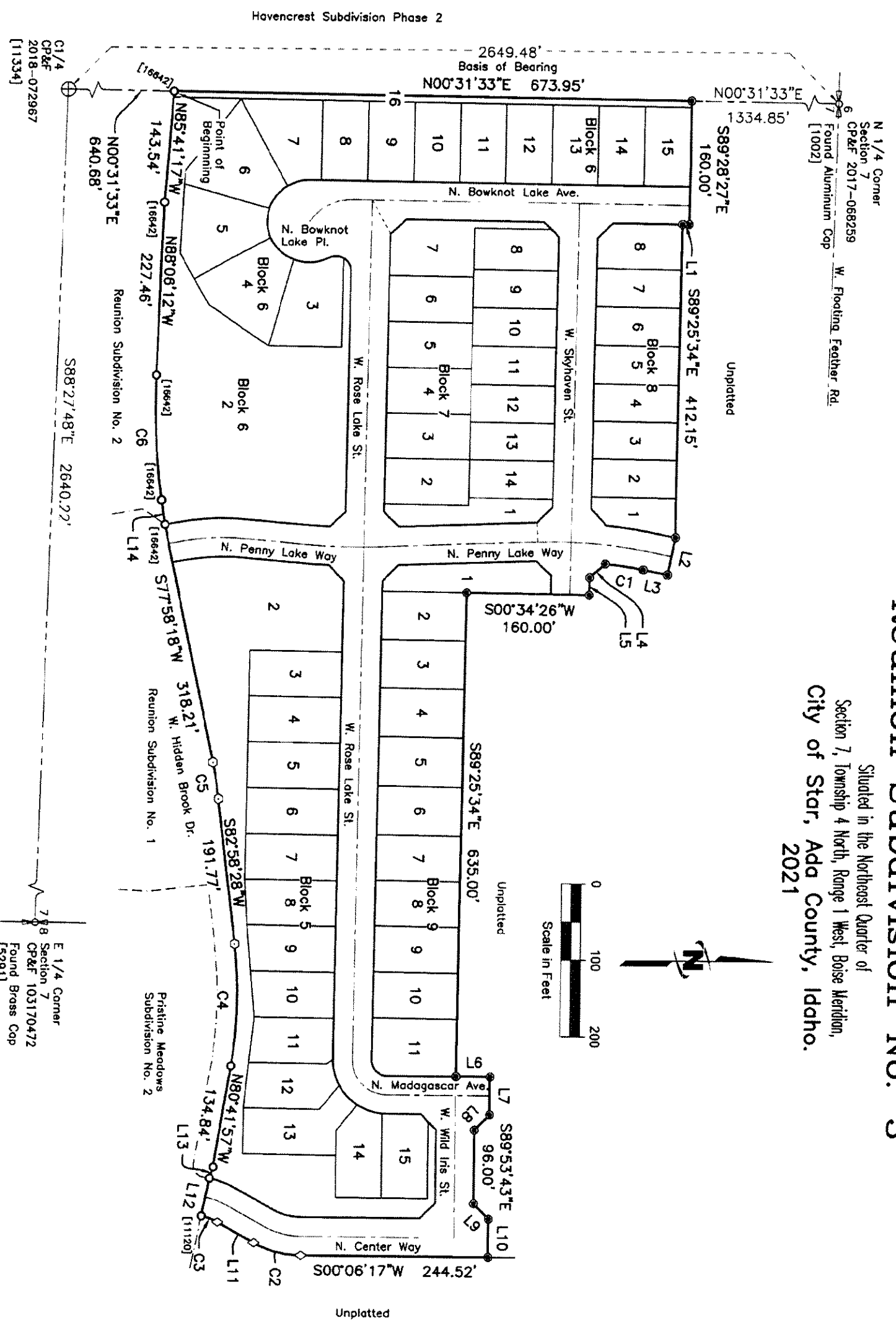
Lots 2 through 15, Block 5; Lots 2 through 16, Block 6; Lots 1 through 14, Block 7; Lots 1 through 8, Block 8; and Lots 1 through 11, Block 9, Amended Reunion Subdivision No. 3, according to the official plat thereof, filed in Book 120 of plats at pages 18842 through 18849, records of Ada County, Idaho.

**EXHIBIT B**  
AMENDED REUNION SUBDIVISION NO. 3 FINAL PLAT

See attached.

# AMENDED PLAT SHOWING Reunion Subdivision No. 3

Situated in the Northeast Quarter of  
Section 7, Township 4 North, Range 1 West, Boise Meridian,  
City of Star, Ada County, Idaho.  
2021



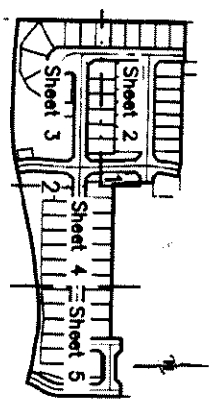
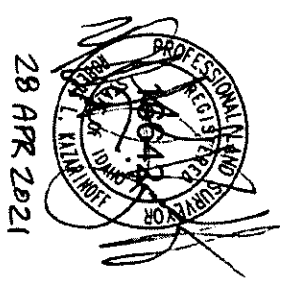
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	49.57'	565.00'	4°31'16"	S08°44'00"W	49.55'
C2	63.70'	125.00'	29°11'53"	S14°42'08"W	63.01'
C3	23.01'	74.57'	17°40'43"	S20°27'42"W	22.92'
C4	160.00'	561.50'	16°19'36"	N88°51'44"W	159.46'
C5	48.20'	562.00'	5°00'10"	S80°28'23"W	48.18'
C6	165.54'	948.00'	10°00'18"	S86°53'39"W	165.33'

Line #	Direction	Length
L1	S00°31'33"W	8.54'
L2	S78°50'22"E	50.00'
L3	S11°09'38"W	32.38'
L4	S42°02'59"E	27.09'
L5	S80°25'34"E	22.46'
L6	N00°06'17"E	44.87'
L7	S89°53'43"E	50.00'

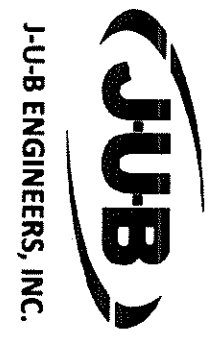
Line #	Direction	Length
L8	S44°53'43"E	28.28'
L9	N45°06'17"E	28.28'
L10	S89°53'43"E	50.00'
L11	S29°18'04"W	53.92'
L12	N78°16'26"W	50.00'
L13	N72°06'45"W	15.25'
L14	S81°53'29"W	32.44'

- ### Legend
- Subdivision Boundary Line
  - Lot Line
  - Right-of-way Line
  - Section Line
  - Center Line
  - Tie Line
  - Adjacent Property Line
  - Match Line
  - Utility Easement Line
  - Irrigation Easement Line
  - ACHD Drainage Easement Line
  - Gravity Irrigation Easement Line
  - ⊕ Quarter-Section Corner
  - ⊕ Found Aluminum Cap, as noted
  - Found 1/2" Rebar with Plastic Cap
  - PLS 11334", Unless Noted Otherwise
  - Found 5/8" Rebar with Plastic Cap
  - PLS 11334", Unless Noted Otherwise
  - Found 5/8" Rebar capped "PLS 11334", destroyed by Construction, Reset 5/8"x24" Rebar with Plastic Cap Marked "J-U-B 16642"
  - Found 5/8" Rebar capped "PLS 7729", destroyed by Construction, Reset 1/2"x24" Rebar with Plastic Cap Marked "J-U-B 16642"
  - Found 1/2" Rebar capped "PLS 11334", destroyed by Construction, Reset 1/2"x24" Rebar with Plastic Cap Marked "J-U-B 16642"
  - Set 1/2"x24" Rebar, with
  - Plastic Cap Marked "J-U-B 16642"
  - Set 5/8"x24" Rebar, with
  - Plastic Cap Marked "J-U-B 16642"
  - Point Not Set or Found
  - △ Curve Number (Typical)
  - △ Course Number (Typical)
  - △ Lot Number (Typical)
  - ### PLS Number Found on Monument

Sheet 1: Legend  
See Sheets 2-5 for Plat Map Detail  
See Sheet 6 for Notes, Easement Notes, & Reference Documents  
See Sheet 7 for Certificate of Owners  
See Sheet 8 for Certificates & Approvals

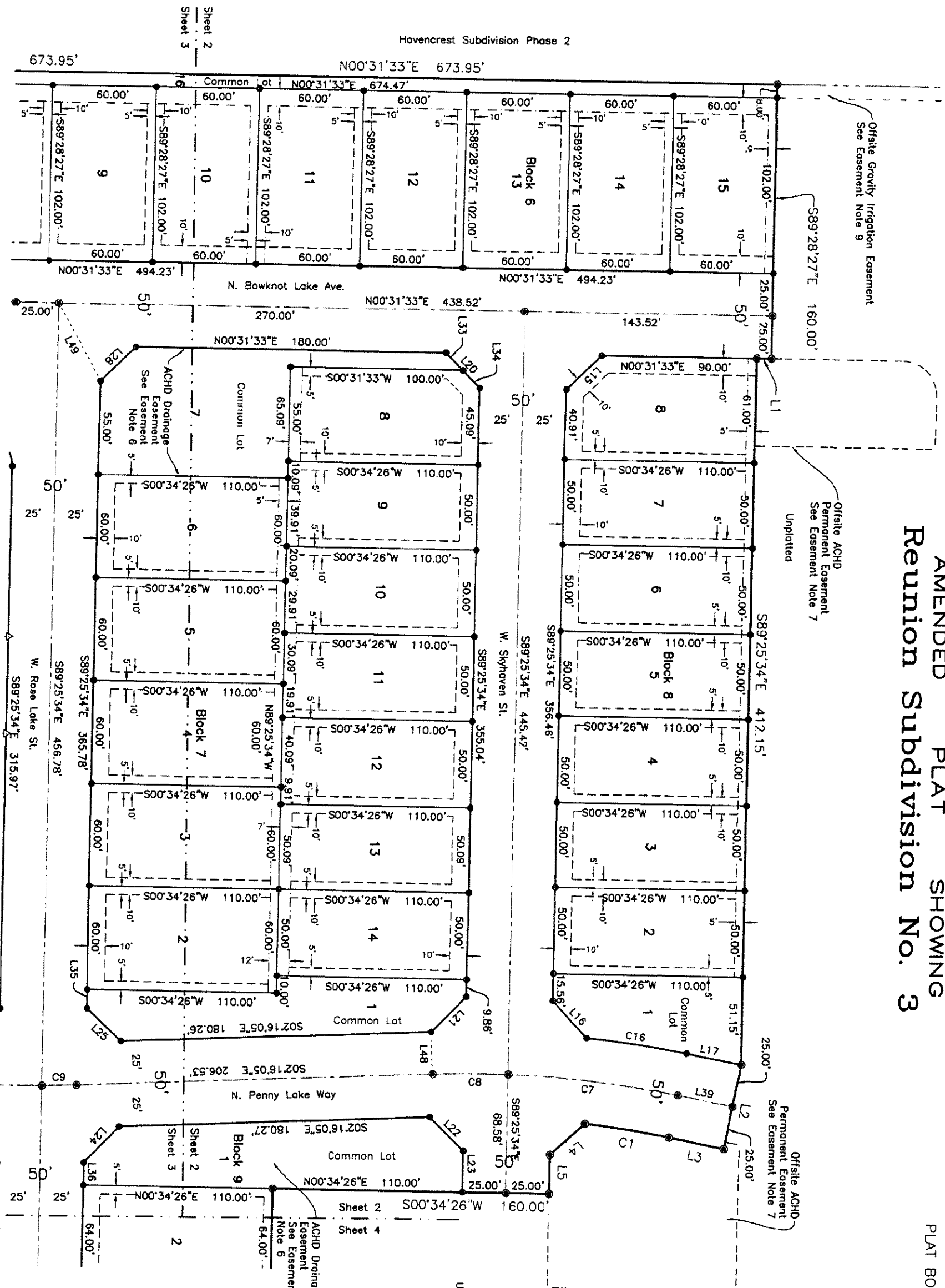


Key Map 1" = 500'



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JUB Project No. 10-19-018

# AMENDED PLAT SHOWING Reunion Subdivision No. 3



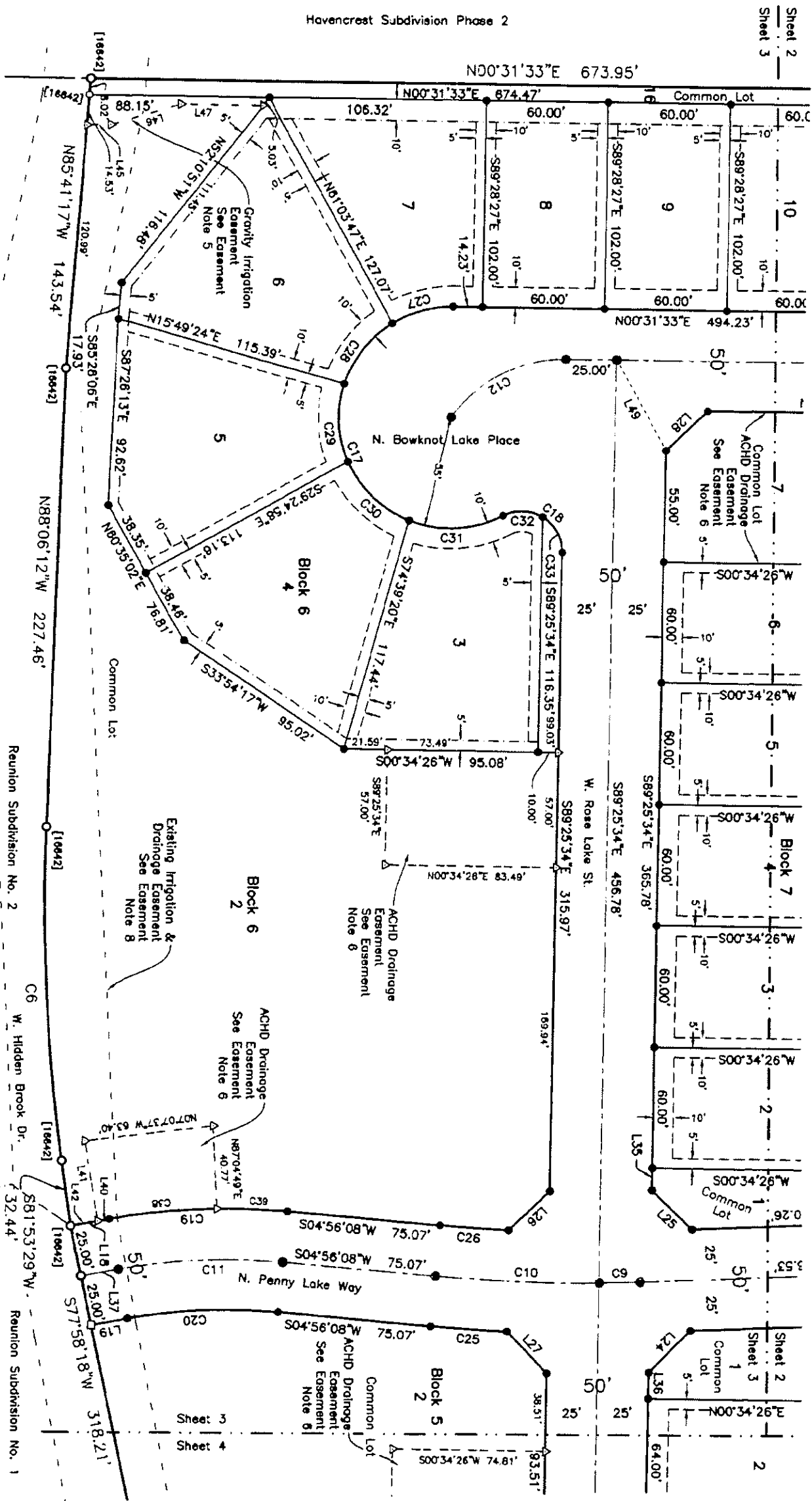
Curve #	Length	Radius	Date	Chord Bearing	Chord Length
C1	49.57'	585.00'	4°51'16"	S08°44'00"W	49.55'
C7	99.21'	610.00'	7°18'08"	S06°30'04"W	99.10'
C8	43.76'	610.00'	4°06'35"	S00°12'47"E	43.75'
C9	19.99'	800.00'	1°25'55"	N01°33'07"W	19.99'
C16	58.81'	635.00'	5°18'22"	S08°30'27"W	58.79'

Line #	Direction	Length
L1	S00°31'33"W	8.54'
L2	S78°50'22"E	50.00'
L3	S11°09'38"W	32.38'
L4	S42°02'59"E	27.09'
L5	S89°25'34"E	22.46'
L19	N44°27'00"W	28.30'
L16	N47°45'47"E	29.34'
L17	N11°09'38"E	32.38'
L20	S45°33'00"W	28.27'
L21	N45°50'20"W	28.98'
L22	N44°09'11"E	27.57'
L23	S89°25'34"E	23.88'
L24	S45°50'49"E	28.98'
L25	N44°09'11"E	27.57'
L28	N44°27'00"W	28.30'
L33	N45°33'00"E	14.14'
L34	S89°25'34"E	10.78'
L36	S89°25'34"E	12.96'
L39	N11°09'38"E	32.38'
L48	S87°43'55"W	25.00'
L49	S81°30'29"W	51.48'



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# AMENDED PLAT SHOWING Reunion Subdivision No. 3



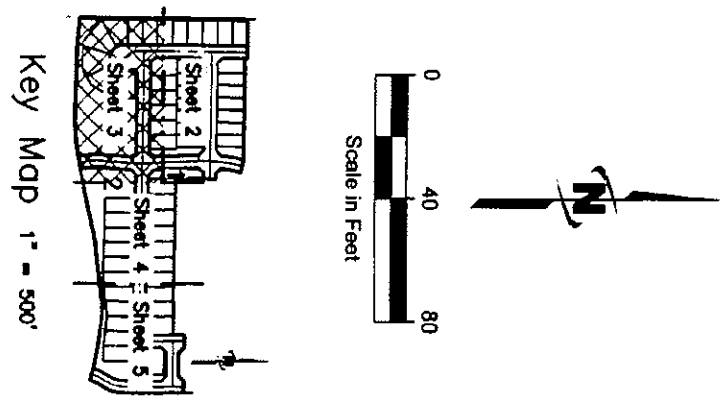
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C6	185.54'	946.00'	107.00'18"	S86°53'39"W	165.33'
C9	19.89'	900.00'	1°25'55"	N01°33'07"W	18.99'
C10	80.59'	800.00'	5°46'18"	N02°02'59"E	80.55'
C11	80.95'	300.00'	15°27'35"	S02°47'40"E	80.70'
C12	65.92'	66.73'	56°36'20"	S77°44'37"E	63.27'
C17	200.01'	55.00'	208°21'48"	N76°20'40"E	108.65'
C18	41.33'	20.00'	118°24'39"	S31°22'07"W	34.36'
C19	87.88'	326.00'	15°27'35"	S02°47'40"E	87.43'
C20	74.20'	225.00'	18°27'36"	S02°47'40"E	73.98'
C25	37.49'	825.00'	2°36'13"	N03°38'02"E	37.48'
C26	37.49'	825.00'	2°36'13"	N03°38'02"E	37.48'
C28	33.88'	775.00'	2°29'24"	N03°41'26"E	33.68'
C27	31.25'	55.00'	32°33'02"	S15°44'58"E	30.83'
C28	38.91'	55.00'	40°32'17"	S32°17'38"E	36.11'
C29	39.82'	55.00'	41°28'12"	N86°41'38"E	38.96'
C30	42.87'	55.00'	44°38'44"	N45°37'09"E	41.80'
C31	47.16'	55.00'	49°07'30"	N05°16'28"W	45.73'
C32	20.39'	20.00'	58°24'39"	S01°22'07"W	19.52'
C33	20.94'	20.00'	60°00'00"	S67°34'26"W	20.00'
C38	53.14'	325.00'	9°22'03"	S05°50'26"E	53.08'
C39	34.56'	325.00'	6°05'32"	S01°53'22"W	34.64'

Line #	Direction	Length
L18	N10°31'27"W	19.24'
L19	N10°31'27"W	17.83'
L24	S45°50'49"E	28.88'
L25	N44°09'11"E	27.57'
L26	N43°51'36"W	28.00'
L27	N45°06'21"E	28.55'
L28	N44°27'00"W	28.30'
L35	S89°25'34"E	10.78'
L36	S89°25'34"E	12.96'
L37	N10°31'27"W	18.58'
L40	S10°31'27"E	5.54'
L41	S89°15'45"W	38.83'
L42	S10°31'27"E	13.70'
L45	S01°15'27"E	11.79'
L46	S18°00'49"E	35.57'
L47	S00°31'33"W	40.18'

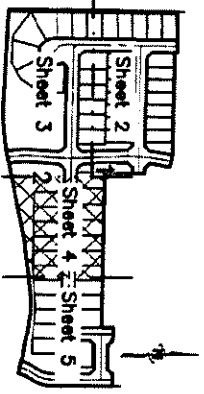


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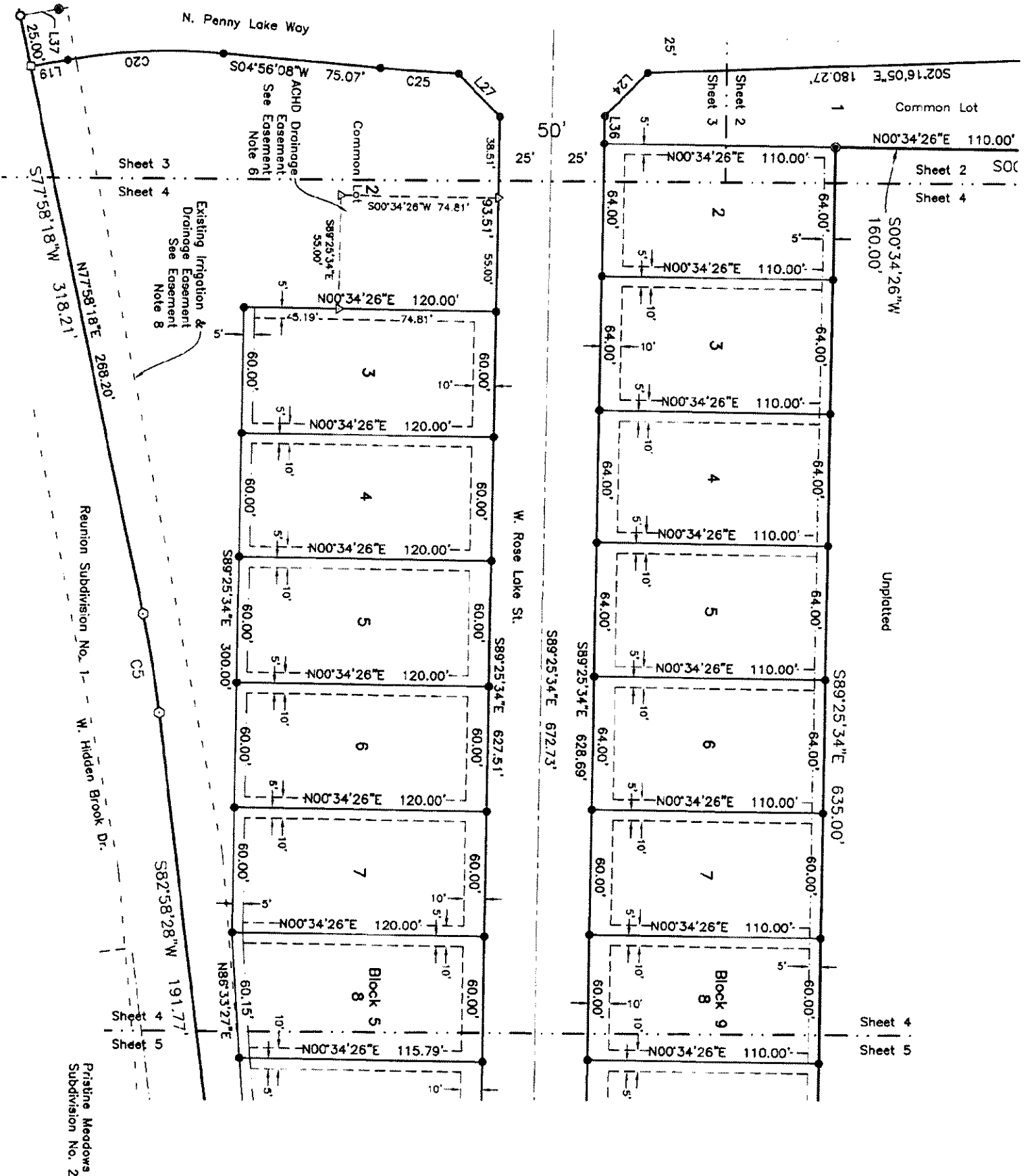
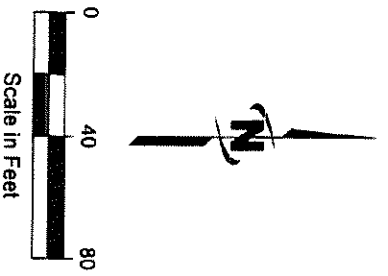




Key Map 1" = 500'

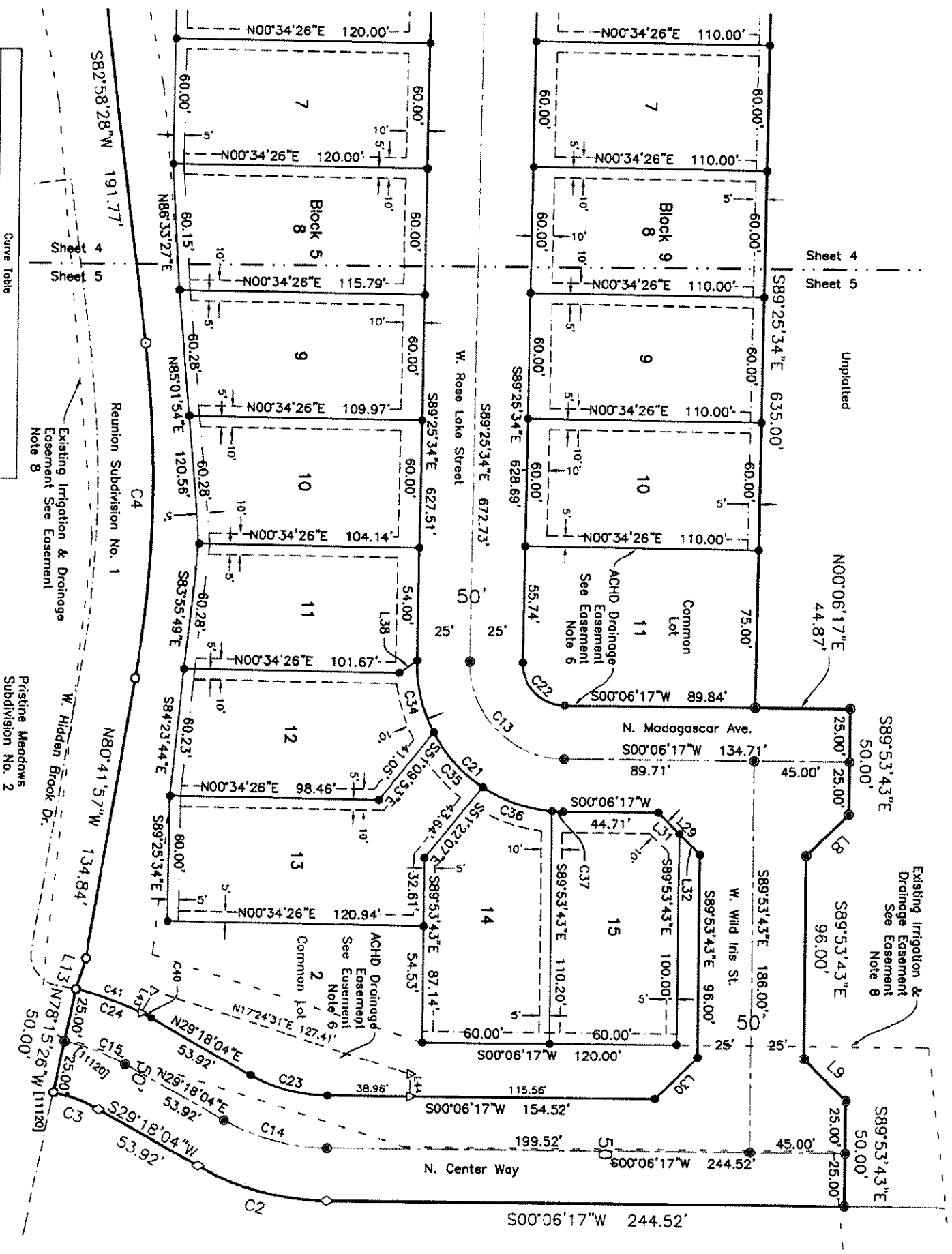
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C5	48.20'	552.00'	5°00'10"	S86°28'23"W	48.18'
C20	74.20'	275.00'	15°27'35"	S02°47'40"E	73.98'
C25	37.49'	825.00'	2°36'13"	N03°38'02"E	37.48'

Line #	Direction	Length
L19	N10°31'27"W	17.93'
L24	S45°50'49"E	28.98'
L27	N46°06'21"E	28.55'
L35	S89°25'34"E	12.98'
L37	N10°31'27"W	18.58'



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# AMENDED PLAT SHOWING Reunion Subdivision No. 3

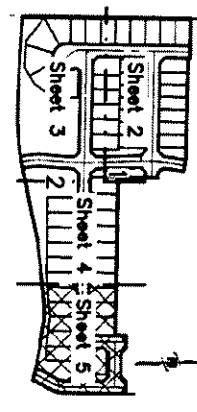
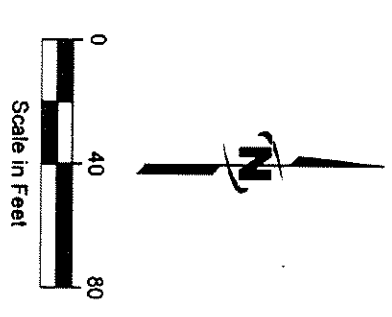


Sheet 4  
Sheet 5

Unplotted

Existing Irrigation & Drainage Easement See Easement Note 8

Existing Irrigation & Drainage Easement See Easement Note 6



Line #	Direction	Length
L8	S44°53'43"E	28.28'
L9	N45°06'17"E	28.28'
L13	N77°06'45"W	15.25'
L29	S45°06'17"W	28.28'
L30	S44°53'43"E	28.28'
L31	N45°06'17"E	14.14'
L32	N45°06'17"E	14.14'
L38	S35°28'45"E	10.20'
L43	N60°41'56"W	11.86'
L44	S89°53'43"E	10.84'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C2	63.70'	125.00'	29°11'53"	S14°42'08"W	63.01'
C3	23.01'	74.57'	17°40'43"	S20°27'42"W	22.92'
C4	160.00'	581.50'	16°19'35"	N88°51'44"W	159.46'
C13	71.05'	45.00'	90°28'09"	N45°20'22"E	63.90'
C14	90.96'	100.00'	29°11'53"	N14°42'08"E	50.41'
C15	30.67'	99.57'	17°38'54"	S20°28'37"W	30.55'
C22	31.56'	20.00'	90°28'09"	N45°20'22"E	28.40'
C23	38.22'	75.00'	29°11'53"	N14°42'08"E	37.81'
C24	38.33'	124.57'	17°37'49"	S20°28'09"W	38.18'
C34	35.23'	70.00'	28°30'21"	N7°08'16"E	34.86'
C35	35.00'	70.00'	28°38'52"	N4°24'40"E	34.64'
C36	35.00'	70.00'	28°38'52"	N18°45'47"E	34.64'
C37	5.30'	70.00'	4°20'04"	N02°16'19"E	5.29'
C40	5.44'	124.57'	2°30'15"	S28°02'57"W	5.44'
C41	32.88'	124.57'	15°07'36"	S19°14'02"W	32.79'



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**Notes**

1. Any re-subdivision of this plat shall comply with the applicable zoning regulations in effect at the time of re-subdivision.
2. Lot 2, Block 5; Lots 2 and 16, Block 6; Lots 1 & 11, Block 9; Lots 1 & 7, Block 7; and Lot 1, Block 8 are common lots which shall be owned and maintained by the Pristine Meadows Subdivision, Inc. (the homeowners association).
3. Direct lot access to W. Hidden Brook Dr. is prohibited.
4. Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on this plat.
5. Lots shall not be reduced in size without prior approval from the health authority.
6. No additional domestic water supplies shall be installed beyond the water system approved in the sanitary restriction release.
7. Reference is made to the public health letter on file with Ada County Recorder regarding additional restrictions.
8. This subdivision is subject to an Agreement with Middleton Mill Ditch Company, Middleton Irrigation Association, Inc., and Floke Ditch Company, Ltd. dated August 23, 2005 and recorded as Instrument Number 105121342 and as amended by Instrument Numbers 106102235 and 2018-027195.
9. This Subdivision is located within zone X (area of Minimal Flood Hazard) as shown on FEMA National Flood Hazard FIRM Panel Nos. 16001C0125 J and 16001C0130 J, Effective date 06/19/2020.
10. This subdivision is subject to a License Agreement Instrument Number 2020-079861 with Drainage District No. 2.
11. This subdivision is subject to a License Agreement Instrument Number 106053893 with Drainage District No. 2.
12. This subdivision is subject to a License Agreement Instrument Number 2020-078014 with Middleton Mill Ditch Company and Middleton Irrigation Association, Inc.
13. This subdivision is subject to a License Agreement Instrument Number 2020-011934 with Ada County Highway District.
14. This development recognizes Section 22-4503 of Idaho Code, Right to Farm Act, which states, "No agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."

**Surveyor's Narrative**

**SURVEY PURPOSE:** To determine the boundary of land as described in that Warranty Deed recorded under Instrument No. 2020-112999, Ada County Records, Idaho, and to include a portion of said land within this subdivision.

**DOCUMENTS USED:** See Reference Documents below.

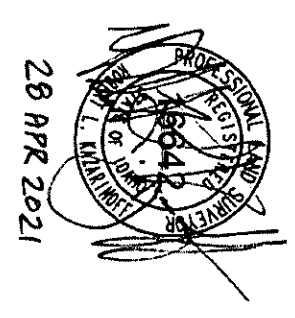
**BOUNDARY CONTROLLED BY:** The southerly boundary is controlled by Reunion Subdivision No. 1, Reunion Subdivision No. 2, and Pristine Meadows Subdivision No. 2. The west boundary is controlled by the west line of the Northeast Quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian. The northerly boundary and the easterly boundary are controlled by a boundary line created by the client reflecting how the land of hereinabove said Warranty Deed is desired to be subdivided.

**Reference Documents**

- Subdivisions:**  
 Saddle Brook Phases 1, 2, & 6; Meadowbrook No. 2; Rhinoceros Bay; Pristine Meadows No.s 1 & 2; Havencrest Phase 2; and Clearlake Subdivision No.s 1 & 2; Reunion Subdivision No.s 1 & 2;
- Surveys:**  
 ROSs 568, 5822, 5823, 8243, and 9125.
- Deeds:**  
 114002607, 2016-115038, 2019-057091 (re-recording 2019-101398) and 2020-112999.
- Easements:** 102084183, 105147588, 105121342, 106102235 & 2019-014180.
- Off-site Easements:** 2020-078016 & 2020-131772

**Easement Notes**

1. All Utility Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of public & private utilities, pressurized irrigation, sewer service, cable television/data, appurtenances thereto, and lot drainage.
2. All Pressure Irrigation Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of pressure irrigation lines and appurtenances thereto.
3. Lot 2, Block 5; Lot 2, Block 6; Lots 1 & 11, Block 9; Lots 1 & 7, Block 7; and Lot 1, Block 8 are hereby designated as having a Utility Easement co-situate with said lots.
4. Lot 16, Block 6 is hereby designated as having a non-exclusive, perpetual Gravity Irrigation Easement co-situate with said Lot 16, Block 6, is appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleton Mill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the appurtenances thereto.
5. The Gravity Irrigation Easement across Lot 2, Block 6 as shown and designated hereon is non-exclusive, perpetual, appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleton Mill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the appurtenances thereto.
6. Portions of Lot 2, Block 5; Lot 2, Block 6; and all of Lots 1 & 11, Block 9; and all of Lot 7, Block 7 are servient to and contain the ACHD storm water drainage system. These lots are encumbered by that certain first amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015 as Instrument No. 2015-103256, official records of Ada County, and incorporated herein by this reference as if set forth in full (the "Master Easement"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section 40-2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system.
7. See Instrument Number 2020-131772 for Off-site ACHD Permanent Easement.
8. See License Agreement Instrument Number 2019-014180 for Existing Drainage District #2 Irrigation and Drainage Easement (Drain #10).
9. See Instrument Number 2020-078016 for Off-site Gravity Irrigation Easement.
10. No Utility Easement shown or designated hereon shall preclude the construction and maintenance of hard-surfaced driveways, landscaping, parking, side & rear property line fences, or other such nonpermanent improvements.
11. All easements are parallel (or concentric) to the lines (or arcs) that they are dimensioned from unless otherwise noted.



JUB ENGINEERS, INC.  
 250 South Beechwood Avenue, Suite 201, Boise, ID 83709-0944  
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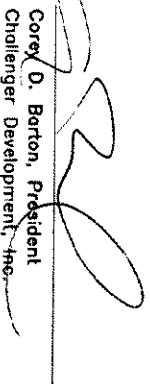
**Certificate of Owners**

Know all people by these presents: that Challenger Development, Inc., on Idaho Corporation, does hereby certify that it is the owner of that real property to be known as Reunion Subdivision No. 3, and that it intends to include said real property, as described below, in this plat: To Wit:

A parcel of land situated in the northeast quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian, City of Star, County of Ada, State of Idaho, particularly described as follows:  
 COMMENCING at the southwest corner of the northeast quarter (center quarter-section corner) of Section 7, Township 4 North, Range 1 West, Boise Meridian, from which the north quarter-section corner of said Section 7 bears North 00°31'33" East, 2849.48 feet; Thence North 00°31'33" East, 640.68 feet along the west line of the northeast quarter of said section 7 to the POINT OF BEGINNING;  
 Thence North 00°31'33" East, 673.95 feet continuing along the west line of the northeast quarter and the east boundary of Havencrest Subdivision Phase 2 according to the plat thereof filed in Book 97 of Plats at PAGES 12116 through 12118, Ada County Records;  
 Thence South 89°28'22" East, 160.00 feet;  
 Thence South 00°31'33" West, 8.54 feet;  
 Thence South 89°25'34" East, 412.15 feet;  
 Thence South 78°50'22" East, 50.00 feet;  
 Thence South 11°09'38" West, 32.38 feet to the beginning of a curve;  
 Thence along said curve to the left on an arc length of 49.57 feet, having a radius of 585.00 feet, a central angle of 04°51'16", a chord bearing of South 08°44'00" West, and a chord length of 49.55 feet;  
 Thence South 42°02'59" East, 27.09 feet;  
 Thence South 89°25'34" East, 22.46 feet;  
 Thence South 00°34'26" West, 160.00 feet;  
 Thence South 89°25'34" East, 635.00 feet;  
 Thence North 00°06'17" East, 44.87 feet;  
 Thence South 89°33'43" East, 50.00 feet;  
 Thence South 44°53'43" East, 28.28 feet;  
 Thence South 89°53'43" East, 96.00 feet;  
 Thence North 45°06'17" East, 28.28 feet;  
 Thence South 89°53'43" East, 50.00 feet;  
 Thence South 00°06'17" West, 244.32 feet to the beginning of a curve;  
 Thence along said curve to the right on an arc length of 63.70 feet, having a radius of 125.00 feet, a central angle of 29°11'53", a chord bearing of South 14°42'08" West, and a chord length of 63.01 feet;  
 Thence South 29°18'04" West, 53.92 feet to the beginning of a curve;  
 Thence along said curve to the left on an arc length of 23.01 feet, having a radius of 74.57 feet, a central angle of 17°40'43", a chord bearing of South 20°27'42" West, and a chord length of 22.92 feet to the northern boundary of Pristine Meadows Subdivision No. 2 according to the plat thereof filed in Book 98 of Plats at PAGES 12369 through 12386, Ada County Records;  
 Thence North 78°15'26" West, 50.00 feet along said subdivision boundary to the boundary of Reunion Subdivision No. 1 according to the plat thereof filed in Book 114 of Plats at PAGES 16928 through 16933, Ada County Records;  
 Thence along said subdivision boundary the following six (6) courses:  
 North 7°20'45" West, 15.25 feet;  
 Thence North 80°41'57" West, 134.84 feet to the beginning of a curve;  
 Thence along said curve to the left on an arc length of 160.00 feet, having a radius of 561.50 feet, a central angle of 16°19'35", a chord bearing of North 88°51'44" West, and a chord length of 159.46 feet;  
 Thence South 82°58'28" West, 191.77 feet to the beginning of a curve;  
 Thence along said curve to the left on an arc length of 48.20 feet, having a radius of 552.00 feet, a central angle of 05°00'10", a chord bearing of South 80°28'23" West, and a chord length of 48.18 feet;  
 Thence South 77°58'18" West, 318.21 feet;  
 Thence South 81°53'29" West, 32.44 feet to the beginning of a curve;  
 Thence along said curve to the right on an arc length of 165.54 feet, having a radius of 948.00 feet, a central angle of 1°00'18", a chord bearing of South 86°53'39" West, and a chord length of 165.33 feet;  
 Thence North 88°06'12" West, 227.46 feet;  
 Thence North 85°41'17" West, 143.54 feet to the POINT OF BEGINNING, containing 16.44 acres, more or less.

The public streets shown on this plat are hereby dedicated to the public. The easements shown on this plat are not dedicated to the public, however the right to use said easements is hereby reserved for the uses specifically depicted on the plat, and for any other purposes designated hereon, and no permanent structures, other than for such uses and purposes, are to be erected within the lines of said easements. All of the lots within this subdivision are eligible to receive water service from Star Sewer and Water District and Star Sewer and Water District has agreed in writing to serve all lots within the subdivision. Irrigation water has been provided from Middleton Mill Ditch Company, in compliance with Idaho Code 31-3805(1)(b). Lots within this subdivision will be entitled to irrigation water rights, and will be obligated for assessments from Middleton Mill Ditch Company.

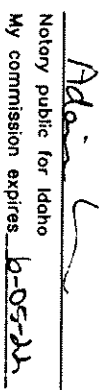
In witness whereof, I have hereunto set my hands:

  
 Corey D. Barton, President  
 Challenger Development, Inc.

**Acknowledgment**

State of Idaho }  
 County of Ada } ss.

On this 12<sup>th</sup> day of April, in the year 2021, before me, a Notary Public in and for the State of Idaho, personally appeared Corey D. Barton, known or identified to me to be the President of Challenger Development, Inc. that executed the within instrument and acknowledged to me that Challenger Development, Inc. executed the same.

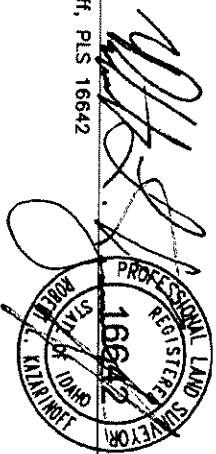
  
 Notary Public for Idaho  
 My commission expires 6-05-23



**Certificate of Surveyor**

I, Robert L. Kazaninoff, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat of Reunion Subdivision No. 3, as described in the Certificate of Owners and as shown on the attached plat is correct and was surveyed in accordance with Idaho Code relating to plats and surveys.

Robert L. Kazaninoff, PLS 16642



07 APR 2021

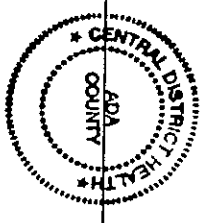


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**Approval of Central District Health**

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.

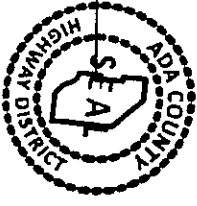
*Kelli Bending* RCHS  
 Central District Health  
 Date 4.14.2021



**Approval of Ada County Highway District**

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the 28 day of April, 2021.

*[Signature]*  
 Commission President  
 Ada County Highway District  
 Signed by *Steve S. Dorn, Director for President*



**Approval of City Engineer**

I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on this day 17, 2021 hereby approve this plat.

*[Signature]*  
 City Engineer, Star, Idaho  
 PE # 11821

**Approval of City Council**

The foregoing plat was accepted and approved this 16 day of July, 2021, by the City of Star, Idaho.

*[Signature]*  
 City Clerk, Star, Idaho



**Certificate of County Surveyor**

I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and find that it complies with the State of Idaho Code relating to plats and surveys.

*[Signature]*  
 Ada County Surveyor  
 PLS 5359  
 Date 5-18-2021



**Certificate of County Treasurer**

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.

*[Signature]*  
 Ada County Treasurer  
 Date 05/19/2021

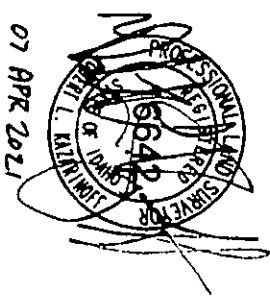


**County Recorder's Certificate**

State of Idaho }  
 County of Ada } ss. Instrument No. 2021-07417D

I hereby certify that this instrument was filed at the request of JUB Engineers, Inc. at 6 minutes past 3 o'clock P.M., this 17th day of May, 2021, in my office, and was recorded in Book 120 of Plats of Pages 18842 through 18844 Fee: \$41.00

*[Signature]*  
 Deputy  
 Ex-Officio Recorder  
 FMI McGuire



J-U-B ENGINEERS, INC.  
 750 South Beechwood Avenue, Suite 201, Boise, ID 83709-0944  
 P 208 376 7330 www.jub.com

**EXHIBIT C  
O&M MANUAL**

See attached.

Trilogy Development

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# Reunion Subdivision No. 3

*Operation & Maintenance Manual*

September 2020

Prepared by:



**J-U-B ENGINEERS, Inc.**  
250 South Beechwood Avenue, Suite 201  
Boise, ID 83709-0944  
208-376-7330 / 208-323-9336 (fax)  
[www.J-U-B.com](http://www.J-U-B.com)



# Reunion Subdivision No. 3

*Operation & Maintenance Manual*

September 2020

Prepared By:

*Engineer:*

**J-U-B ENGINEERS, Inc.**

250 South Beechwood Avenue, Suite 201

Boise, Idaho 83709-0944

208-376-7330

[www.J-U-B.com](http://www.J-U-B.com)

*Developer:*

**Trilogy Development**

9839 W. Cable Car Street

Boise, Idaho 83709

(208) 895-8858



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3.1 Purpose

3.2 Definitions

3.3 Design Overview

3.4 Maintenance Requirements

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Inspection and Maintenance Form

Maintenance Report Form

Stormwater Pond Details

Improvement Plans

## **1. Contact Information**

### **1.1 Developer:**

Trilogy Development  
9839 W. Cable Car Street  
Boise, Idaho 83709  
(208) 895-8858

### **1.2 Contractor:**

Same as Developer

### **1.3 City:**

City of Star  
10769 W. State Street  
P.O. Box 130  
Star, ID 83669  
(208) 286-7247

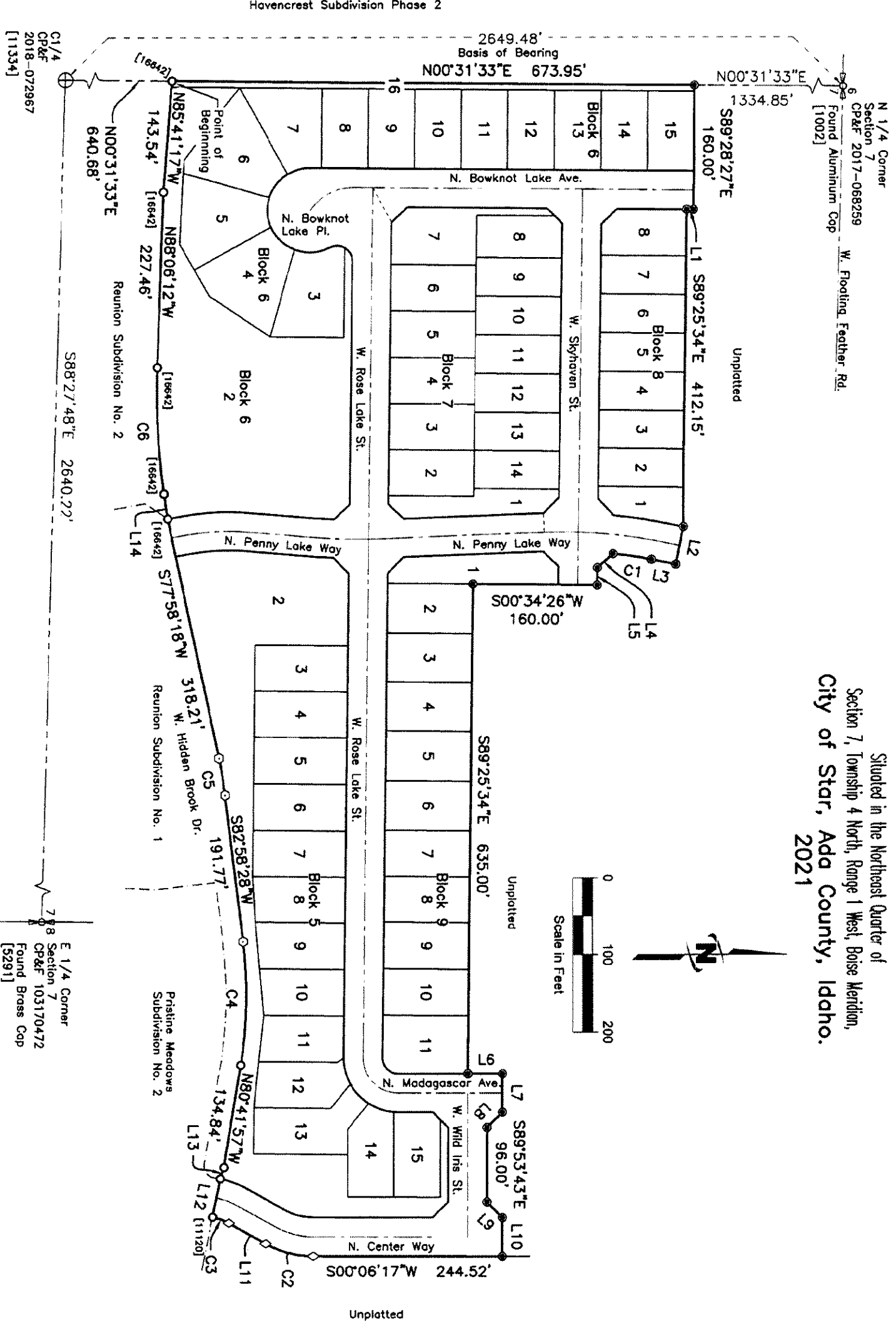
### **1.5 Engineer:**

J-U-B Engineers, Inc.  
250 S. Beechwood, Suite 201  
Boise, ID 83709  
(208) 376-7330

## 2. Final Plat

# AMENDED PLAT SHOWING Reunion Subdivision No. 3

Sited in the Northeast Quarter of  
Section 7, Township 4 North, Range 1 West, Boise Meridian,  
City of Star, Ada County, Idaho.  
2021



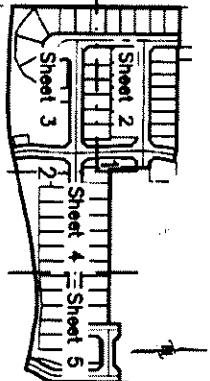
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	49.37'	585.00'	4°31'16"	S08°44'00"W	49.35'
C2	63.70'	125.00'	29°11'53"	S14°42'08"W	63.01'
C3	23.01'	74.57'	17°40'43"	S20°27'42"W	22.92'
C4	180.00'	561.50'	16°19'35"	N88°51'44"W	159.46'
C5	48.20'	552.00'	6°00'16"	S80°28'23"W	48.18'
C6	165.54'	948.00'	10°00'18"	S86°53'38"W	165.33'

Line #	Direction	Length
L1	S00°31'33"W	8.54'
L2	S78°50'22"E	50.00'
L3	S11°09'38"W	32.38'
L4	S42°02'59"E	27.09'
L5	S89°25'34"E	22.46'
L6	N00°06'17"E	44.87'
L7	S89°53'43"E	50.00'

Line #	Direction	Length
L8	S44°53'43"E	28.28'
L9	N45°06'17"E	28.28'
L10	S89°53'43"E	50.00'
L11	S29°18'04"W	53.92'
L12	N78°15'26"W	50.00'
L13	N72°06'45"W	15.25'
L14	S81°53'29"W	32.44'

- Legend**
- Subdivision Boundary Line
  - Lot Line
  - Right-of-way Line
  - Section Line
  - Center Line
  - The Line
  - Adjacent Property Line
  - Match Line
  - Utility Easement Line
  - Irrigation Easement Line
  - ACHD Drainage Easement Line
  - Gravity Irrigation Easement Line
  - Quarter-Section Corner
  - ⊕ Found Aluminum Cap, as noted
  - Found 1/2" Rebar with Plastic Cap
  - PLS 11334" Unless Noted Otherwise
  - Found 5/8" Rebar with Plastic Cap
  - PLS 11334" Unless Noted Otherwise
  - Found 5/8" Rebar capped PLS 11334" destroyed by Construction, Reset 5/8"x24" Rebar with Plastic Cap Marked "J-U-B 16642"
  - Found 5/8" Rebar capped PLS 7729" destroyed by Construction, Reset 5/8"x24" Rebar with Plastic Cap Marked "J-U-B 16642"
  - Found 1/2" Rebar capped PLS 11334" destroyed by Construction, Reset 1/2"x24" Rebar with Plastic Cap Marked "J-U-B 16642"
  - Set 1/2"x24" Rebar, with Plastic Cap Marked "J-U-B 16642"
  - Set 5/8"x24" Rebar, with Plastic Cap Marked "J-U-B 16642"
  - △ Point Not Set or Found
  - ▲ Curve Number (Typical)
  - Course Number (Typical)
  - # Lot Number (Typical)
  - (###) PLS Number Found on Monument

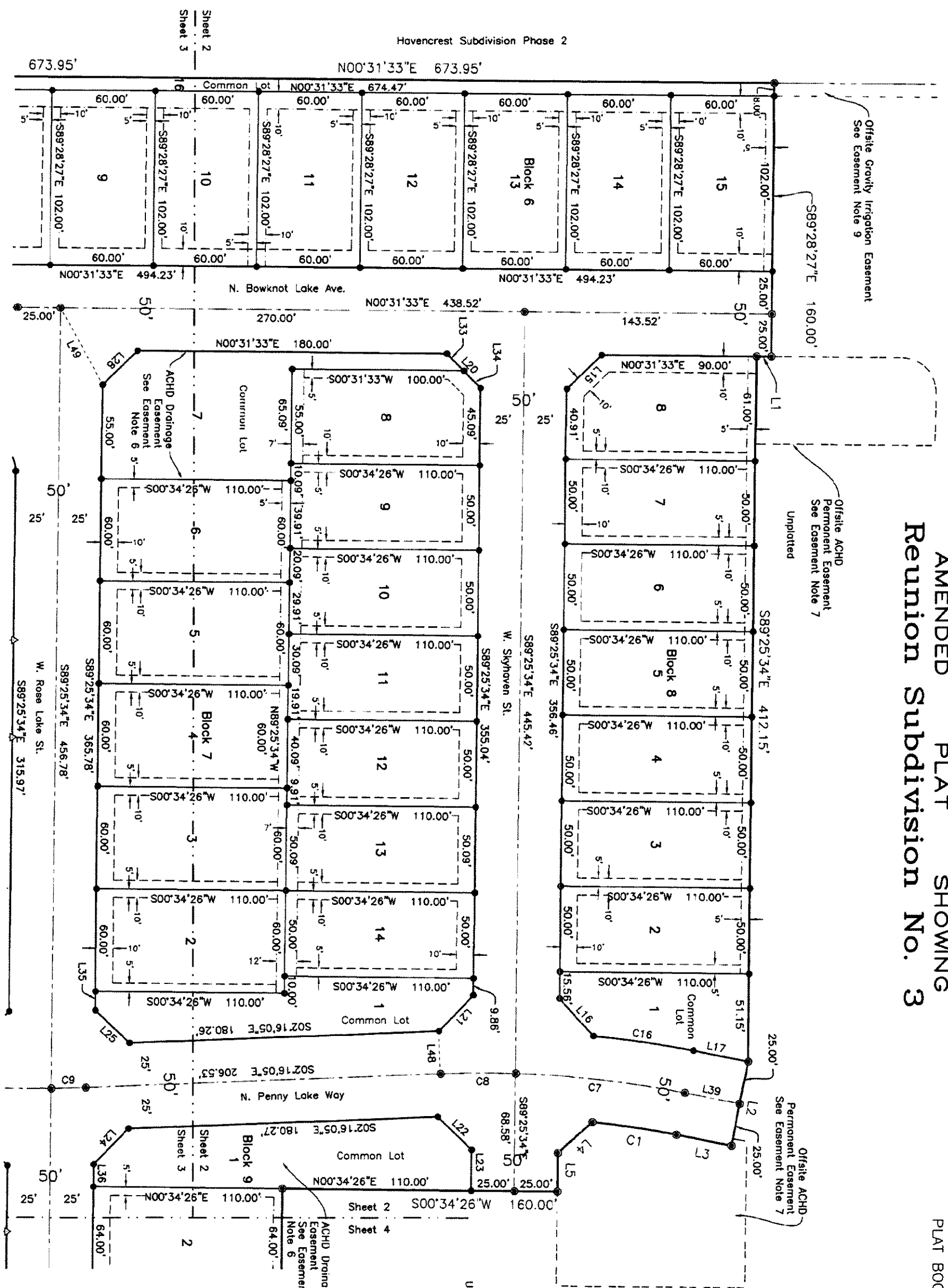
Sheet 1: Legend  
See Sheets 2-5 for Plat Map Detail  
See Sheet 6 for Notes, Easement Notes, & Reference Documents  
See Sheet 7 for Certificate of Owners  
See Sheet 8 for Certificates & Approvals



Key Map 1" = 500'

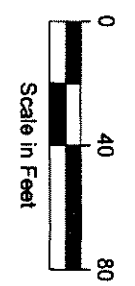
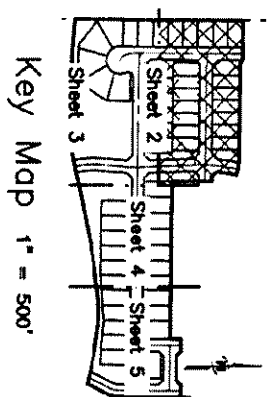
**J-U-B ENGINEERS, INC.**  
250 South Beechwood Avenue, Suite 201, Boise, ID 83709-0944  
P 208 376 7330 W www.jub.com  
JUB Project No. 10-19-018

# AMENDED PLAT SHOWING Reunion Subdivision No. 3



Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	49.37'	585.00'	4°51'16"	S08°44'00"W	49.55'
C7	99.21'	610.00'	9°19'08"	S06°30'04"W	99.10'
C8	43.76'	610.00'	4°06'35"	S00°12'47"E	43.75'
C9	19.99'	800.00'	1°25'55"	N01°33'07"W	19.99'
C16	58.81'	635.00'	5°18'22"	S08°30'27"W	58.79'

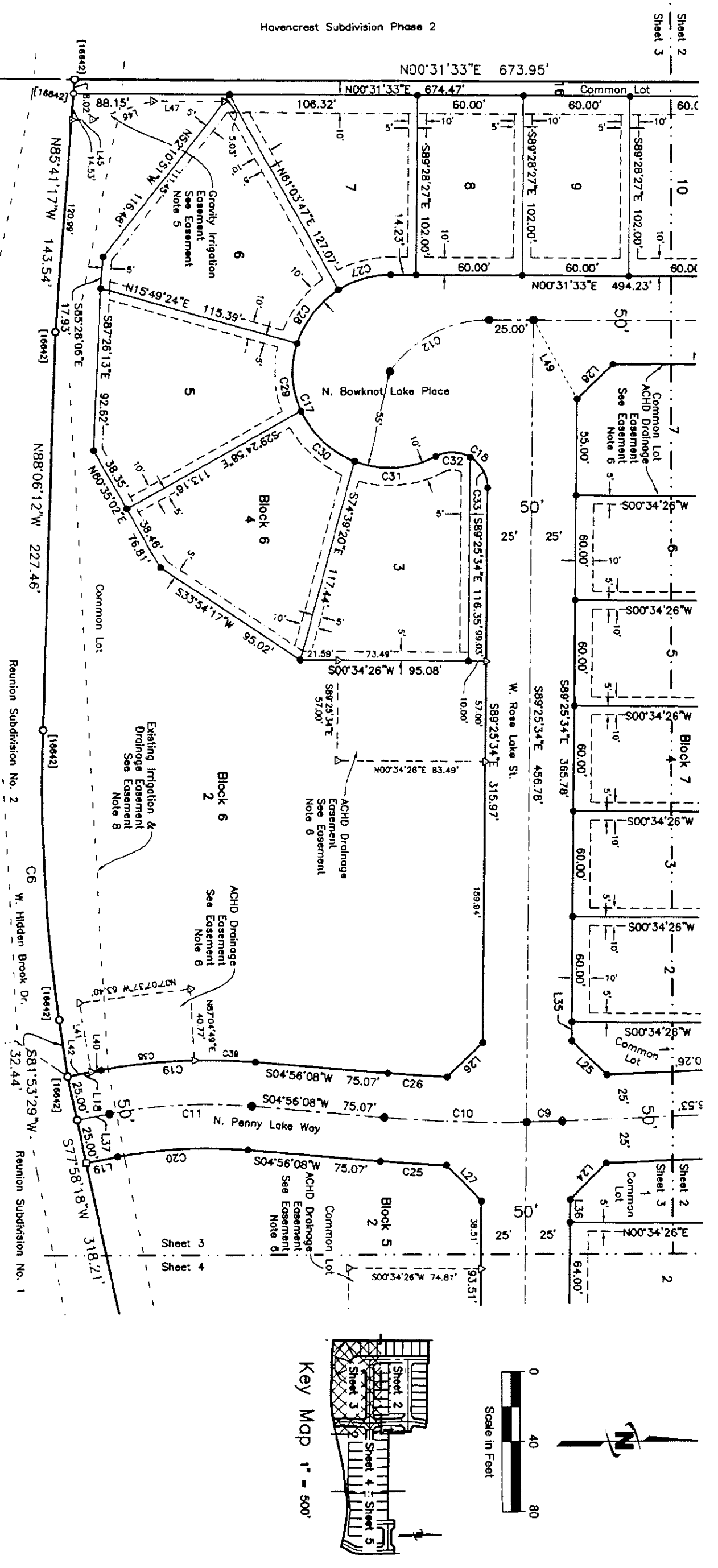
Line #	Direction	Length
L1	S00°31'33"W	8.54'
L2	S78°50'22"E	50.00'
L3	S11°09'30"W	32.38'
L4	S42°02'59"E	27.09'
L5	S89°25'34"E	22.46'
L15	N44°27'00"W	28.30'
L16	N47°45'47"E	29.34'
L17	N11°09'38"E	32.38'
L20	S45°33'00"W	28.27'
L21	N45°00'20"W	28.98'
L22	N44°09'11"E	27.57'
L23	S89°25'34"E	23.88'
L24	S45°50'49"E	28.98'
L25	N44°09'11"E	27.57'
L28	N44°27'00"W	28.30'
L33	N45°33'00"E	14.14'
L34	N45°33'00"E	14.14'
L35	S89°25'34"E	10.78'
L36	S89°25'34"E	12.96'
L39	N11°09'38"E	32.38'
L48	S87°43'55"W	25.00'
L49	S01°30'29"W	51.46'



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ENGINEERS, INC.

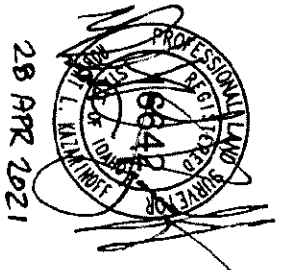
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AMENDED PLAT SHOWING  
Reunion Subdivision No. 3

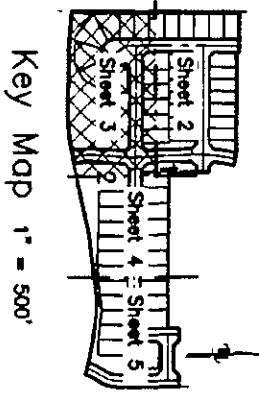
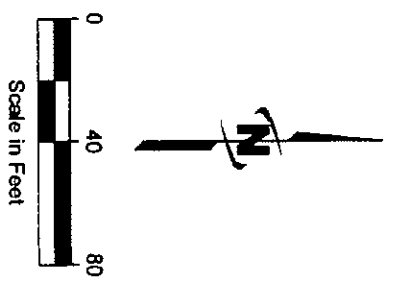


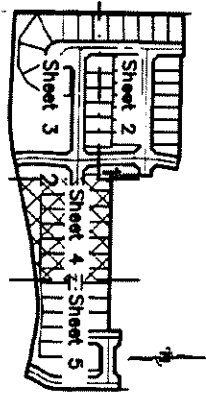
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C6	165.54'	948.00'	10700.16"	S88°53.39'W	165.33'
C8	19.89'	900.00'	1725.55"	N01°33.07'W	19.89'
C10	80.59'	900.00'	5746.16"	N02°02.58'E	80.55'
C11	80.95'	300.00'	1527.35"	S02°47.40'E	80.70'
C12	65.92'	66.73'	5836.20"	S27°46.37'E	63.27'
C17	200.01'	55.00'	2082.146"	N76°20.40'E	106.65'
C18	41.33'	20.00'	11824.38"	S31°22.07'W	34.36'
C19	87.69'	326.00'	1527.35"	S02°47.40'E	87.43'
C20	74.20'	825.00'	1827.36"	S02°47.40'E	73.98'
C25	37.49'	825.00'	736.13"	N03°38.02'E	37.48'
C26	33.66'	775.00'	728.24"	N03°41.26'E	33.68'
C27	31.25'	55.00'	3233.02"	S15°44.58'E	30.83'
C28	38.91'	55.00'	4032.17"	S82°17.38'E	38.11'
C29	39.82'	55.00'	4129.12"	N86°41.36'E	38.96'
C30	42.87'	55.00'	4439.44"	N43°37.09'E	41.80'
C31	47.16'	55.00'	4907.30"	N03°16.28'W	45.73'
C32	20.39'	20.00'	5824.39"	S01°22.07'W	19.52'
C33	20.84'	20.00'	6000.00"	S67°34.26'W	20.00'
C38	53.14'	325.00'	9222.03"	S05°50.26'E	53.08'
C39	34.56'	325.00'	6083.32"	S01°53.22'W	34.54'

Line #	Direction	Length
L18	N10°31'27"W	19.24'
L19	N10°31'27"W	17.83'
L24	S45°50'49"E	28.98'
L25	N44°09'11"E	27.57'
L26	N45°51'36"W	28.00'
L27	N46°08'21"E	28.55'
L28	N44°27'00"W	28.30'
L35	S89°25'34"E	10.78'
L36	S89°25'34"E	12.96'
L37	N10°31'27"W	18.58'
L40	S10°31'27"E	5.54'
L41	S80°15'45"W	38.83'
L42	S10°31'27"E	13.70'
L45	S01°15'27"E	11.70'
L46	S18°00'49"E	35.57'
L47	S00°31'33"W	40.18'



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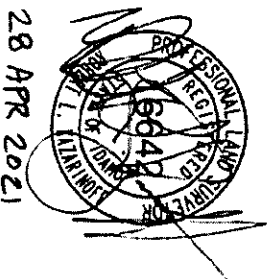
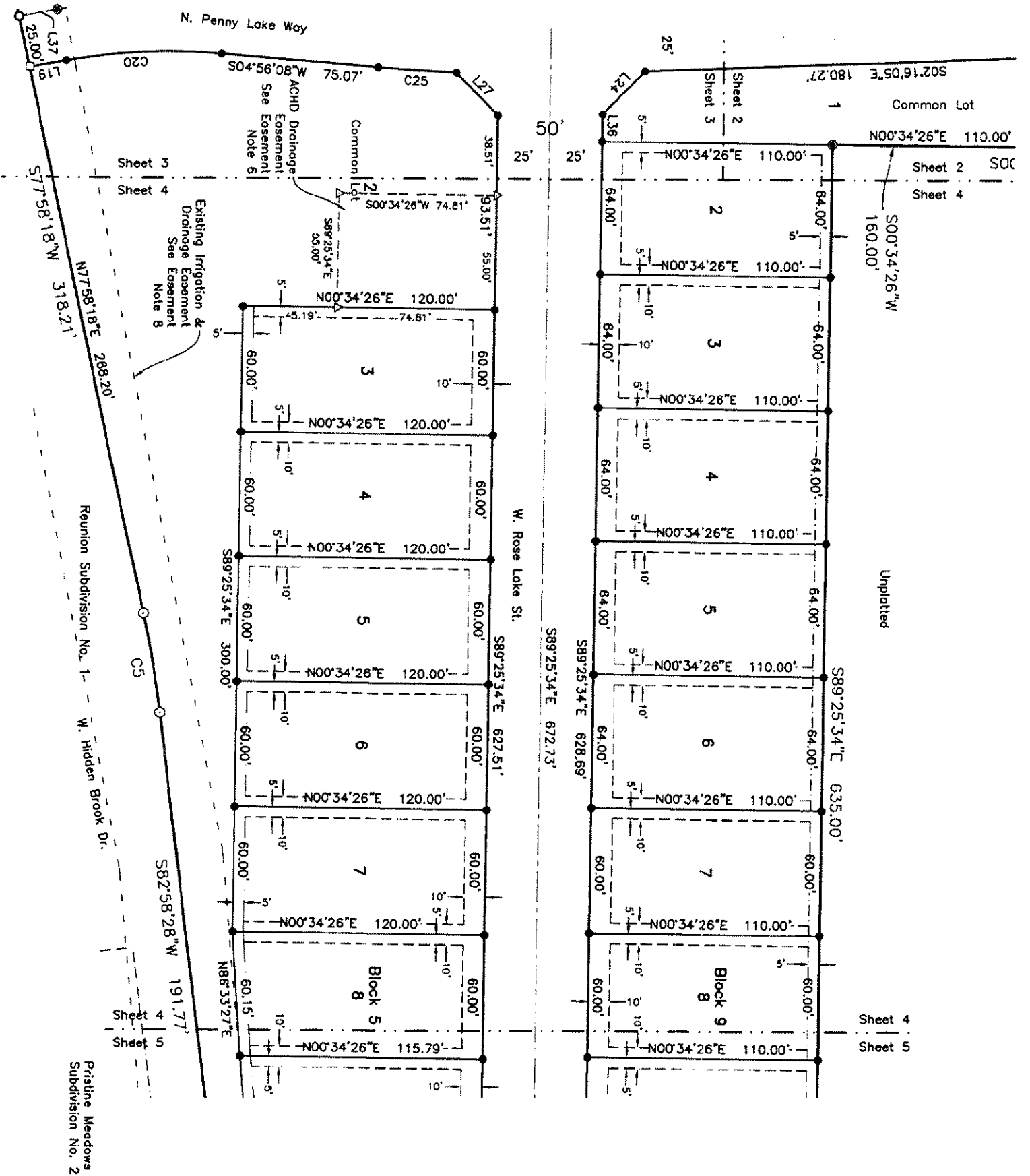
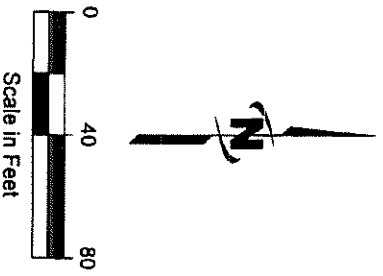




Key Map 1" = 500'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C6	48.20'	552.00'	5°00'10"	S80°28'23"W	48.18'
C20	74.20'	275.00'	15°27'35"	S07°47'40"E	73.98'
C25	37.49'	825.00'	2°36'13"	N03°38'02"E	37.48'

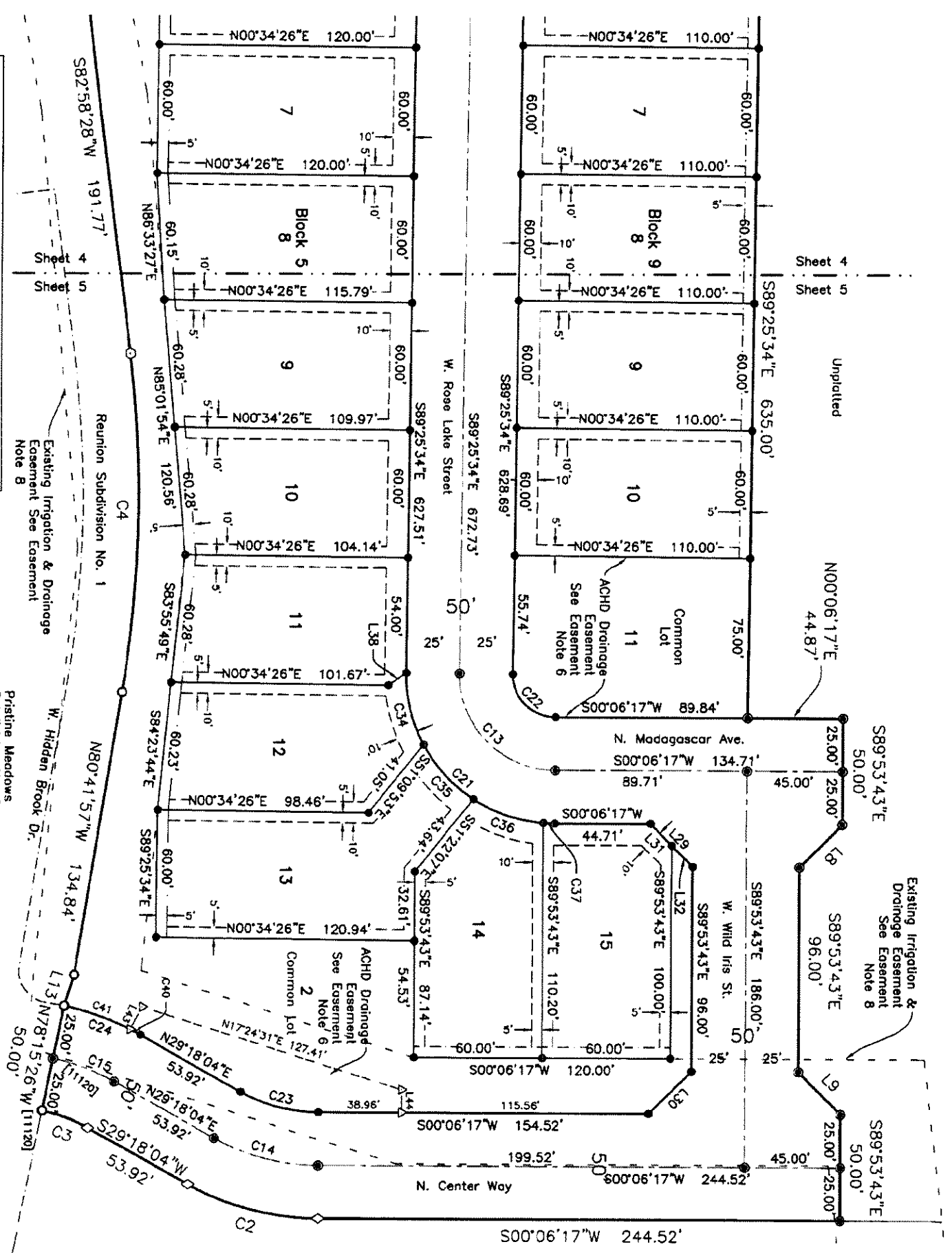
Line #	Direction	Length
L19	N10°31'27"W	17.93'
L24	S45°50'49"E	28.88'
L27	N46°06'21"E	28.55'
L36	S89°25'34"E	12.98'
L37	N10°31'27"W	18.58'



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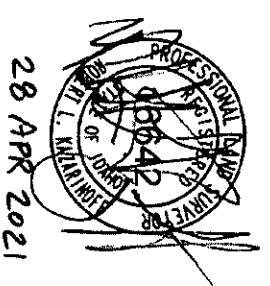


# AMENDED PLAT SHOWING Reunion Subdivision No. 3



Line #	Direction	Length
L8	S44°53'43"E	28.28'
L9	N45°06'17"E	28.28'
L13	N72°06'45"W	15.25'
L29	S45°06'17"W	28.28'
L30	S44°53'43"E	28.28'
L31	N45°06'17"E	14.14'
L32	N45°06'17"E	14.14'
L38	S35°28'45"E	10.20'
L43	N62°41'56"W	11.86'
L44	S89°53'43"E	10.84'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C2	63.70'	125.00'	29°11'53"	S14°42'08"W	63.01'
C3	23.01'	74.57'	17°40'43"	S20°27'42"W	22.92'
C4	160.00'	561.50'	16°19'35"	N88°51'44"W	159.46'
C13	71.05'	45.00'	90°28'09"	N45°20'22"E	63.90'
C14	50.96'	100.00'	29°11'53"	N14°42'08"E	50.41'
C15	30.67'	99.57'	17°38'54"	S20°28'37"W	30.55'
C22	31.56'	20.00'	90°28'09"	N45°20'22"E	28.40'
C23	38.33'	124.57'	29°11'53"	N14°42'08"E	37.81'
C24	38.33'	124.57'	17°37'49"	S20°29'09"W	38.18'
C34	35.23'	70.00'	28°50'21"	N76°09'16"E	34.86'
C35	35.00'	70.00'	28°38'52"	N47°24'40"E	34.64'
C36	35.00'	70.00'	28°38'52"	N18°45'47"E	34.64'
C37	5.30'	70.00'	4°20'04"	N02°16'19"E	5.29'
C40	5.44'	124.57'	2°30'15"	S28°02'57"W	5.44'
C41	32.89'	124.57'	15°07'36"	S19°14'02"W	32.79'



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**Notes**

1. Any re-subdivision of this plot shall comply with the applicable zoning regulations in effect at the time of re-subdivision.
2. Lot 2, Block 5; Lots 2 and 16, Block 6; Lots 1 & 11, Block 9; Lots 1 & 7, Block 7; and Lot 1, Block 8 are common lots which shall be owned and maintained by the Pristine Meadows Subdivision, Inc. (the homeowners association).
3. Direct lot access to W. Hidden Brook Dr. is prohibited.
4. Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on this plat.
5. Lots shall not be reduced in size without prior approval from the health authority.
6. No additional domestic water supplies shall be installed beyond the water system approved in the sanitary restriction release.
7. Reference is made to the public health letter on file with Ada County Recorder regarding additional restrictions.
8. This subdivision is subject to an Agreement with Middleton Mill Ditch Company, Middleton Irrigation Association, Inc., and Flake Ditch Company, Ltd. dated August 23, 2005 and recorded as Instrument Number 105121342 and as amended by Instrument Numbers 105102235 and 2018-0277195.
9. This Subdivision is located within zone X (area of Minimal Flood Hazard) as shown on FEMA National Flood Hazard FRM Panel Nos. 16001C0125 J and 16001C0130 J, Effective date 06/19/2020.
10. This subdivision is subject to a License Agreement Instrument Number 2020-079861 with Drainage District No. 2.
11. This subdivision is subject to a License Agreement Instrument Number 106053893 with Drainage District No. 2.
12. This subdivision is subject to a License Agreement Instrument Number 2020-078014 with Middleton Mill Ditch Company and Middleton Irrigation Association, Inc.
13. This subdivision is subject to a License Agreement Instrument Number 2020-011934 with Ada County Highway District.
14. This development recognizes Section 22-4503 of Idaho Code, Right to Farm Act, which states, "No agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."

**Surveyor's Narrative**

**SURVEY PURPOSE:** To determine the boundary of land as described in that Warranty Deed recorded under Instrument No. 2020-112999, Ada County Records, Idaho, and to include a portion of said land within this subdivision.

**DOCUMENTS USED:** See Reference Documents below.

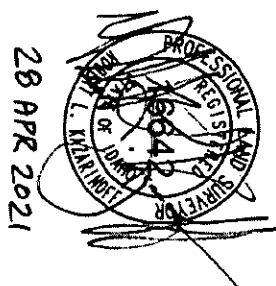
**BOUNDARY CONTROLLED BY:** The southerly boundary is controlled by Reunion Subdivision No. 1, Reunion Subdivision No. 2, and Pristine Meadows Subdivision No. 2. The west boundary is controlled by the west line of the Northeast Quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian. The northerly boundary and the easterly boundary are controlled by a boundary line created by the client reflecting how the land of hereinabove said Warranty Deed is desired to be subdivided.

**Reference Documents**

- Subdivisions:**  
 Saddle Brook Phases 1, 2, & 6; Meadowbrook No. 2; Rhinoceros Bay, Pristine Meadows No.s 1 & 2; Howcrest Phase 2; and Cleorlake Subdivision No.s 1 & 2; Reunion Subdivision No.s 1 & 2;
- Surveys:**  
 ROS 568, 5822, 5823, 8243, and 9125.
- Deeds:**  
 114002607, 2016-115038, 2019-057091 (re-recording 2019-101398) and 2020-112999.
- Easements:** 102084183, 105147588, 105121342, 106102235 & 2019-014180
- Off-site Easements:** 2020-078016 & 2020-131772

**Easement Notes**

1. All Utility Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of public & private utilities, pressurized irrigation, sewer service, cable television/data; appurtenances thereto; and lot drainage.
2. All Pressure Irrigation Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of pressure irrigation lines and appurtenances thereto.
3. Lot 2, Block 5; Lot 2, Block 6; Lots 1 & 11, Block 9; Lots 1 & 7, Block 7; and Lot 1, Block 8 are hereby designated as having a Utility Easement co-situate with said lots.
4. Lot 16, Block 6 is hereby designated as having a non-exclusive, perpetual Gravity Irrigation Easement co-situate with said Lot 16, Block 6, is appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleton Mill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the appurtenances thereto.
5. The Gravity Irrigation Easement across Lot 2, Block 6 as shown and designated hereon is non-exclusive, perpetual, appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleton Mill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the appurtenances thereto.
6. Portions of Lot 2, Block 5; Lot 2, Block 6; and all of Lots 1 & 11, Block 9; and all of Lot 7, Block 7 are servient to and contain the ACHD storm water drainage system. These lots are encumbered by that certain first amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015 as Instrument No. 2015-103256, official records of Ada County, and incorporated herein by this reference as if set forth in full (the "Master Easement"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section 40-2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system.
7. See Instrument Number 2020-131772 for Off-site ACHD Permanent Easement.
8. See License Agreement Instrument Number 2019-014180 for Existing Drainage District #2 Irrigation and Drainage Easement (Ordn #10).
9. See Instrument Number 2020-078016 for Off-site Gravity Irrigation Easement.
10. No Utility Easement shown or designated hereon shall preclude the construction and maintenance of hard-surfaced driveways, landscaping, parking, side & rear property line fences, or other such nonpermanent improvements.
11. All easements are parallel (or concentric) to the lines (or arcs) that they are dimensioned from unless otherwise noted.



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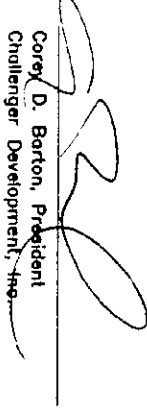
**Certificate of Owners**

Know all people by these presents: that Challenger Development, Inc., an Idaho Corporation, does hereby certify that it is the owner of that real property to be known as Reunion Subdivision No. 3, and that it intends to include said real property, as described below, in this plat: To Wit:

A parcel of land situated in the northeast quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian, City of Star, County of Ada, State of Idaho, particularly described as follows:  
 COMMENCING at the southwest corner of the northeast quarter (center quarter-section corner) of Section 7, Township 4 North, Range 1 West, Boise Meridian, from which the north quarter-section corner of said Section 7 bears North 00°31'33" East, 2849.48 feet; Thence North 00°31'33" East, 640.68 feet along the east line of the northeast quarter of said section 7 to the POINT OF BEGINNING;  
 Thence North 00°31'33" East, 673.85 feet continuing along the west line of the northeast quarter and the east boundary of Homestead Subdivision Phase 2 according to the plat thereof filed in Book 97 of Plats at Pages 12110 through 12119, Ada County Records;  
 Thence South 89°28'27" East, 160.00 feet;  
 Thence South 00°31'33" West, 8.54 feet;  
 Thence South 89°25'34" East, 412.15 feet;  
 Thence South 78°50'22" East, 50.00 feet;  
 Thence South 11°09'38" West, 32.38 feet to the beginning of a curve;  
 Thence along said curve to the left on arc length of 49.57 feet, having a radius of 585.00 feet, a central angle of 04°51'18", a chord bearing of South 08°44'00" West, and a chord length of 49.55 feet;  
 Thence South 42°02'50" East, 27.09 feet;  
 Thence South 89°25'34" East, 22.48 feet;  
 Thence South 00°34'26" West, 160.00 feet;  
 Thence South 89°25'34" East, 635.00 feet;  
 Thence North 00°06'17" East, 44.87 feet;  
 Thence South 89°53'43" East, 50.00 feet;  
 Thence South 44°53'43" East, 28.28 feet;  
 Thence South 89°53'43" East, 96.00 feet;  
 Thence North 45°06'17" East, 28.28 feet;  
 Thence South 89°53'43" East, 50.00 feet;  
 Thence South 00°06'17" West, 244.52 feet to the beginning of a curve;  
 Thence along said curve to the right on arc length of 63.70 feet, having a radius of 125.00 feet, a central angle of 29°11'53", a chord bearing of South 14°42'08" West, and a chord length of 63.01 feet;  
 Thence South 29°18'04" West, 53.92 feet to the beginning of a curve;  
 Thence along said curve to the left on arc length of 23.01 feet, having a radius of 74.57 feet, a central angle of 17°40'43", a chord bearing of South 20°27'42" West, and a chord length of 22.92 feet to the northern boundary of Pastime Meadows Subdivision No. 2 according to the plat thereof filed in Book 98 of Plats at Pages 12482 through 12486, Ada County Records;  
 Thence North 78°15'26" West, 50.00 feet along said subdivision boundary to the boundary of Reunion Subdivision No. 1 according to the plat thereof filed in Book 114 of Plats at Pages 16928 through 16933, Ada County Records;  
 Thence along said subdivision boundary the following six (6) courses:  
 North 72°06'45" West, 15.25 feet;  
 Thence North 80°41'57" West, 134.84 feet to the beginning of a curve;  
 Thence along said curve to the left on arc length of 160.00 feet, having a radius of 561.50 feet, a central angle of 16°19'35", a chord bearing of North 88°51'44" West, and a chord length of 159.46 feet;  
 Thence South 82°56'28" West, 191.77 feet to the beginning of a curve;  
 Thence along said curve to the left on arc length of 48.20 feet, having a radius of 552.00 feet, a central angle of 05°00'10", a chord bearing of South 80°28'23" West, and a chord length of 48.18 feet;  
 Thence South 77°58'18" West, 318.21 feet;  
 Thence South 81°53'29" West, 32.44 feet to the beginning of a curve;  
 Thence along said curve to the right on arc length of 165.54 feet, having a radius of 948.00 feet, a central angle of 10°00'16", a chord bearing of South 86°53'39" West, and a chord length of 165.33 feet;  
 Thence North 88°06'12" West, 227.46 feet;  
 Thence North 85°41'17" West, 143.54 feet to the POINT OF BEGINNING, containing 16.44 acres, more or less.

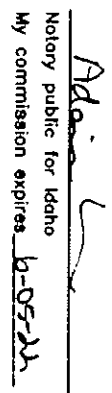
The public streets shown on this plat are hereby dedicated to the public. The easements shown on this plat are not dedicated to the public, however the right to use said easements is hereby reserved for the uses specifically depicted on the plat, and for any other purposes designated hereon, and no permanent structures, other than for such uses and purposes, are to be erected within the lines of said easements. All of the lots within this subdivision are eligible to receive water service from Star Sewer and Water District and Star Sewer and Water District has agreed in writing to serve all lots within the subdivision. Irrigation water has been provided from Middleton Mill Ditch Company, in compliance with Idaho Code 31-3905(1)(b). Lots within this subdivision will be entitled to irrigation water rights, and will be obligated for assessments from Middleton Mill Ditch Company.

In witness whereof, I have hereunto set my hands:

  
 Corey D. Barton, President  
 Challenger Development, Inc.

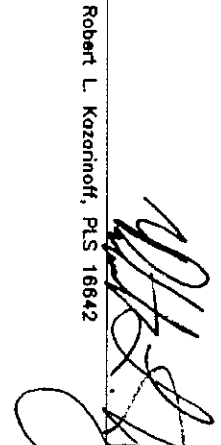
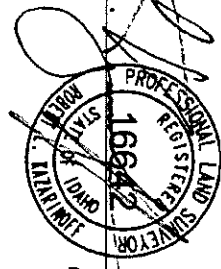
**Acknowledgment**


State of Idaho }  
 County of Ada } ss.  
 On this 12th day of April, in the year 2021, before me, a Notary Public in and for the State of Idaho, personally appeared Corey D. Barton, known or identified to me to be the President of Challenger Development, Inc. that executed the within instrument, and acknowledged to me that Challenger Development, Inc. executed the same.

  
 Notary public for Idaho  
 My commission expires 6-05-21



**Certificate of Surveyor**  
 I, Robert L. Kazanoff, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat of Reunion Subdivision No. 3, as described in the Certificate of Owners and as shown on the attached plat is correct and was surveyed in accordance with Idaho Code relating to plats and surveys.

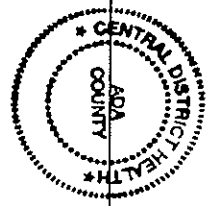
  
 Robert L. Kazanoff, PLS 16642  
  
 07 APR 2021



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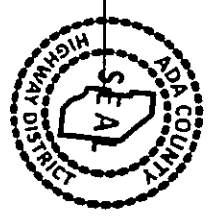
**Approval of Central District Health**  
 Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.

*Roni Becking* RCHS  
 Central District Health  
 Date 4.14.2021



**Approval of Ada County Highway District**  
 The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the 26 day of April, 2021.

*[Signature]*  
 Commission President  
 Ada County Highway District  
 Signed by *[Signature]*, Director for President



**Approval of City Engineer**  
 I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on this day Apr 17, 2021 hereby approve this plat.

*[Signature]*  
 City Engineer, Star, Idaho  
 PE # 11821

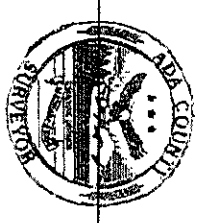
**Approval of City Council**  
 The foregoing plat was accepted and approved this 16 day of July, 2019, by the City of Star, Idaho.

*[Signature]*  
 City Clerk, Star, Idaho



**Certificate of County Surveyor**  
 I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and find that it complies with the State of Idaho Code relating to plats and surveys.

*[Signature]*  
 Ada County Surveyor  
 PLS 5359  
 Date 5-18-2021



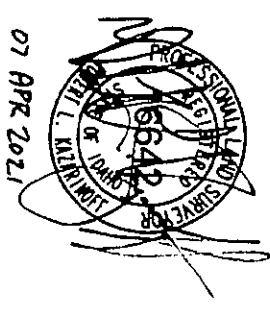
**Certificate of County Treasurer**  
 I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.

*[Signature]*  
 Ada County Treasurer  
 Date 05/19/2021



**County Recorder's Certificate**  
 State of Idaho }  
 County of Ada } Instrument No. 2021-074170  
 I hereby certify that this instrument was filed at the request of JUB Engineers, Inc. of 6 minutes past 3 o'clock P.M., this 17th day of May, 2021, in my office, and was recorded in Book 120 of Plats of Pages 1842 through 1844.  
 Fee: \$41.00

*[Signature]*  
 Deputy  
 Ex-Officio Recorder  
 Phil McMane



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### **3. Storm System**

This manual outlines the duties to be performed by the Ada County Highway District (ACHD) and the Home Owner's Association (HOA) and its members for the maintenance of the site facilities including parking areas, landscape areas, and stormwater facilities located within the development.

This section is intended to familiarize the HOA with the stormwater system design, function, and maintenance to ensure that the system is adequately maintained and that stormwater runoff does not create a hazard within the community.

Every stormwater system needs to be properly maintained to reduce or eliminate costly repair problems and to properly treat stormwater. The lack of proper maintenance is the most common cause of stormwater system failure.

The homeowners association will be responsible for administering the light maintenance requirements for Reunion Subdivision Phase 3 until another qualified and approved organization or agency accepts this responsibility, as more particularly described in section 3.4.

#### **3.1 Purpose**

The primary purpose of the stormwater facilities is to provide collection, conveyance, storage and discharge of stormwater runoff. The stormwater structures located within the development consist of a pond, storm drain piping, manholes, and concrete sand and grease traps. The sand and grease trap structures are designed to provide additional water quality treatment of the storm water discharging from the underground drainage pipe system prior to entering the stormwater storage facility. The stormwater pond and seepage beds are designed to contain storm water runoff generated during a 100-year, 24-hour storm event until the stormwater infiltrates through the storage facility.

#### **3.2 Definitions**

##### **LIGHT MAINTENANCE**

The maintenance required to routinely maintain common areas. Typically this maintenance consists of mowing, weeding, hedge trimming, fertilizing, minor excavation, raking, and regularly monitoring all areas where stormwater runoff is present. Unless specifically excluded herein, all light maintenance shall be performed by the homeowners association or its designated representative.

##### **HEAVY MAINTENANCE**

Any labor required to repair or regularly maintain all structures not maintained by the homeowners association. These structures include, but are not limited to, curb inlets, manholes and storm drain pipe. In general, these structures are located either within the public right-of-way or within the stormwater master perpetual easement (see attached final plat) and will be maintained at the discretion of the Ada County Highway District (ACHD).

### **3.3 Design Overview**

Generally throughout the site there are curb inlets which have been placed within the roadways to capture the stormwater at designed low points. At this point the water is directed to an underground pipe network consisting of storm drain pipes and manholes to transmit the water to a storm water treatment system where oils and solids are separated from the stormwater before allowing the water to outfall into a stormwater pond. The ponds are shown on the improvement plans contained in section 4 of this manual.

### **3.4 Maintenance Requirements**

For the various maintenance items involved, periodic inspections are to be made of the sand and grease traps and storm drain facilities, in addition to any work required in each of the categories below. These inspections shall be performed and documented using the schedule and maintenance report found in the appendix.

#### **STORMWATER PONDS**

Drainage ponds are composed of sloped banks down to a depressed area in which stormwater percolates into the ground. The landscaping, Per the ACHD Revegetation Manual may consist of grassy lawn and will require regular mowing and weed control. The entire area within the Pond is to be kept in a weed free and healthy state. No grass clippings are to accumulate within the pond or area immediately surrounding it. This maintenance is to be done a minimum of once every week.

If during the periodic inspections the pond are noted to hold water for long periods of time, heavy maintenance may be necessary. The pond is located within a common area of the development.

The primary purpose for the pond is stormwater management. Landscaping and/or amenity features such as park benches or monuments may need to be removed for heavy maintenance as required. Replacement of these items will be the responsibility of the homeowners association.

#### **MOWING AND LANDSCAPE MAINTENANCE:**

The HOA shall perform the normal routine surface maintenance such as lawn mowing, weed control, and ensuring proper irrigation of landscaping and lawn areas. Weed control shall be applied at least annually utilizing a weed control. Application shall be by broadcast or spray methods following the manufacturer's recommended application rate. Care should be taken to sweep up any particles broadcast to surrounding concrete and asphalt surfaces after each application.

The grass within the site common areas and in public right of way must also be maintained in a good-healthy condition. Grass clippings should be swept or blown from surrounding concrete and asphalt surfaces after each mowing. If blown, clippings will be blown back onto grassed areas for decomposition.

**TRASH CLEANUP:**

During the periodic inspections, any trash found within the boundary of the parking areas, swale areas, discharge manholes and all frontage landscape areas shall be collected and disposed of in a safe and legal manner.

**GREASE, OIL, AND GAS:**

During the periodic inspections, the parking areas and stormwater pond areas shall be checked for any evidence of grease, oil or gas spillage. Small drops and spots, less than 6" in diameter will be absorbed using appropriate absorbent pads and materials. Larger spills may require professional assistance from duly licensed professionals. If these or other chemicals are found, the HOA shall clean up the spills appropriately according to local and State environmental and safety requirements.

**PAVEMENT CLEANING:**

The paved areas will be inspected for general trash and debris; oils, gas and grease; and dust and sediment. General trash and debris will be collected and disposed of in accordance with local and State requirements. Grease, oil and gas will be addressed as described above. Sediment will be swept up and disposed of in a safe and legal manner.

The following guidelines shall govern the cleaning process:

- Sweep when weather is conducive to sweeping.
- Inspect inlet grates for debris. Stop sweeper and hand clean debris away from grates, then sweep with the sweeper.
- When maintenance of weeds in the gutter is necessary, sweeping should occur the same day after the weed trimming operations; or weed trimmings should be manually cleaned up and disposed of.
- Small objects that are blocking the sweeping operations should be removed prior to sweeping. Sweeping should occur when the parking lot is free from large objects such as parked vehicles.
- Areas where trees or other obstructions do not allow the use of a mechanical sweeper shall be hand swept.

Sweeping should occur at least quarterly with one occurrence being during the fall after most leaves have fallen from the trees.

## **4. Attachments**

## MINIMIZING DIRECTLY CONNECTED IMPERVIOUS AREAS (DCIAs)

Stormwater system feature	✓	Are any of these conditions present?	Problem	Recommendation
Landscaped or natural area		Sediment accumulation exceeds 2" in depth	Sediment buildup on vegetation	Remove sediment carefully to avoid damaging the existing vegetation. Dispose of sediment properly.
		Grass becomes excessively tall or weeds invade the area	Tall grass or weeds	Mow vegetation regularly. Grass should be mowed to a height between 4-9" for best storm water treatment.  Remove weeds, if necessary. Call the University of Idaho Cooperative Extension System for information on eradicating weeds in storm water systems. (Ada County) Phone: (208) 377-2107 Fax: (208) 375-8715 e-mail: <a href="mailto:ada@uidaho.edu">ada@uidaho.edu</a>
		Trash and debris are present	Trash and debris accumulation	Remove waste and dispose of properly.
		Offensive color, odor, or sludge is present	Unknown or uncharacteristic substance	Remove substance and eliminate its source. If you are unsure whether the substance is hazardous, take a sample or contact a qualified hazardous waste consultant for assistance.
		Erosion or scouring is evident	Excessive flows or flow channelization	Re-grade and re-seed area to eliminate high velocity or channelized flows. Overseed areas where bare spots are present. Contact a licensed contractor for "heavy maintenance"



Inspection Checklist for Basins & Swales (Revised 5/12/17)

Basin Location				
	Inspection 1	Inspection 2	Inspection 3	Inspection 4
Date & Time:				
Site Status:				
Approx. Date & Amount of Last Rainfall:				
Inspector				

Copy of this complete inspection checklist along with pictures to file

Type of Basin:  Retention  Detention  Wet  Swale

Provide a copy of the O&M Plan with this checklist.

Note: This form may be used for four different inspections

Maintenance Item	Pass/Fail				Comments
	1	2	3	4	
Irrigation (Daily)					N/A if not applicable
Control of nuisance water from lots and common areas to street					
Control of watering within basin landscape					
Retention/Detention Basins & Swales (Monthly, After Storms)					N/A if not applicable
Remove cobble or other non-draining material from sand infiltration areas.					
Remove sediment accumulation from sand infiltration areas, rake/till sand for positive drainage					
Remove litter and debris					
Low flow channels clear of obstructions					
Standing water or wet spots, source of water?					
Wet Basins (Monthly, After Major Storms)					N/A if not applicable
Undesirable vegetative growth					
Floating or floatable debris removal required					
Visible pollution					
Shoreline problem					

Inspection Checklist for Basins & Swales (Revised 5/12/17)

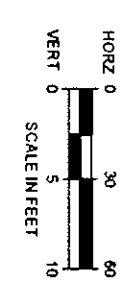
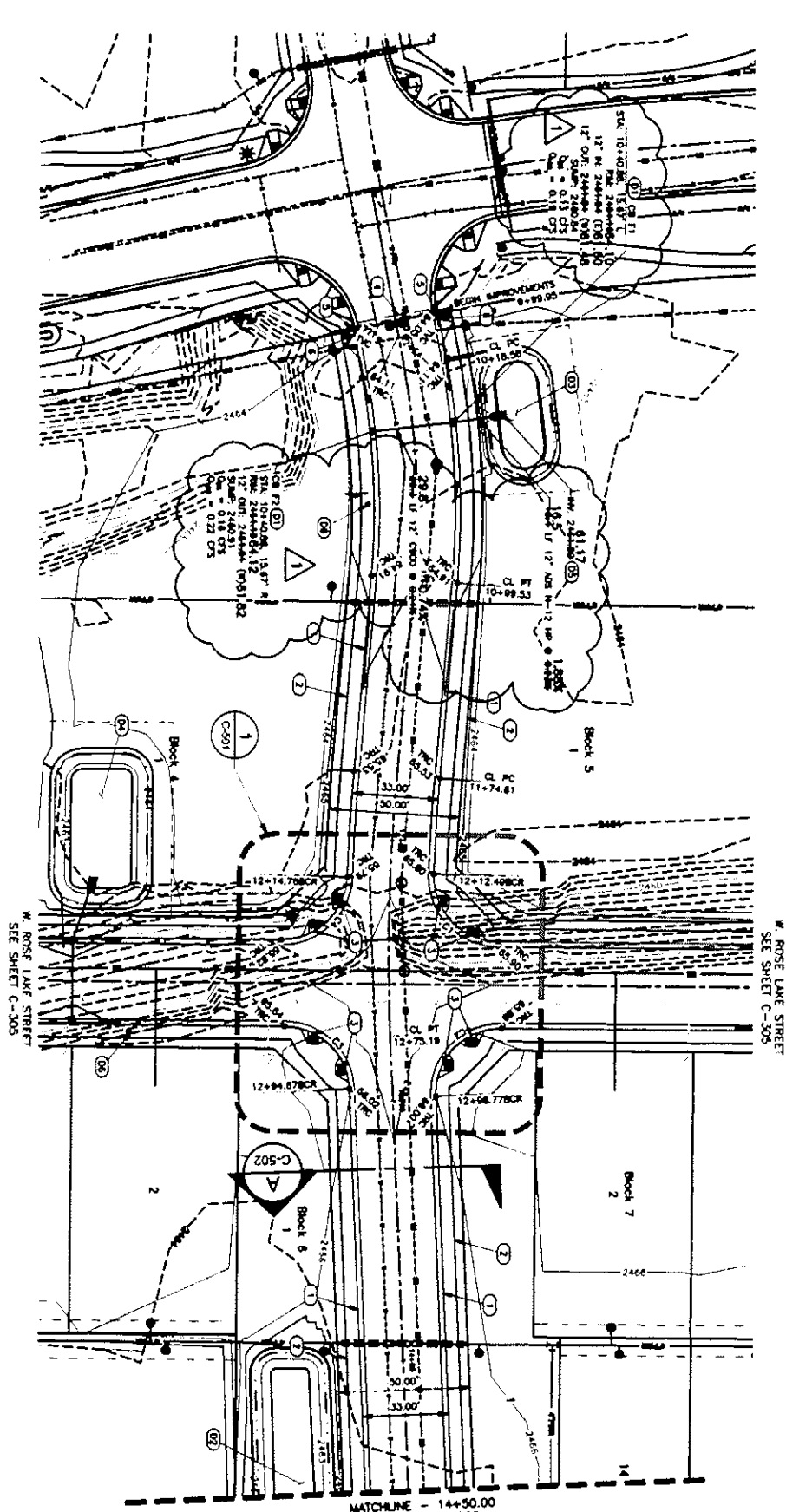
Maintenance Item	Pass/Fail				Comments
	1	2	3	4	
Other (specify)					
Basin Sediment Forebays (monthly, After Major Storms)					N/A if not applicable
Sedimentation noted					
Sediment cleanout when depth > 50% design depth					
Basin Primary Cell (Annual, After Major Storms)					
Vegetation and ground cover adequate					
Weed Control					
Unauthorized planting					
Slope protection/erosion					
Animal burrows					
Condition of overflow spillway (if applicable)					
Seeps/leaks					
Inlet pipe trash rack					
Endwalls/Headwalls					
Energy dissipation at inlet (riprap or concrete)					
Other (specify)					
Basin Riser and Principal Spillway Outfall (Annual)					N/A if Not Applicable
Type: <input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Corrugated pipe <input type="checkbox"/> Other					
Low flow orifice obstructed					
Low flow trash rack					
• Debris removal necessary					
• Corrosion control					
Weir trash rack maintenance					
• Debris removal necessary					
• Corrosion control					
Excessive sediment accumulation in or around riser					

Inspection Checklist for Basins & Swales (Revised 5/12/17)

Maintenance Item	Pass/Fail				Comments
	1	2	3	4	
Condition of riser and barrels					
<ul style="list-style-type: none"> <li>• Minor spalling (&lt;1")</li> </ul>					
<ul style="list-style-type: none"> <li>• Major spalling (rebars exposed)</li> </ul>					
<ul style="list-style-type: none"> <li>• Joint failures</li> </ul>					
<ul style="list-style-type: none"> <li>• Water tightness</li> </ul>					
Outfall channels functioning					
Other (specify)					
Other (Monthly)					
Encroachment on pond or easement area					
Complaints from residents					
Aesthetics					
<ul style="list-style-type: none"> <li>• Grass growing required</li> </ul>					
<ul style="list-style-type: none"> <li>• Other (specify)</li> </ul>					
Any public hazards (specify)					
Constructed Wetland Area (Annual)					
Vegetation healthy and growing					
Evidence of invasive species					
Excessive sedimentation in wetland area					
Other (specify)					



## **STORMWATER POND PLANS**



**NOTES TO CONTRACTOR**

1. ALL SPOT ELEVATIONS TO EXTENDED ACTUAL ELEVATION.

2. STAKE ELEVATIONS ARE HORIZONTAL (EO) UNLESS NOTED OTHERWISE.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF STAR, IDAHO, STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.

4. THE CONTRACTOR SHALL DETAIL THE EXISTING UTILITY LINES TO BE MAINTAINED AND SHALL PROVIDE PROTECTIVE MEASURES TO PREVENT DAMAGE TO THESE UTILITIES.

5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF STAR, IDAHO, STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.

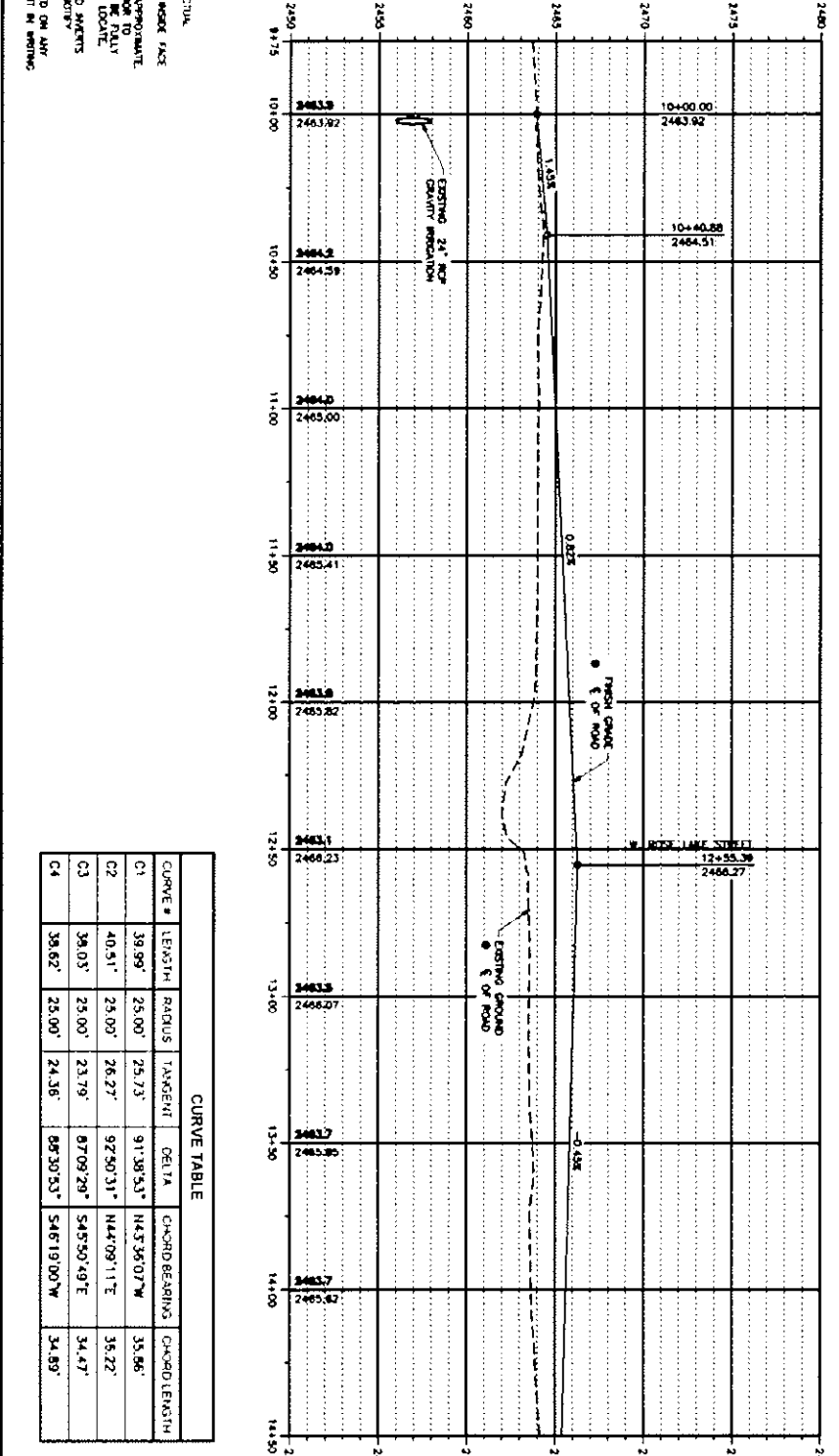
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.

7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF STAR, IDAHO, STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.

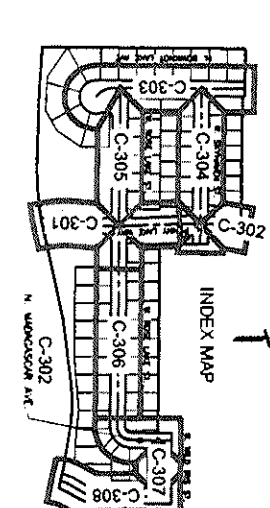
8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.

9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF STAR, IDAHO, STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.

10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.



CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.99'	25.00'	25.73'	91.30°53'	N43°50'07"W	35.96'
C2	40.51'	25.00'	26.27'	92°50'31"	N44°09'11"E	35.22'
C3	38.03'	25.00'	23.79'	87°09'29"	S45°50'49"E	34.47'
C4	38.62'	25.00'	24.38'	88°30'53"	S46°19'00"W	34.89'



- ROADWAY NOTES**
- (1) 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO ISPMC SD-702
  - (2) 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO ISPMC SD-709, 20X MAX. CROSS SLOPE.
  - (3) PAVED SIDEWALK TYPE 1.5" PER ACHD SUPPLEMENT TO ISPMC SD-712 WITH DETACHABLE WORKMAN PER ACHD SUPPLEMENT TO ISPMC SD-712
  - (4) SAW CUT PAVEMENT 12" WIDE EXISTING TOED PER ACHD SUPPLEMENT TO ISPMC SD-703
  - (5) MATCH EXISTING CURB, GUTTER, AND SIDEWALK
  - (6) 5" CURB TRANSITION FROM 6" VERTICAL CURB TO 3" ROLLED CURB
- DRAINAGE NOTES**
- (A) TYPE 'N' CATCH BASIN PER ACHD SUPPLEMENT TO ISPMC SD-604A
  - (B) STORM POND 0'
  - (C) STORM POND 1'
  - (D) STORM POND 4'
  - (E) PREPARED/PAVED END SECTION WITH ROCK RIP RAP 4"X4" WITH 4" TO 8" COBBLES 1" DEEP
  - (F) COMMUNITER OBSERVATION WELL PER ACHD SUPPLEMENT TO ISPMC SD-627

**RECORD DRAWINGS**

These record drawings have been prepared based on information provided during the construction process. The contractor is responsible for providing accurate information and for any errors or omissions. The engineer's responsibility is limited to the design of the project and does not extend to the construction process. The contractor shall be responsible for any damage to existing utilities or structures during construction. The engineer shall not be responsible for any damage to existing utilities or structures during construction.

<p><b>REUNION SUBDIVISION NO. 3</b>  <b>CITY OF STAR, IDAHO</b></p> <p>STREET PLAN AND PROFILE          N. PENNY LAKE WAY</p>	<p><b>J-U-B ENGINEERS, INC.</b>          2760 W. Excursion Ln.          Suite 400          Meridian, ID 83642</p> <p>Phone: 208.376.7330          www.jub.com</p>	<p><b>JUB ENGINEERS, INC.</b></p>	<p>11704          11704          11704</p>
<p><b>C-301</b></p>	<p>11704          11704          11704</p>	<p>11704          11704          11704</p>	<p>11704          11704          11704</p>

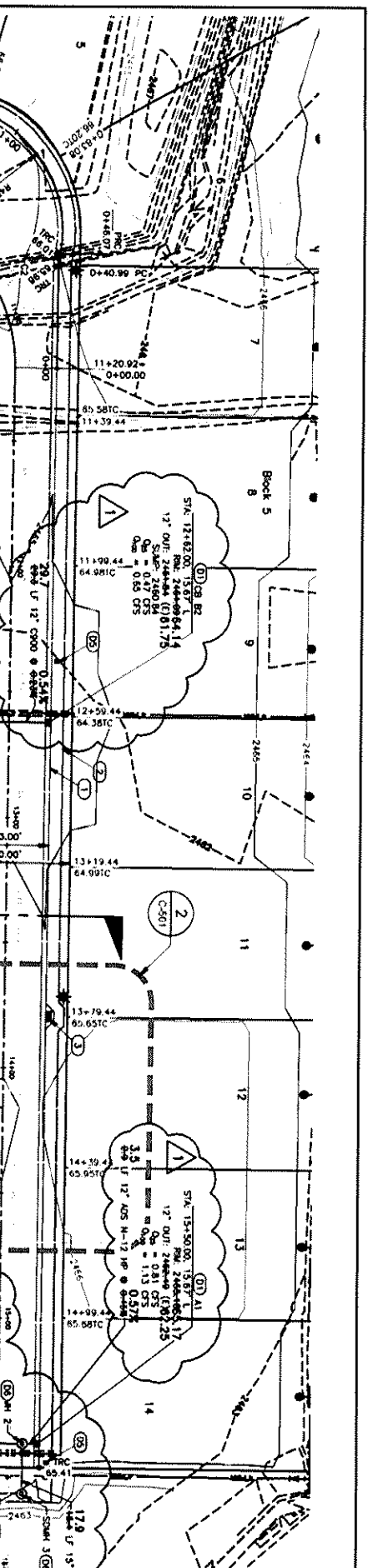
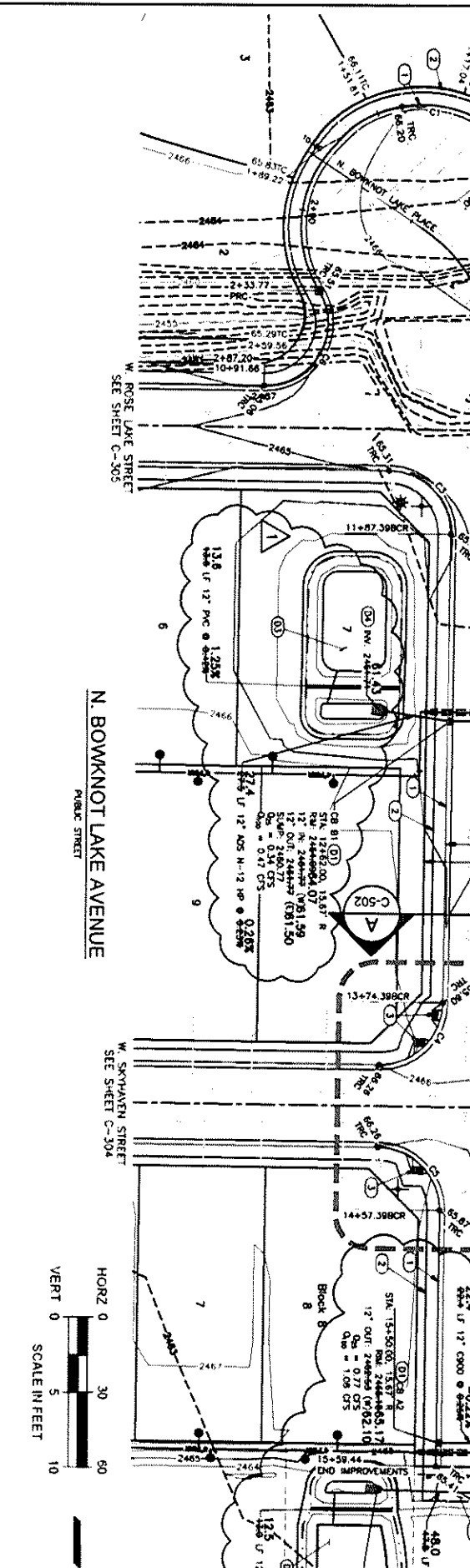
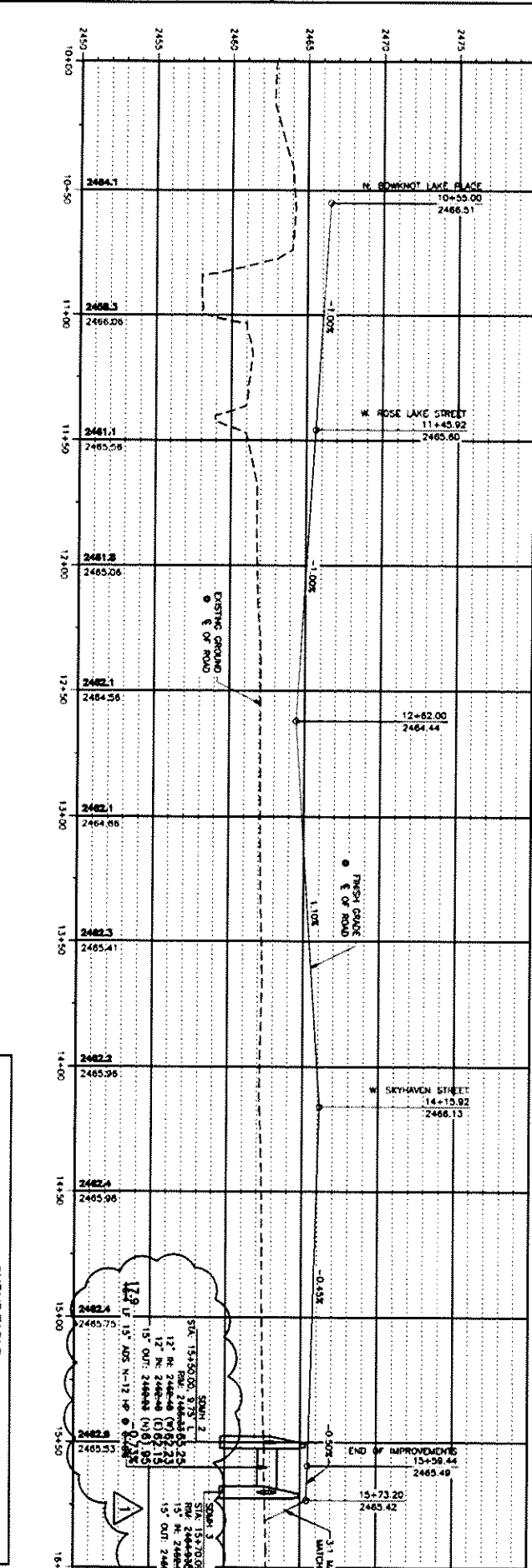


**NOTES TO CONTRACTOR**

1. ADD 2400 FEET TO ALL SPOT ELEVATIONS TO OBTAIN ACTUAL ELEVATION.
2. TO BEER LIVING ARE INCONVENIENT (CO) UNLESS FROM HOUSE FACE TO BEER LIVING ARE INCONVENIENT (CO) UNLESS FROM HOUSE FACE.
3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS PRIOR TO ANY EXCAVATION. RESPONSIBILITY FOR ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
4. ANY ADJUSTMENT OR PRESERVE SAID UTILITIES TO BE MADE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND NOT AFTER.
5. NUMBER OF ANY DISCREPANCY OF 1/4" SHALL NOT BE USED ON ANY PROJECT OR EXTENSION OF PROJECT(S) EXCEPT BY AMENDMENT IN WRITING FROM THE ENGINEER.



CURVE #	LENGTH	BEARINGS	TANGENT	DELTA	CHORD BEARINGS	CHORD LENGTH
C1	187.70'	48.00'	118.65'	224.03 CA'	N90°08'07"E	88.90'
C2	5.08'	25.00'	2.25'	11°38.06'	N62°20'36"E	5.07'
C3	39.25'	25.00'	24.98'	89°57'06"	S44°27'00"E	35.34'
C4	39.29'	25.00'	25.02'	90°02'54"	S45°31'00"W	35.37'
C5	39.25'	25.00'	24.98'	89°57'06"	S44°27'00"E	35.34'
C6	53.44'	25.00'	45.54'	122°27'51"	S29°20'31"W	43.83'



**ROADWAY NOTES**

1. 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO ISPMC SD-702
2. 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO ISPMC SD-709, 2.0% WALK CROSS SLOPE.
3. PEDESTRIAN RAMP TYPE 'B5' PER ACHD SUPPLEMENT TO ISPMC SD-712H WITH DETECTABLE MANNINGS PER ACHD SUPPLEMENT TO ISPMC SD-712
4. BACKFILL GRAVEL TO PROTECT MANHOLE FOR FUTURE PHASE

**DRAINAGE NOTES**

1. TYPE 'N' CATCH BASIN PER ACHD SUPPLEMENT TO ISPMC SD-604
2. STORM POND A
3. STORM POND B
4. PREPARED/CATCH BASIN SECTION WITH ROCK RIP RAP 4"X4" DEEP WITH 4" TO 8" COBBLES 1" DEEP
5. GROUNDWATER OBSERVATION WELL PER ACHD SUPPLEMENT TO ISPMC SD-622
6. 48" x 9" MANHOLE PER ISPMC SD-611

**RECORD DRAWINGS**

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO

STREET PLAN AND PROFILE  
 N. BOWKNOT LAKE AVE.

REVISION

NO.	DESCRIPTION	REVISED DATE
1	RECORD DRAWINGS	REVISED DATE

DATE: 11/7/2010  
 11704  
 1/8/2010

**JUB ENGINEERS, INC.**  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com

**RECORD DRAWINGS**

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REVISION

NO.	DESCRIPTION	REVISED DATE
1	RECORD DRAWINGS	REVISED DATE

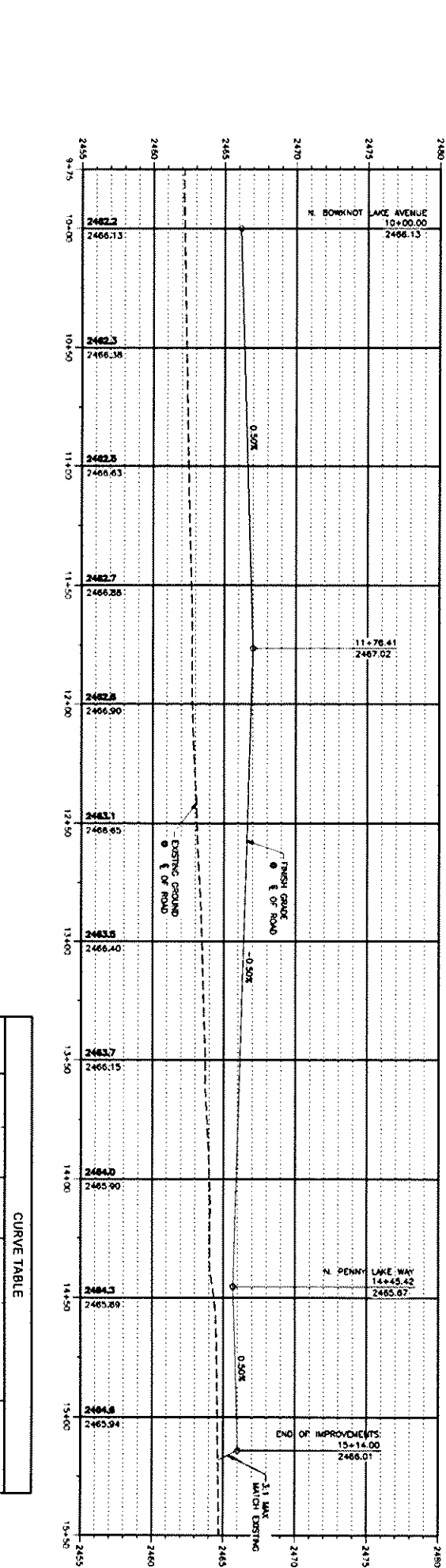
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 11704  
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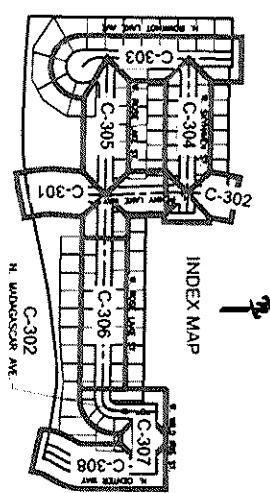
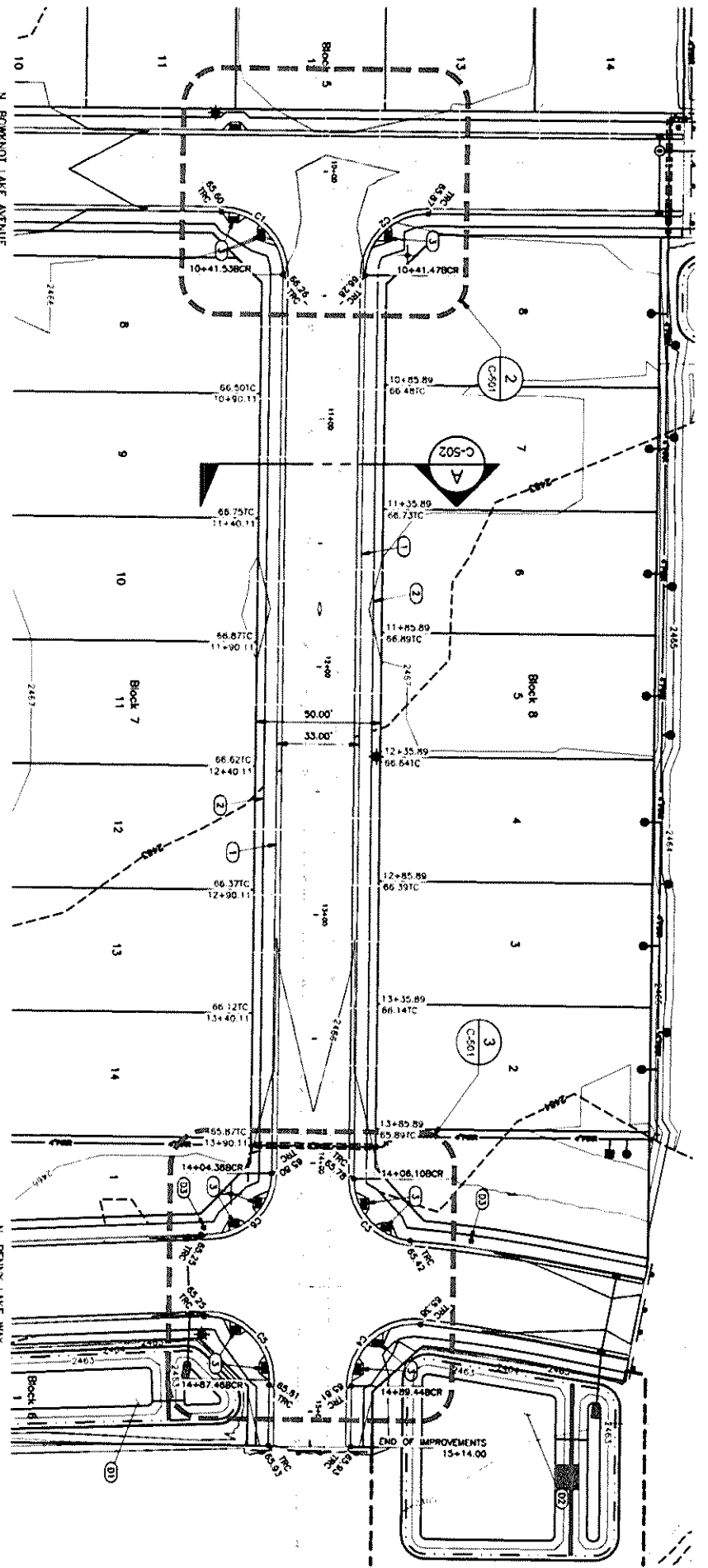


**NOTES TO CONTRACTOR**

1. AND 2460 FEET TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL ELEVATION. USING THE HORIZONTAL (20) WEATHERED FROM INDEX FACE TO INDEX FACE OF STRUCTURES.  
 2. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS FROM TOPOGRAPHIC RECORDS OR BY EXCAVATION PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND NOTIFY THE CITY ENGINEER OF ANY EXTENSION OF PROJECTS EXCEPT BY AGREEMENT IN WRITING FROM THE ENGINEER.



CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.29'	25.00'	25.02'	90°02'54"	S45°33'00"W	35.37'
C2	39.25'	25.00'	24.98'	89°57'06"	S44°27'00"E	35.34'
C3	37.16'	25.00'	22.97'	85°09'28"	N47°58'43"E	33.83'
C4	41.69'	25.00'	27.55'	95°33'06"	S41°39'01"E	37.03'
C5	40.69'	25.00'	26.47'	97°15'37"	S43°56'33"W	36.35'
C6	38.19'	25.00'	23.95'	87°32'11"	N45°39'28"W	34.59'



- ROADWAY NOTES**
- (1) 1" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO ISPMC SD-702
  - (2) 5" CONCRETE SURFACE PER ACHD SUPPLEMENT TO ISPMC SD-709 2" FOR 2% CROSS SLOPE
  - (3) PROVISIONAL RAMP TYPE "A" PER ACHD SUPPLEMENTAL TO ISPMC SD-117 DETAIL WORKINGS PER ACHD SUPPLEMENTAL TO SD-712
- DRAINAGE NOTES**
- (A) STORM POND PER ACHD SUPPLEMENT TO ISPMC SD-627
  - (B) STORM POND E
  - (C) GROUNDWATER OBSERVATION WELL PER ACHD SUPPLEMENT TO ISPMC SD-627

**RECORD DRAWINGS**

These record drawings have been prepared based on information gathered during the construction process. The contractor is responsible for providing accurate information. The engineer shall not be held responsible for errors or omissions in the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals. The engineer shall not be held responsible for any damage to existing utilities or structures. The contractor shall be responsible for repairing any damage to existing utilities or structures. The engineer shall not be held responsible for any extension of projects except by agreement in writing from the engineer.

**RECORD DRAWINGS**

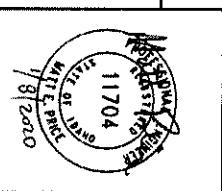
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SHEET NUMBER

**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**

**STREET PLAN AND PROFILE**  
**W. SKYHAVEN ST.**

NO.	REVISION	DATE
1	RECORD DRAWINGS	9/22/20
2		



**J-U-B ENGINEERS, INC.**  
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 Suite 400  
 Meridian, ID 83642

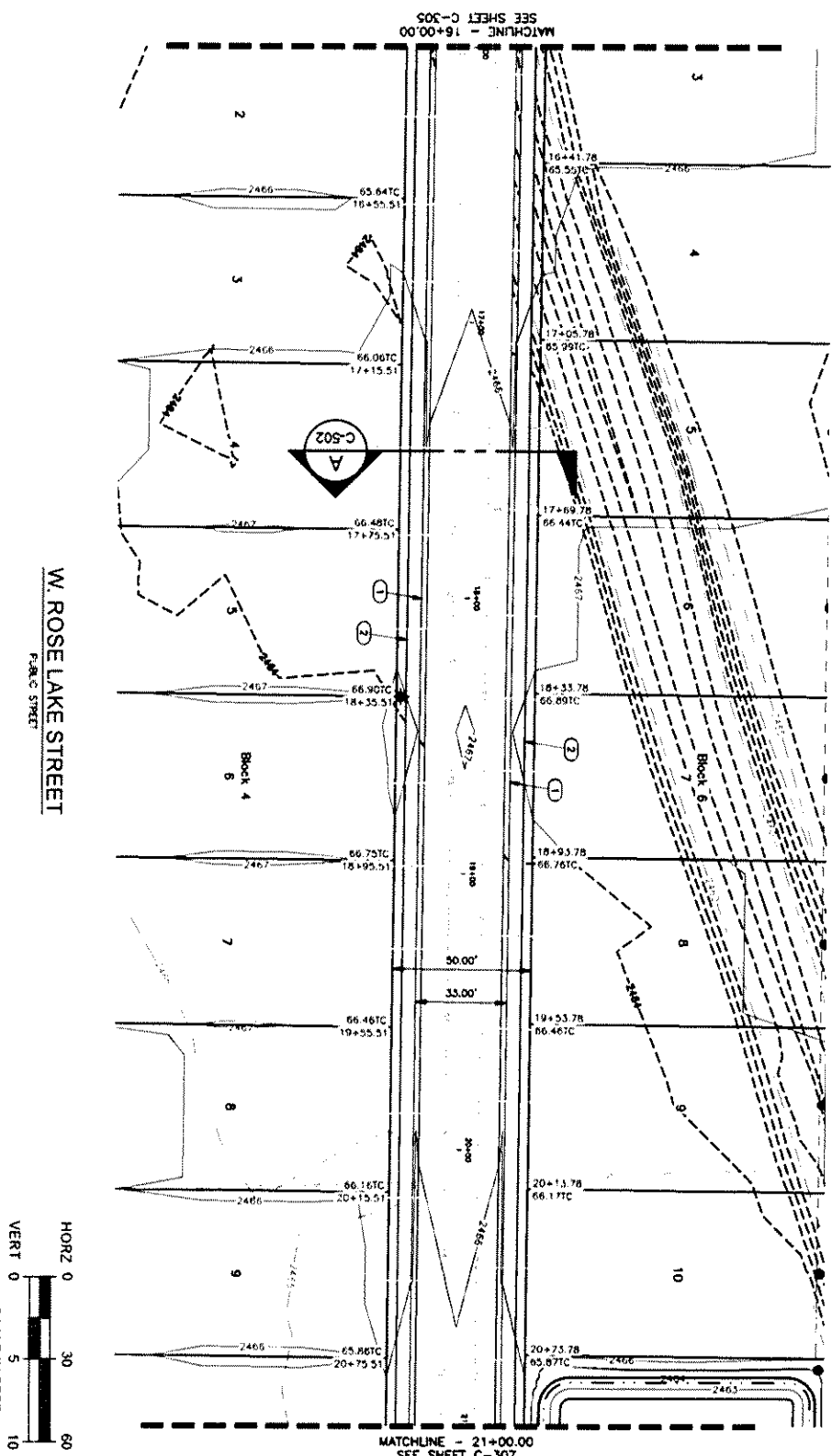
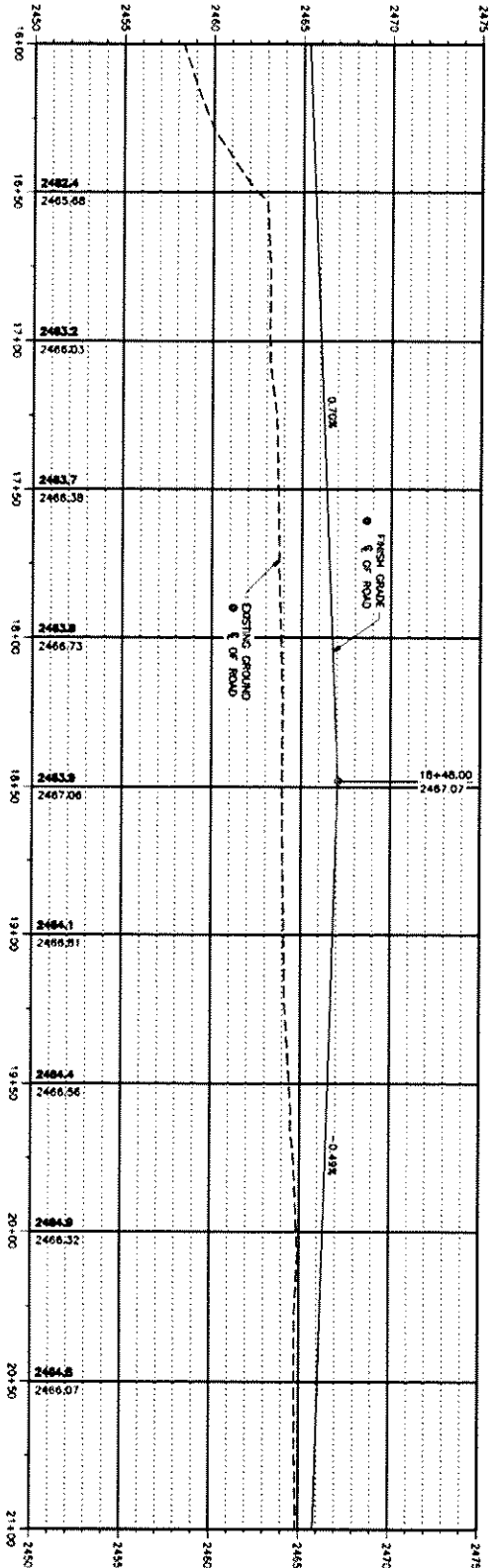
Phone: 208.376.7330  
 www.jub.com





**NOTES TO CONTRACTOR**

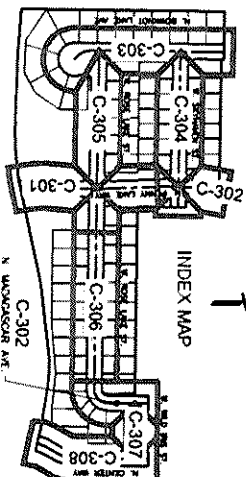
1. AND ZERO FEET TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL ELEVATION.
2. SLOPE INDICATORS ARE HORIZONTAL ONLY (20) MEASURED FROM INSIDE FACE OF CURB.
3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS FROM HIS OWN RESPONSIBILITY. SHOULD DAMAGES OCCUR DUE TO A FAILURE TO LOCATE UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAMAGES AND ANY COSTS OF REPAIRS AND DAMAGES TO ADJACENT PROPERTIES AND ADJACENT OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING OR PROPOSED CONSTRUCTION ACTIVITIES AND ADJACENT PROPERTIES AND ADJACENT OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING OR PROPOSED CONSTRUCTION ACTIVITIES AND ADJACENT PROPERTIES AND ADJACENT OWNERS.



**RECORD DRAWINGS**

These record drawings have been prepared based on information obtained during field observations as well as information provided by others. The accuracy or completeness of information provided by others has not been verified by J-U-B. A third record drawing or a public record, J-U-B grants the public entity with whom these drawings were prepared the right to use the information contained herein for the public entity, any individual, or organization, without the need for the public entity's, individual's, and/or organization's seal and without liability or legal exposure to J-U-B. Any users of the drawings should verify the information contained herein against the record drawings information was compiled by staff under the supervision of the responsible design engineer.

- ROADWAY NOTES**
- 1. 3" ROLLED CURB AND GUTTER PER ACHD SUPPLEMENT TO ISPMC SD-702
  - 2. 5" CONCRETE SIDEWALK PER ACHD SUPPLEMENT TO ISPMC SD-709, 2.0% MAX CROSS SLOPE.



**RECORD DRAWINGS**

**C-306**

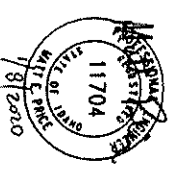
SHEET NUMBER

**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**

**STREET PLAN AND PROFILE**  
**W. ROSE LAKE ST.**

**REVISION**

NO.	DESCRIPTION	DATE
1	RECORD DRAWINGS	PHM/MEP/09/22/20
2		RY/BBP/01/01/20



**J-U-B ENGINEERS, INC.**  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642

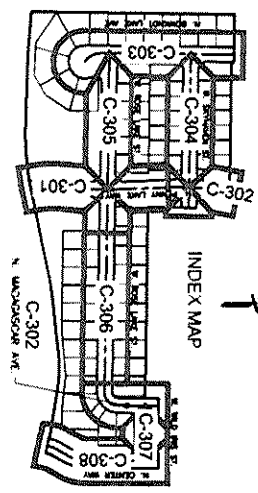
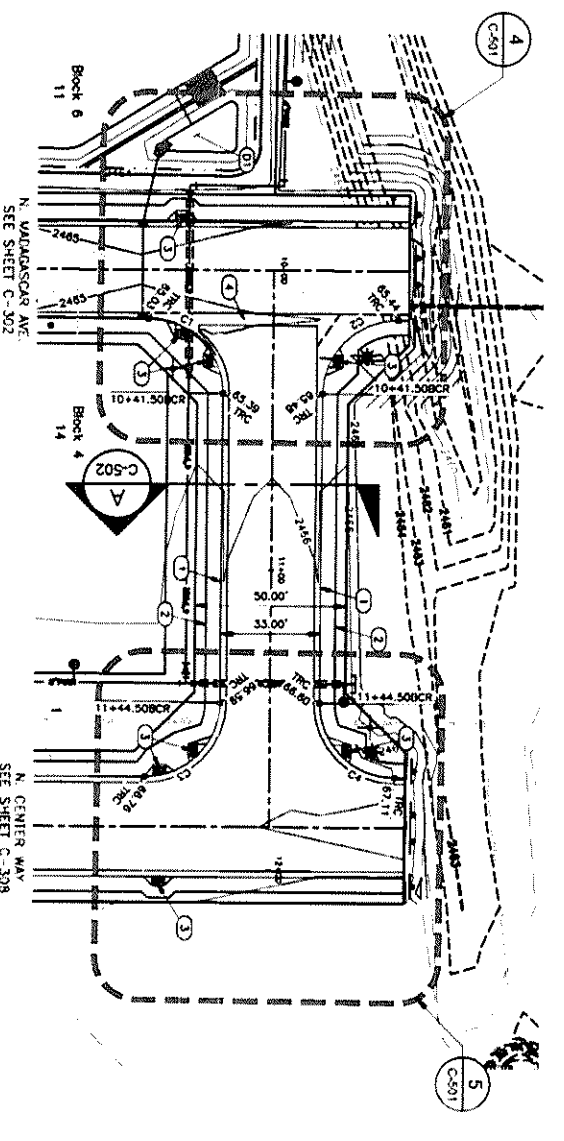
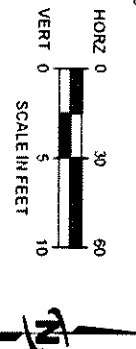
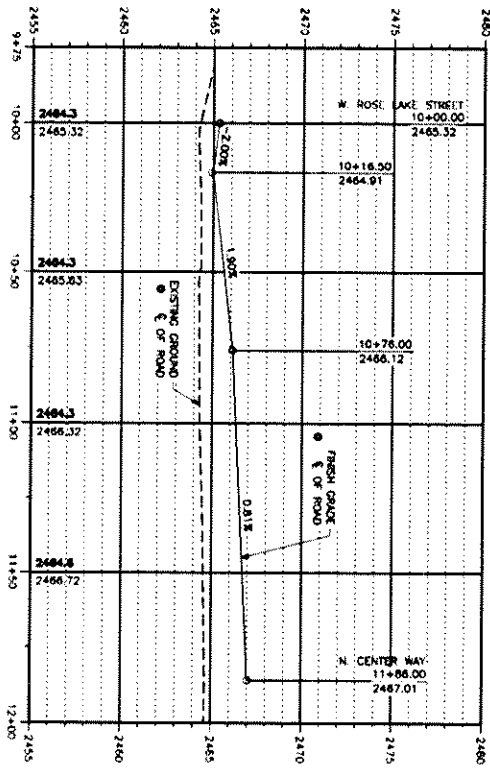
Phone: 208.376.7330  
 www.jub.com



**NOTES TO CONTRACTOR**

1. AND 2.00 FEET TO ALL SPOT ELEVATIONS TO OBTAIN ACTUAL ELEVATION.
2. SPOT ELEVATIONS ARE HORIZONTALLY (2D) MEASURED FROM NORTH FACE OF CURB.
3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

CURVE TABLE						
CURVE #	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	39.27'	25.00'	25.00'	90°00'00"	S45°06'17"W	35.35'
C2	39.27'	25.00'	25.00'	90°00'00"	S44°53'43"E	35.35'
C3	39.27'	25.00'	25.00'	90°00'00"	N44°53'43"W	35.35'
C4	39.27'	25.00'	25.00'	90°00'00"	N45°06'17"E	35.35'



- ROADWAY NOTES**
- 1. 3" ROLLED CURB AND GUTTER PER ACID SUPPLEMENT TO ISPMC SD-702
  - 2. 5" CONCRETE SIDEWALK PER ACID SUPPLEMENT TO ISPMC SD-709, 2.0% MAX. CROSS SLOPE
  - 3. PEDIESTRIAN RAMP TOPS 1/4" PER ACID SUPPLEMENT TO ISPMC SD-712H, WITH DETECTABLE WARNING PER ACID SUPPLEMENTAL DRAWING SD-712
  - 4. VALEY GUTTER PER ACID SUPPLEMENT TO ISPMC SD-708
- DRAINAGE NOTES**
- 1. STORM FOND 1

**RECORD DRAWINGS**

These record drawings have been prepared based on information gathered during the project. The information provided by others has not been verified by J-U-B. It is the responsibility of the client to provide accurate information. The client is responsible for any errors or omissions in the drawings. The client is responsible for any errors or omissions in the drawings. The client is responsible for any errors or omissions in the drawings.

<p><b>REUNION SUBDIVISION NO. 3</b>  <b>CITY OF STAR, IDAHO</b></p> <p>STREET PLAN AND PROFILE                  W. WILDE IRIS ST.</p>	<p>REUSE OF DRAWINGS</p> <p>JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS, AND THE SAME SHALL NOT BE REUSED WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY ANY OTHER PARTY IS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.</p>	<p>11704</p> <p>STATE OF IDAHO</p> <p>8/2020</p>	<p>J-U-B ENGINEERS, INC.</p> <p>2760 W. Excursion Ln.                  Suite 400                  Meridian, ID 83642</p> <p>Phone: 208.376.7330                  www.jub.com</p>	<p>JUB ENGINEERS, INC.</p>			
	<p>REVISION</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>RECORD DRAWINGS</td> <td>02/22/20</td> </tr> </table>	NO.	DESCRIPTION	DATE	1	RECORD DRAWINGS	02/22/20
NO.	DESCRIPTION	DATE					
1	RECORD DRAWINGS	02/22/20					

**C-307**

SHEET NUMBER

DATE: 10/20/2010

PROJECT: REUNION NO. 3 SUBDIVISION

CHECKED BY: MFP

DATE: 02/22/20

SCALE: AS SHOWN

**NOTES TO CONTRACTOR**

1. ALL SPOT ELEVATIONS TO DIFFERENT ACTUAL ELEVATIONS SHOWN ARE APPROXIMATELY (20) FEET FROM THE ACTUAL TO THE NEAREST FOOT.

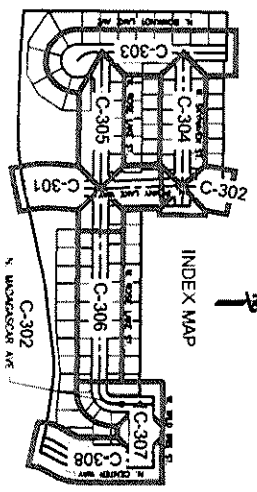
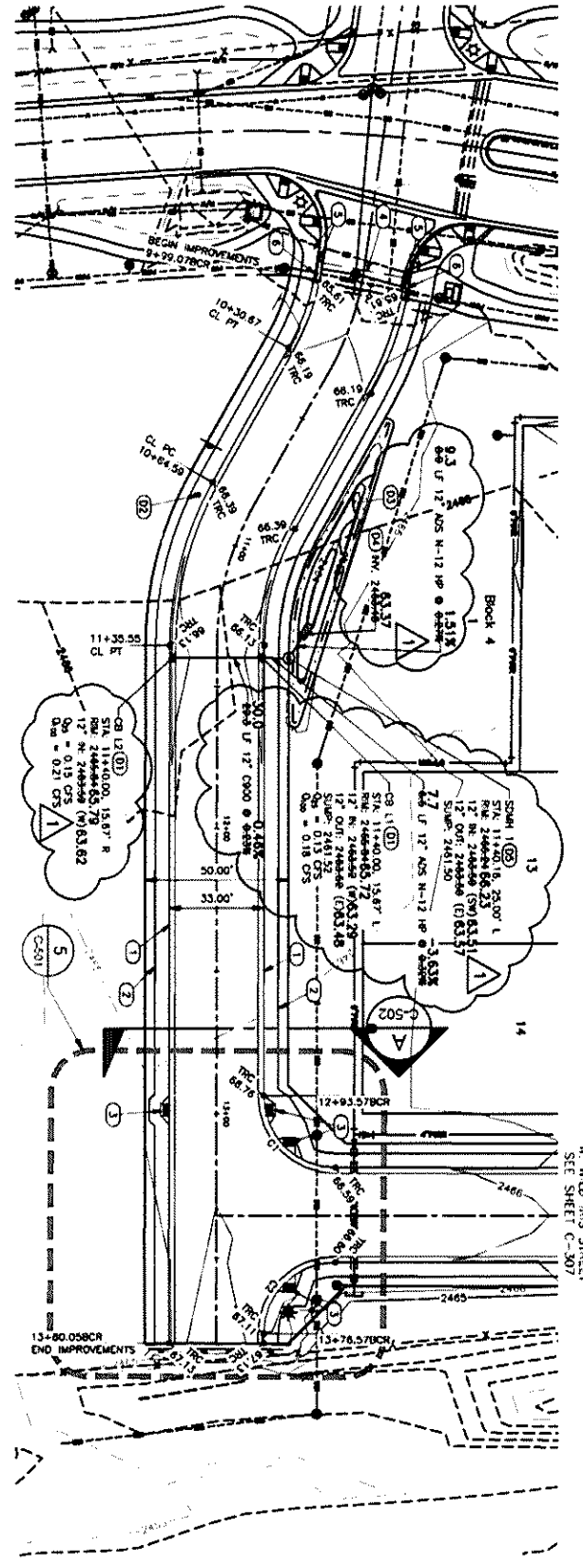
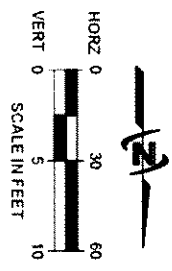
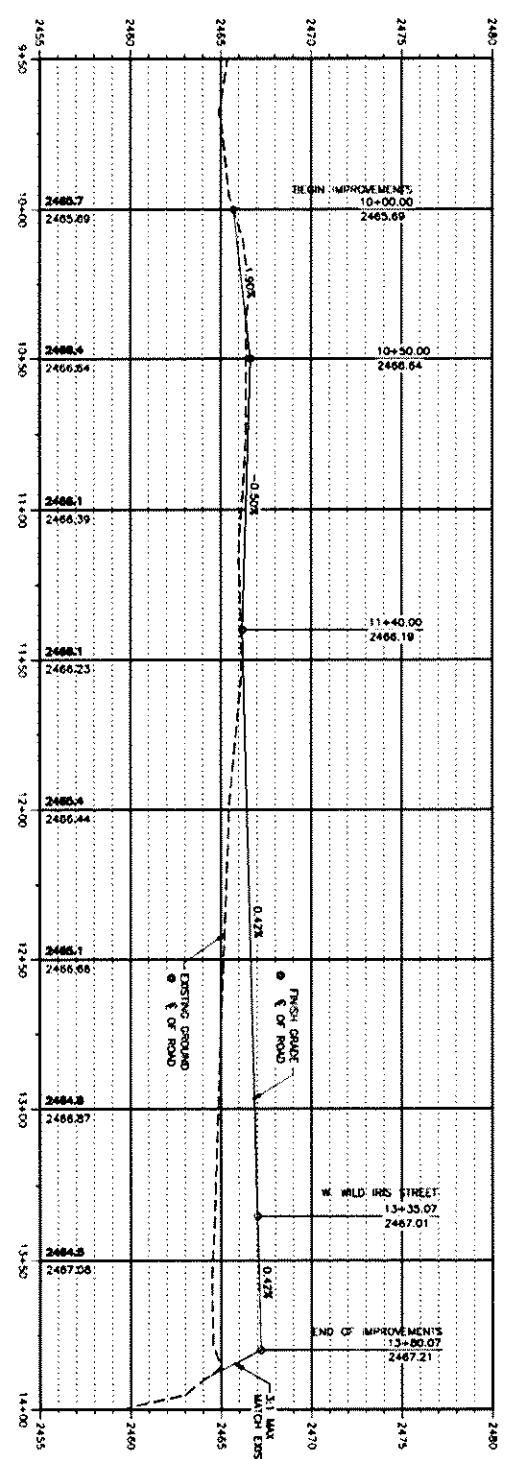
2. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE TO THE NEAREST FOOT.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

CURVE TABLE					
CURVE #	LENGTH	RADIUS	TANGENT	CHORD BEARING	CHORD LENGTH
C1	39.27'	25.00'	25.00'	N44°53'43"W	35.36'
C2	39.27'	25.00'	25.00'	N45°06'17"E	35.36'

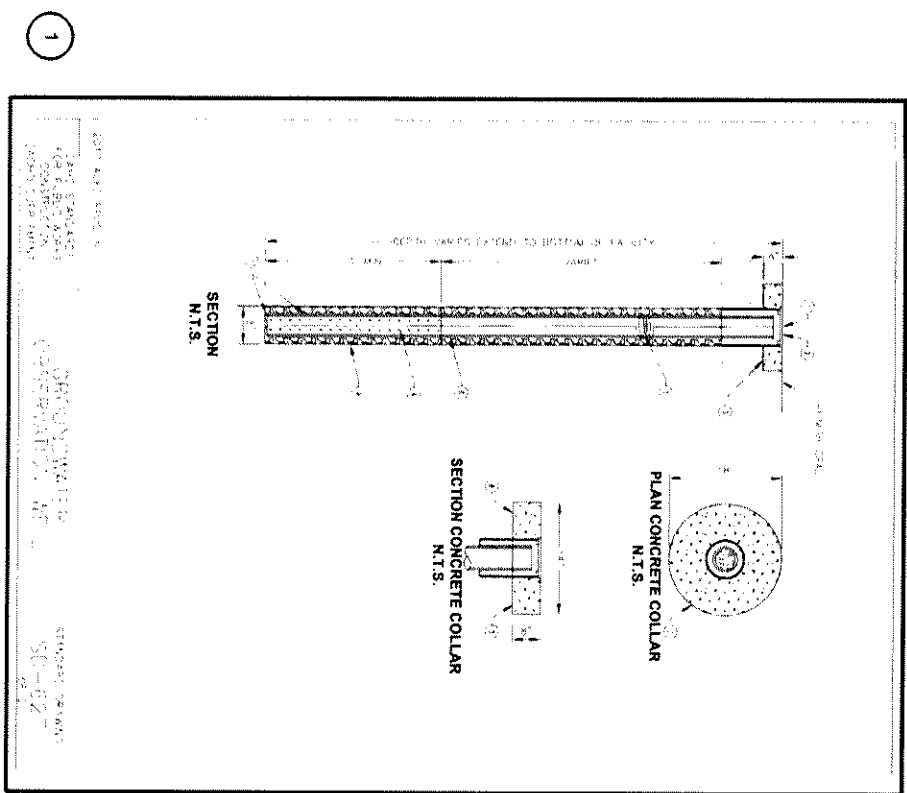


- ROADWAY NOTES**
- (1) 3" ROLLED CURB AND GUTTER PER ACID SUPPLEMENT TO ISPMC SD-302
  - (2) 5" CONCRETE SIDEWALK PER ACID SUPPLEMENT TO ISPMC SD-303, 24" MAX CROSS SLOPE
  - (3) PEDISTRAN RAMP TYPE 'HIS PER ACID SUPPLEMENT TO ISPMC SD-303, 24" MAX CROSS SLOPE
  - (4) SAWCUT PARAPET (2" INSET EXISTING EDGE) PER ACID SUPPLEMENT TO ISPMC SD-303 ALSO PER ACID SUPPLEMENT TO ISPMC SD-303 WATCH EXISTING CURB
  - (5) 5" CURB TRANSITION FROM 6" VERTICAL CURB TO 3" ROLLED CURB
- DRAINAGE NOTES**
- (6) TYPE 'N' CATCH BASIN PER ACID SUPPLEMENT TO ISPMC SD-604A
  - (7) GROUNDWATER OBSERVATION WELL PER ACID SUPPLEMENT TO ISPMC SD-627
  - (8) STORM FOND 1
  - (9) PREFABRICATED FLARED END SECTION WITH ROCK RIP RAP 4'x4' WITH 4" TO 8" COBBLES 1' DEEP
  - (10) 48" x MANHOLE PER ISPMC SD-611

**RECORD DRAWINGS**

These record drawings have been prepared based on information gathered during the construction of the project. The contractor is responsible for the accuracy of the information provided. The engineer is not responsible for the accuracy of the information provided by the contractor. The engineer is not responsible for the accuracy of the information provided by the contractor.

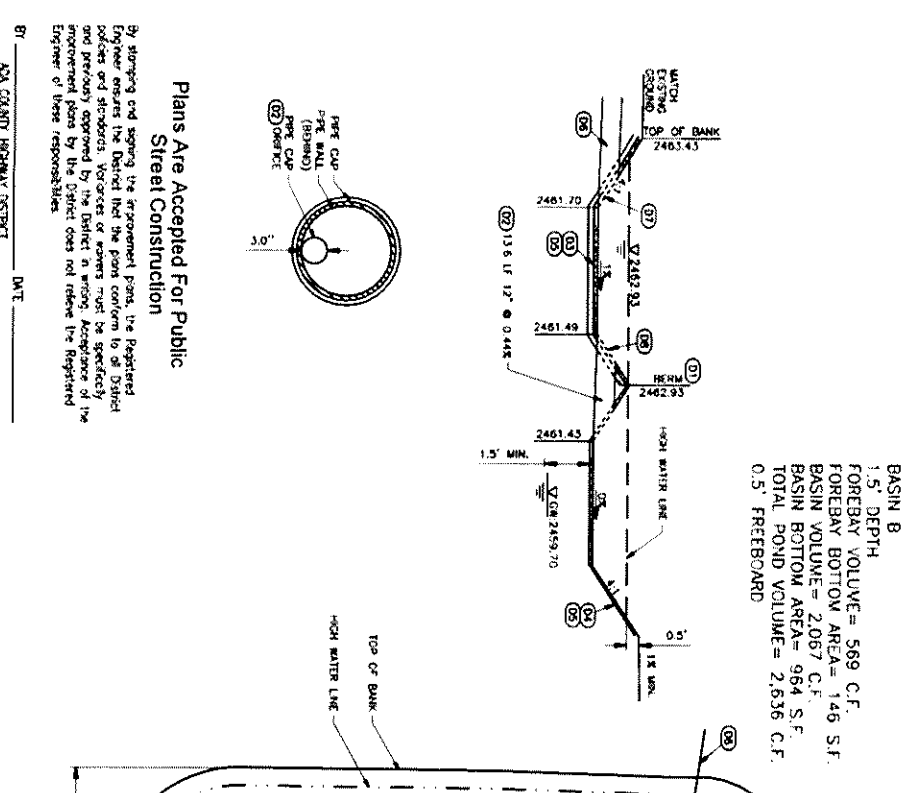
<p><b>REUNION SUBDIVISION NO. 3</b>                  CITY OF STAR, IDAHO</p> <p><b>STREET PLAN AND PROFILE</b>                  N. CENTER WAY</p>	<p>REVISION OF DRAWINGS</p> <p>JUB SHALL RETAIN ALL COMMON LAW STATUTORY, COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS AND THE SAME SHALL NOT BE REUSED WITHOUT WRITTEN PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT OF JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.</p>	<p>J-U-B ENGINEERS, INC.</p> <p>2760 W. Excursion Ln.                  Suite 400                  Meridian, ID 83642</p> <p>Phone: 208.376.7330                  www.jub.com</p>	<p>JUB ENGINEERS, INC.</p>						
	<p>DATE: 06/19/2010</p> <p>PROJECT NO: 2010-01014</p> <p>DRAWING NO: C-308</p> <p>CHECKED BY: [Signature]</p> <p>DATE: 06/19/2010</p> <p>SCALE: AS SHOWN</p> <p>SHEET NUMBER: C-308</p>	<p>11704</p> <p>STATE OF IDAHO</p> <p>REGISTERED PROFESSIONAL ENGINEER</p> <p>8/12/2010</p>	<p>REVISION</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>RECORD DRAWINGS</td> <td>08/22/20</td> </tr> </table>	NO.	DESCRIPTION	DATE	1	RECORD DRAWINGS	08/22/20
NO.	DESCRIPTION	DATE							
1	RECORD DRAWINGS	08/22/20							



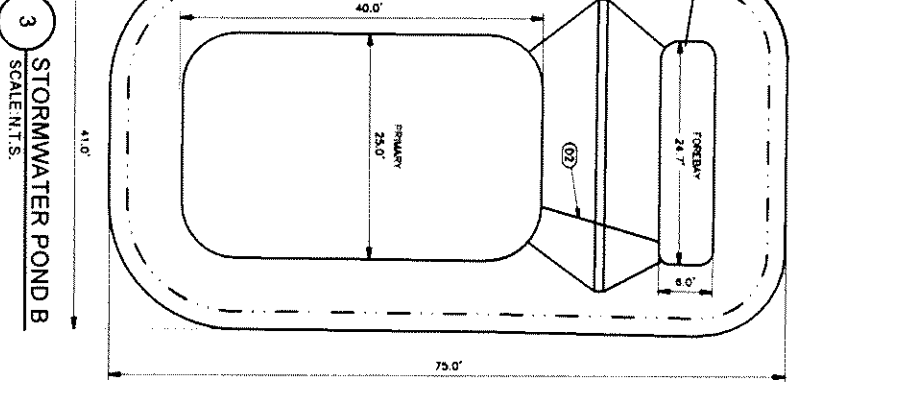
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE IDAHO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (DOT/C) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE IDAHO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (DOT/C) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE IDAHO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (DOT/C) PRIOR TO CONSTRUCTION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE IDAHO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (DOT/C) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE IDAHO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (DOT/C) PRIOR TO CONSTRUCTION.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE IDAHO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (DOT/C) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR, IDAHO, AND THE IDAHO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION (DOT/C) PRIOR TO CONSTRUCTION.



**BASIN B**  
 1.5' DEPTH  
 FOREBAY VOLUME = 569 C.F.  
 FOREBAY BOTTOM AREA = 146 S.F.  
 BASIN VOLUME = 2067 C.F.  
 BASIN BOTTOM AREA = 964 S.F.  
 TOTAL POND VOLUME = 2,636 C.F.  
 0.5' FREEBOARD

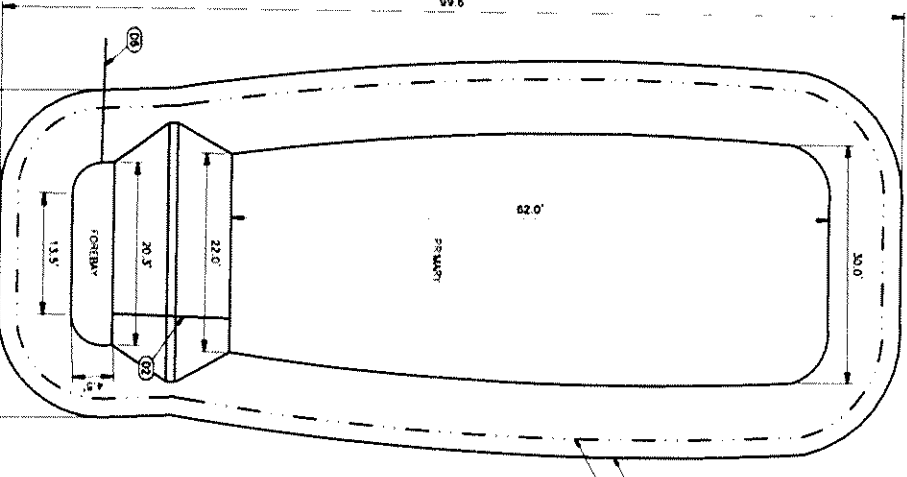


**DRAINAGE KEY NOTES**

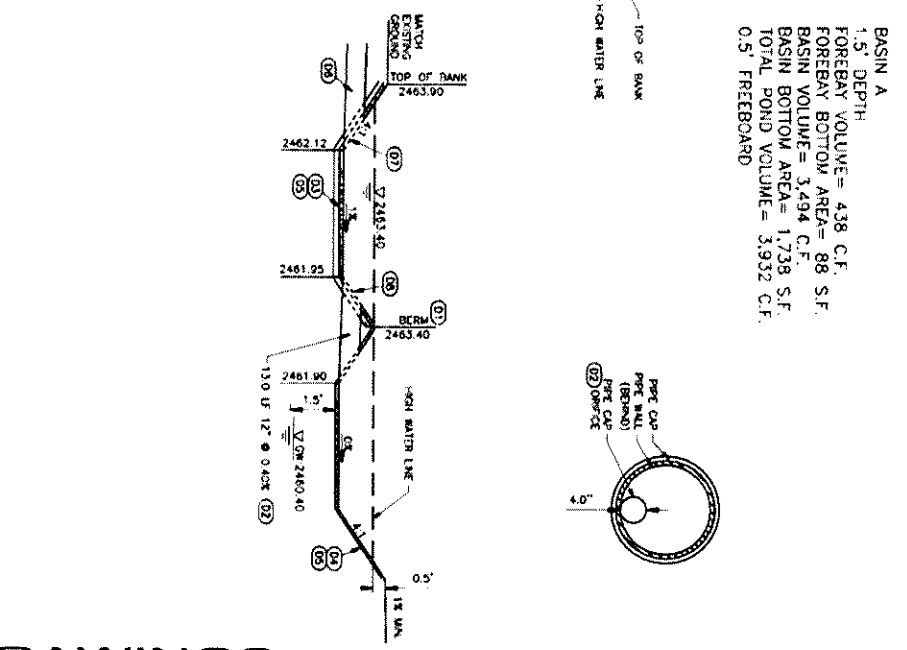
- (01) BURN PER ACHD SUP-10
- (02) 12" DISCHARGE PIPE WITH CAP AND ORIFICE IN FOREBAY END. SEE DETAIL FOR ORIFICE SIZE. CAP SHALL BE REMOVABLE. SIP-ON PIPE TO BE INSTALLED SUCH THAT THE ORIFICE IS AT THE BOTTOM OF THE THICK CLAY LINER UNDER 4" OF SAND OR UNGRADED NATIVE WATERBURY CLAY LINER SHALL HAVE INSTALLED 4" SAND OR UNGRADED NATIVE RATE OF 0.5 IN/HR INFILTRATION RATE SHALL BE VERIFIED BY ACHD OR GEOTECHNICAL ENGINEER
- (04) 4" DIA. OF TOP SOIL OR UNGRADED NATIVE MATERIAL.
- (05) REVEGETATE AND LANDSCAPE BASIN BOTTOM AND SIDES IN ACCORDANCE WITH THE JOAN COUNTY HIGHWAY DISTRICT STORMWATER MANAGEMENT BASIN REVEGETATION GUIDANCE MANUAL DATED OCTOBER 2017
- (06) BASIN STORMWATER SUPPLY PIPE SEE PLAN AND PROFILE FOR DESIGN
- (07) METAL FLARED END SECTION WITH TRASH RACK AND RIPRAP APPROX PER ACHD ISPMC SD-628
- (08) METAL FLARED END SECTION WITH TRASH RACK AS PER ACHD ISPMC SD-628. OMIT RIPRAP APPROX.

**ADDITIONAL NOTES**

1. CONTRACTOR SHALL NOTIFY THE ENGINEER AND ACHD INSPECTION STAFF IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION OF THE FIELD PERCOLATION TESTS ARE LOWER THAN THE DESIGN INFILTRATION RATE.
2. GROUNDWATER DATA PER GROUNDWATER REPORT PREPARED BY SITE CONSULTING, LLC DATED OCTOBER 12, 2018. MANUAL DESIGN INFILTRATION RATE OF 0.5 IN/HR PER GEOTECHNICAL REPORT PREPARED BY SITE CONSULTING, LLC DATED JUNE 8, 2017.



**BASIN A**  
 1.5' DEPTH  
 FOREBAY VOLUME = 438 C.F.  
 FOREBAY BOTTOM AREA = 88 S.F.  
 BASIN VOLUME = 3,494 C.F.  
 BASIN BOTTOM AREA = 1,738 S.F.  
 TOTAL POND VOLUME = 3,932 C.F.  
 0.5' FREEBOARD



**2 STORMWATER POND A**  
 SCALE: N.T.S.

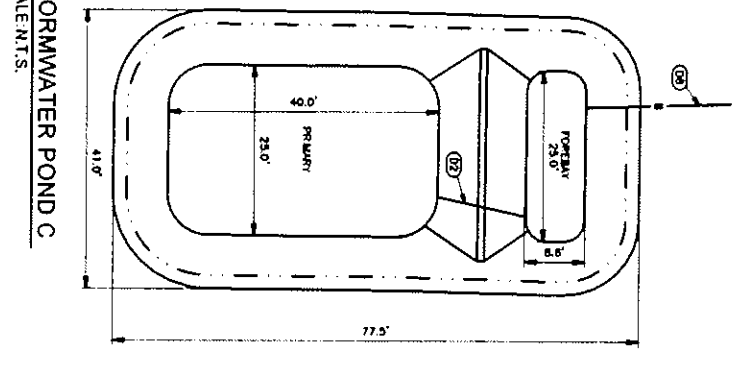
**A TYPICAL LOCAL RESIDENTIAL STREET SECTION**  
 SCALE: N.T.S.

**RECORD DRAWINGS**

These record drawings have been prepared based on information gathered during construction. It is the responsibility of the contractor to provide accurate information for the design. The engineer and architect are not responsible for any errors or omissions in the drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Star, Idaho, and the Idaho Department of Transportation and Construction (DOT/C) prior to construction.

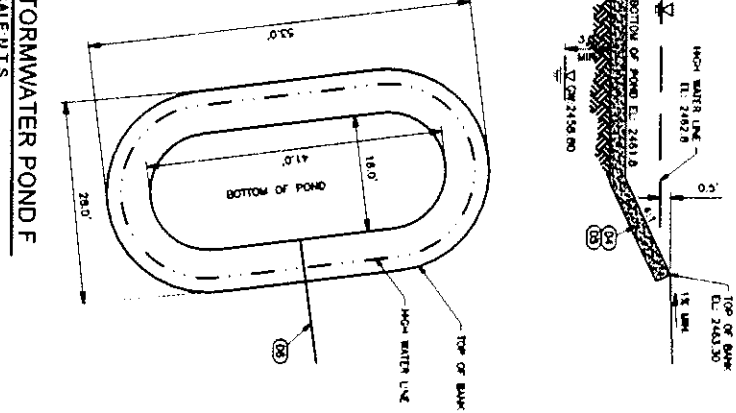
<p><b>REUNION SUBDIVISION NO. 3</b>  <b>CITY OF STAR, IDAHO</b></p> <p>STREET SECTION AND DRAINAGE DETAILS</p>		<p>REVISION</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>RECORD DRAWINGS</td> <td>02/22/20</td> </tr> </table>	NO.	DESCRIPTION	DATE	1	RECORD DRAWINGS	02/22/20	<p>JUB ENGINEERS, INC.          2760 W. Excursion Ln.          Suite 400          Meridian, ID 83642</p> <p>Phone: 208.376.7330          www.jub.com</p>
NO.	DESCRIPTION	DATE							
1	RECORD DRAWINGS	02/22/20							

**BASIN C**  
 1.5' DEPTH  
 FOREBAY VOLUME = 679 C.F.  
 FOREBAY BOTTOM AREA = 210 S.F.  
 BASIN VOLUME = 2,067 C.F.  
 BASIN BOTTOM AREA = 964 S.F.  
 TOTAL POND VOLUME = 2,746 C.F.  
 0.5' FREEBOARD

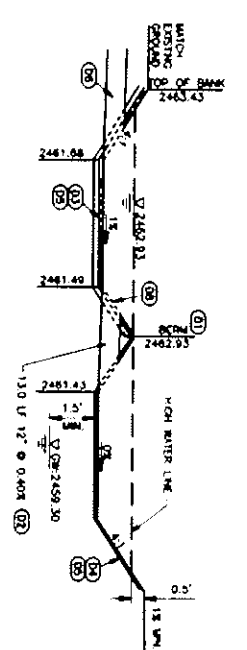


**4** STORMWATER POND C  
 SCALE: N.T.S.

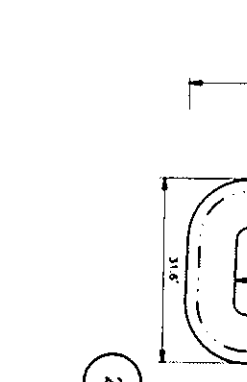
**BASIN F**  
 1.0' DEPTH  
 POND VOLUME = 827 C.F.  
 0.5' FREEBOARD



**5** STORMWATER POND F  
 SCALE: N.T.S.



**1** FLARED END SECTION DETAIL  
 SCALE: N.T.S.

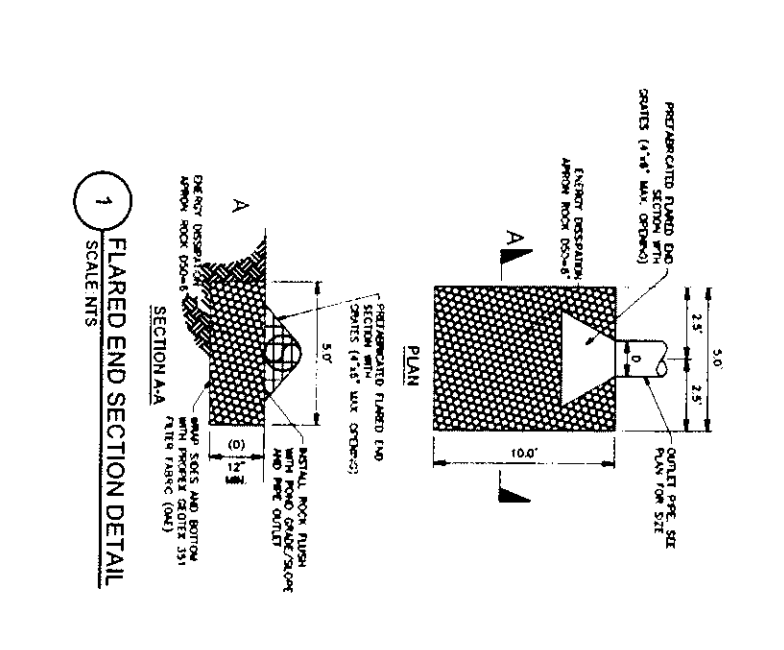


**2** STORMWATER POND D  
 SCALE: N.T.S.

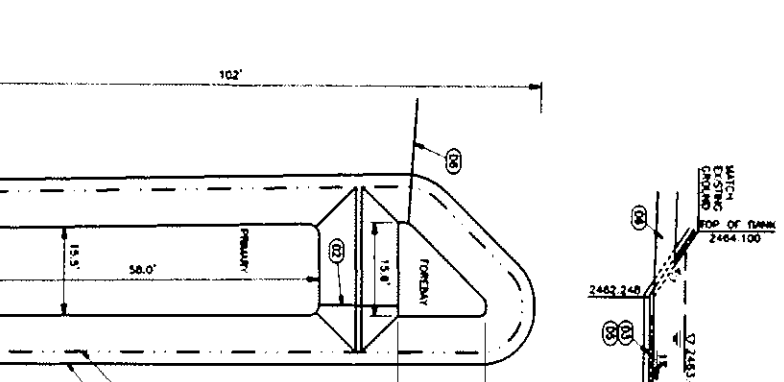
**BASIN D**  
 1.5' DEPTH  
 FOREBAY VOLUME = 545 C.F.  
 FOREBAY BOTTOM AREA = 143 S.F.  
 BASIN VOLUME = 2,060 C.F.  
 BASIN BOTTOM AREA = 873 S.F.  
 TOTAL POND VOLUME = 2,605 C.F.  
 0.5' FREEBOARD



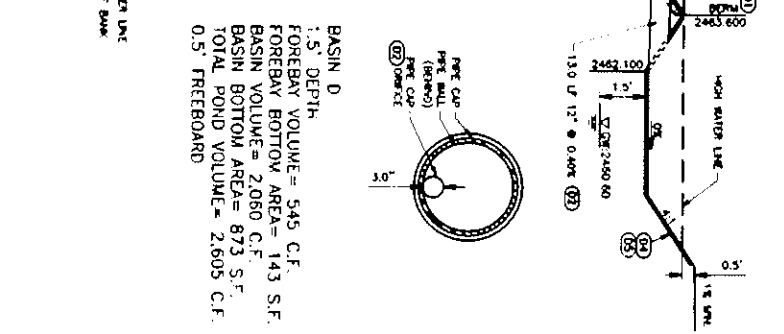
**3** STORMWATER POND I  
 SCALE: N.T.S.



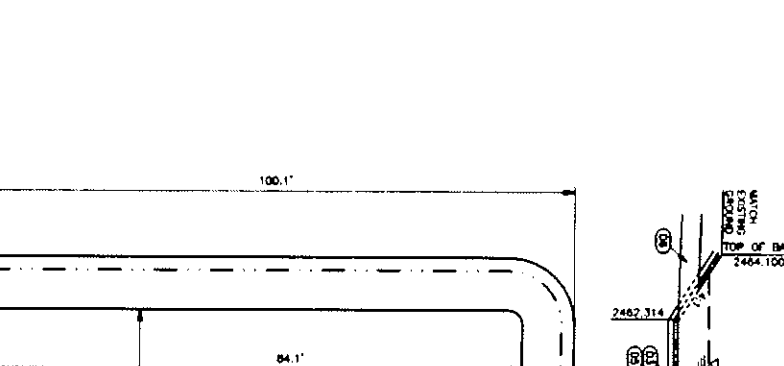
**4** STORMWATER POND E  
 SCALE: N.T.S.



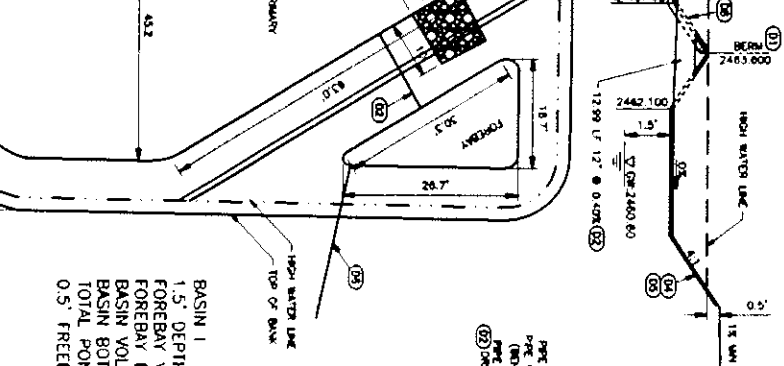
**5** STORMWATER POND G  
 SCALE: N.T.S.



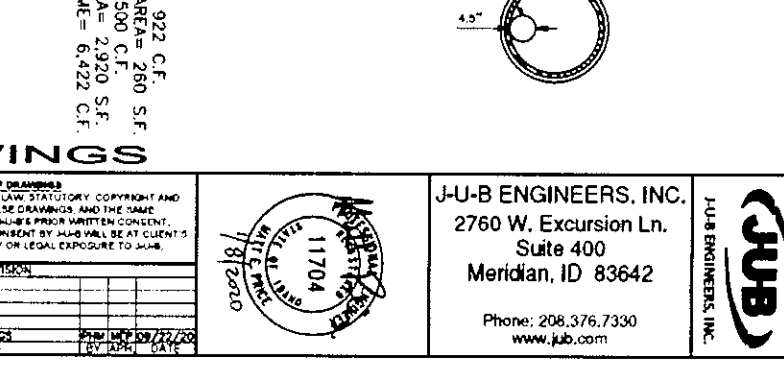
**6** STORMWATER POND H  
 SCALE: N.T.S.



**7** STORMWATER POND I  
 SCALE: N.T.S.



**8** STORMWATER POND J  
 SCALE: N.T.S.



**9** STORMWATER POND K  
 SCALE: N.T.S.

**DRAINAGE KEY NOTES**

- (01) 12" DISCHARGE PIPE WITH CAP AND ORIFICE IN FOREBAY END. SEE DETAIL FOR ORIFICE SIZE. CAP SHALL BE REMOVABLE. SIGN-ON THE AND SHALL NOT TO BE GATED OR PERMANENTLY ATTACHED TO PRE-CAP TO BE INSTALLED SUCH THAT THE OPENING IS AT THE BOTTOM.
- (02) 6" THICK CLAY LINER UNDER 4" OF TOP SOIL OR AMENDED NATIVE MATERIAL. CLAY LINER SHALL HAVE INSTALLED MAXIMUM INFILTRATION RATE OF 0.5 IN/HR. INFILTRATION RATE SHALL BE VERIFIED BY ACHD OR GEOTECHNICAL ENGINEER.
- (03) 4" MIN. OF TOP SOIL OR AMENDED NATIVE MATERIAL.
- (04) REVEGETATE AND LANDSCAPE BASIN BOTTOM AND SDDS IN ACCORDANCE WITH THE TAD COUNTY HIGHWAY DISTRICT STORMWATER MAINTENANCE BASIN REVEGETATION GUIDANCE MANUAL, DATED OCTOBER 2017.
- (05) BASIN STORMWATER SUPPLY PIPE. SEE PLAN AND PROFILE FOR DESIGN AND SPACING. 30'-608.
- (06) METAL FLARED END SECTION WITH TRASH RACK AND RPPAP APPROX. PER 50'-620. OR 18" RPPAP APPROX.
- (07) ABANDONED SPILL CHANNEL.

**ADDITIONAL NOTES**

- 1. CONTRACTOR SHALL NOTIFY THE ENGINEER AND ACHD INSPECTION STAFF IF GROUNDWATER IS ENCOUNTERED DEEPER THAN ANTICIPATED OR THE FIELD PERCOLATION TESTS ARE LOWER THAN THE DESIGN INFILTRATION RATE.
- 2. GROUNDWATER DATA PER GROUNDWATER REPORT PREPARED BY SITE CONSULTING, LLC, DATED OCTOBER 12, 2018. MARK WILKINSON INFILTRATION REPORT, DATED JUNE 8, 2017.

**NOTES TO CONTRACTOR**

- 1. ALL SPOT ELEVATIONS TO DETERMINE ACTUAL DRAINAGE.
- 2. SINK LEGS ARE HORIZONTALLY (20) MEASURED FROM BENCH MARK TO POINT OF STRUCTURE. APPROXIMATELY 10' FROM BENCH MARK TO POINT OF STRUCTURE. APPROXIMATELY 10' FROM BENCH MARK TO POINT OF STRUCTURE. APPROXIMATELY 10' FROM BENCH MARK TO POINT OF STRUCTURE.
- 3. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION FROM TO POINT OF STRUCTURE. APPROXIMATELY 10' FROM BENCH MARK TO POINT OF STRUCTURE. APPROXIMATELY 10' FROM BENCH MARK TO POINT OF STRUCTURE.
- 4. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER AND ACHD INSPECTION STAFF.
- 5. THE DRAWING OR ANY PORTION OF IT SHALL NOT BE USED ON ANY PROJECT OR PRODUCT(S) EXCEPT BY ACKNOWLEDGMENT IN WRITING FROM THE DESIGNER.

**RECORD DRAWINGS**

THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION OBTAINED DURING THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS THAT HAS NOT BEEN VERIFIED BY J-U-B ENGINEERS, INC. OR THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS THAT HAS NOT BEEN VERIFIED BY J-U-B ENGINEERS, INC. OR THE DESIGNER.

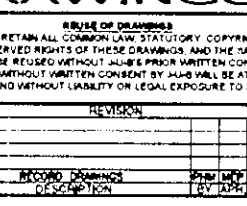
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DESIGNER	JEB
CHECKED BY	JEB
DATE	15/06/2017
SCALE	N.T.S.
SHEET NUMBER	C-503

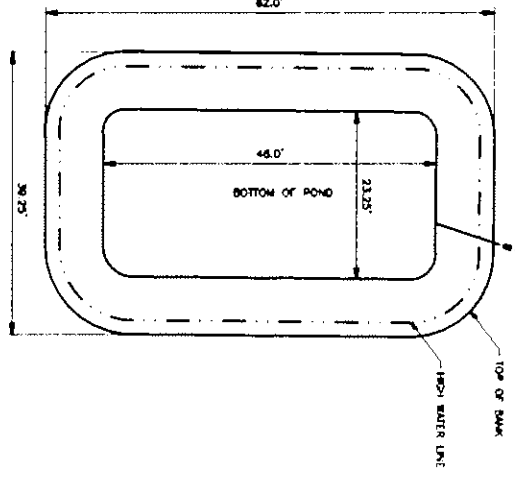
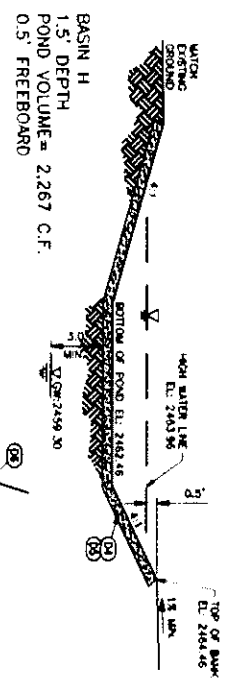
REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO  
 DRAINAGE DETAILS

J-U-B ENGINEERS, INC.  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com

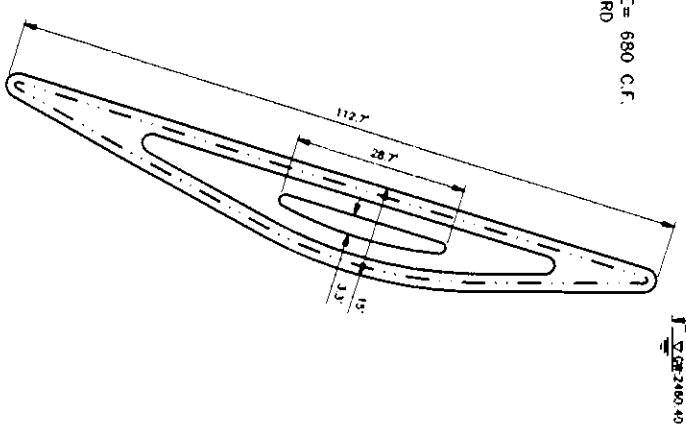
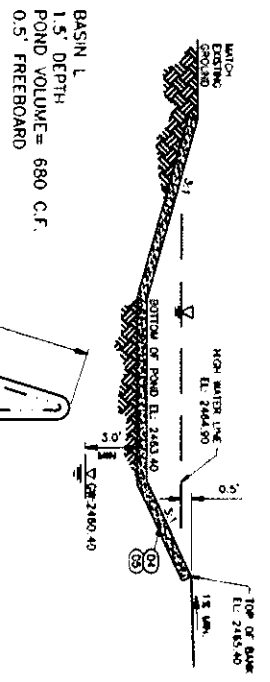
REVISIONS

NO.	DESCRIPTION	DATE
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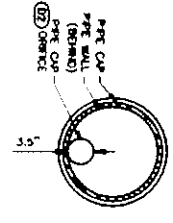
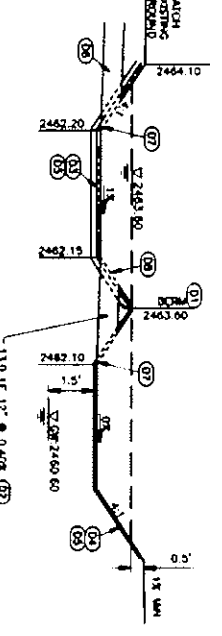


1  
SCALENTS  
STORMWATER POND H

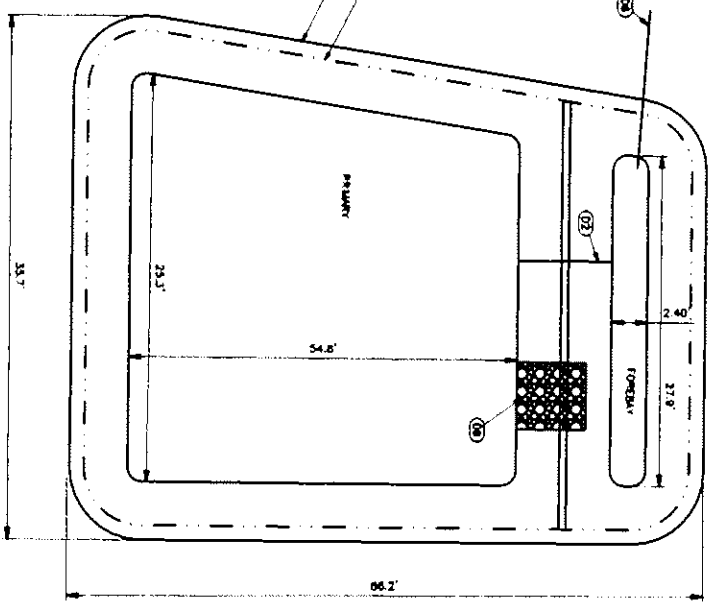


2  
SCALENTS  
STORMWATER POND L

BASIN E  
 1.5' DEPTH  
 FOREBAY VOLUME = 1,075 C.F.  
 FOREBAY BOTTOM AREA = 280 S.F.  
 BASIN VOLUME = 6,270 C.F.  
 BASIN BOTTOM AREA = 3,400 S.F.  
 TOTAL POND VOLUME = 7,345 C.F.  
 0.5' FREEBOARD



3  
SCALENTS  
STORMWATER POND E



**1**  
 RECORD DRAWINGS  
 THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED DURING THE DESIGN PHASE OF THIS PROJECT. THE INFORMATION PROVIDED IS THE PROPERTY OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE CLIENT. ANY REUSE OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF THE CLIENT IS STRICTLY PROHIBITED. THE CLIENT ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE RECORD DRAWINGS. THE ENGINEER DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED. THE CLIENT ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE RECORD DRAWINGS. THE ENGINEER DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED.

4  
SCALE LOCATION SHOWN ON SHEET C-504  
DETAIL - ECLIPSE WATER SAMPLING STATION #88-SS

**#88-SS SAMPLING STATION SPEC SHEET**

**1 3D VIEW**  
 SCALE: 1/4" = 1'-0"

**2 ENCLOSURE OPEN VIEW**  
 SCALE: 1/4" = 1'-0"

ALL WORKING PARTS SHALL BE OF STAINLESS STEEL AND SHALL BE LOCATED BELOW THE SAMPLING AREA TO ALLOW FLOW OF ANY WATER REMAINING INSIDE THE STATION TO DRAIN TO THE POND.

THE STATION SHALL BE ANCHORED TO THE MAINLINE CONCRETE FOUNDATION, AS SHOWN ON SHEET C-504 OR APPROVED EQUAL.

STATION #88-SS SHALL BE INSTALLED AT THE FOLLOWING LOCATION:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/12/18
2	ISSUED FOR CONSTRUCTION	10/22/18
3	ISSUED FOR RECORD DRAWINGS	10/22/18

DESIGNED BY: JLB-ENG-001  
 CHECKED BY: JLB-ENG-002  
 DATE: 10/22/18

**DRAINAGE KEY NOTES**

- (01) 12" DISCHARGE PIPE WITH CAP AND 1.5" OPENING IN FOREBAY END. SEE DETAIL. CAP SHALL BE REMOVABLE. SLIP-ON PIPE AND SHALL NOT TO BE GUIDED OR PERMANENTLY ATTACHED TO PIPE. CAP TO BE INSTALLED SUCH THAT THE OPENING IS AT THE BOTTOM.
- (02) 6" THICK CLAY LINER UNDER 4" OF TOP SOIL OR AMENDED NATIVE MATERIAL. CLAY LINER SHALL HAVE INSTALLED MINIMUM INFILTRATION RATE OF 0.5" W/HR. INFILTRATION RATE SHALL BE VERIFIED BY ACID OR GEOTECHNICAL ENGINEER.
- (03) 4" MIN. OF TOP SOIL OR AMENDED NATIVE MATERIAL.
- (04) REVEGETATE AND LANDSCAPE BASIN BOTTOM AND SLOPES IN ACCORDANCE WITH THE ADA COUNTY HIGHWAY DISTRICT STORMWATER MANAGEMENT BASIN REVEGETATION GUIDANCE MANUAL, DATED OCTOBER 2017.
- (05) BASIN STORMWATER SUPPLY PIPE. SEE PLAN AND PROFILE FOR DESIGN.
- (06) METAL FLARED END SECTION WITH BRUSH RACK AND RAMPUP APRON PER ACTH-628 (SP-628).
- (07) METAL FLARED END SECTION WITH BRUSH RACK AS PER ACTH-628 (SP-628).
- (08) AMORPHED SPILL CHANNEL.

**ADDITIONAL NOTES**

- 1. CONTRACTOR SHALL NOTIFY THE ENGINEER AND ACID INSPECTION STAFF IF GROUNDWATER IS ENCOUNTERED HIGHER THAN ANTICIPATED OR THE FIELD PRECIPITATION TESTS ARE LOWER THAN THE DESIGN INFILTRATION RATE.
- 2. GROUNDWATER DATA PER GROUNDWATER REPORT PREPARED BY SITE CONSULTING, LLC, DATED OCTOBER 12, 2018. MANUFACTURE INFILTRATION RATE OF 0.5" W/HR PER GEOTECHNICAL REPORT PREPARED BY SITE CONSULTING, LLC, DATED JUNE 8, 2017.

**RECORD DRAWINGS**

<p>REUNION SUBDIVISION NO. 3                  CITY OF STAR, IDAHO</p> <p>DRAINAGE DETAILS</p> <p>SHEET NUMBER                  C-504</p>	<p>REVISION</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>RECORD DRAWINGS</td> <td>10/22/18</td> </tr> <tr> <td>2</td> <td>DESIGN</td> <td>10/12/18</td> </tr> </table>	NO.	DESCRIPTION	DATE	1	RECORD DRAWINGS	10/22/18	2	DESIGN	10/12/18	<p>JLB-ENG-001                  11704                  1/8/2018</p>	<p>J-U-B ENGINEERS, INC.                  2760 W. Excursion Ln.                  Suite 400                  Meridian, ID 83642</p> <p>Phone: 208.376.7330                  www.jub.com</p>
NO.	DESCRIPTION	DATE										
1	RECORD DRAWINGS	10/22/18										
2	DESIGN	10/12/18										



## **IMPROVEMENT PLANS**



- GENERAL**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS, THE STATE SEWER AND WATER DISTRICT (SSWD) STANDARD SPECIFICATIONS AND DRAWINGS, THE CITY OF STAR, THE REQUIREMENTS OF THE ADA COUNTY HIGHWAY DISTRICT, AND THE ISPMC LATEST EDITION.
  2. ALL CONTRACTORS, SUBCONTRACTORS AND/OR ULTIMATE CONTRACTORS SHALL ATTEND A PRECONSTRUCTION CONFERENCE A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO START OF WORK.
  3. TAKE ALL LOT DIMENSIONS ESTABLISH AND CERTAIN OFF-SITE EASEMENTS FROM THE PLAT OF REUNION SUBDIVISION NO. 1, A COPY OF WHICH IS ATTACHED TO THESE PLANS.
  4. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING GRADAGE AND IRRIGATION FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE AND IRRIGATION IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
  5. ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTION. BEYOND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROPRIATE SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
  6. ALL MATERIALS, EQUIPMENT OR FOR THE PROJECT MUST MEET THE MANUFACTURER'S SPECIFICATIONS AND ALL MATERIALS INSTALLED ON THIS PROJECT MUST BE MORE RESTRICTIVE THAN THE SPECIFICATIONS OF THE AGENCIES AND/OR THE DESIGN ENGINEER.
  7. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESENT ANY AND ALL UNDERGROUND UTILITIES.
  8. WORK SUBJECT TO APPROVAL BY ANY POLITICAL SUBDIVISION OR AGENCY MUST BE APPROVED PRIOR TO (A) BACKFILLING TRENCHES FOR PIPE, (B) PLACING OF CONCRETE, (C) PLACING OF CONCRETE, (D) PLACING OF ASPHALT PAVING, WORK DONE WITHOUT SUCH APPROVAL DOES NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
  9. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES A COPY OF THE APPROVED CONSTRUCTION PLANS ON WHICH IS RECORDED THE ACTUAL LOCATIONS OF THE CONSTRUCTED PIPE LINE AND ANY OTHER UTILITIES ENCOUNTERED. THE CONTRACTOR SHALL PROVIDE THESE LOCATIONS TO THE DESIGN ENGINEER FOR USE IN THE PRODUCTION OF RECORD DRAWINGS PER SECTION 17.2.3.3 PRIOR TO FINAL APPROVAL OF THE PIPE LINE INSTALLATION.
  10. THE CONTRACTOR SHALL PAINT FIRE HYDRANT NUMBER ASSIGNED BY THE FIRE DEPARTMENT USING A 3-INCH STENCIL WITH WHITE PAINT APPROVED BY THE FIRE DEPARTMENT AND AT A LOCATION ON THE FIRE HYDRANT APPROVED BY THE FIRE DEPARTMENT.

- SEWER**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ISPMC AND THE SUPPLEMENTAL SSWD STANDARD SPECIFICATIONS, WHERE DISCREPANCIES ARISE BETWEEN THE SSWD AND THE ISPMC, THE MOST RESTRICTIVE REQUIREMENT SHALL APPLY.
  2. APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY THE SSWD FOR SEWER MAINS AND SERVICE LINES, AND BY THE PLUMBING BUREAU FOR THE PIPING FROM THE SEWER STUB TO AND INCLUDING PLUMBING PERFORMING THE WORK IN AN ACCEPTABLE MANNER IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS AND STANDARD SPECIFICATIONS AND DRAWINGS.
  3. ALL SEWER PIPE SHALL BE BELL AND SPIGOT POLYVINYL CHLORIDE (PVC), SDR 35, ASTM D-3034, UNLESS OTHERWISE SPECIFIED. ALL SEWER PIPE SHALL COMPLY WITH APPLICABLE PORTIONS OF SECTION 4.1 OF THE SSWD STANDARD SPECIFICATIONS AND DRAWINGS.
  4. LOCATE SERVICE LINES TO THE POINTS SHOWN ON THE DRAWINGS OR AS MARKED BY THE SURVEYOR/ENGINEER IN THE FIELD. MARK AND CONSTRUCT SERVICE LINES IN ACCORDANCE WITH THE STANDARD DRAWINGS 7.16(S) AND 7.17(S). THE SERVICE MAINER SHALL BE IN PLACE FOR THE FINAL INSPECTION.
  5. THE SSWD WILL INSPECT ALL PUBLIC SEWER CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENT. THE CONTRACTOR WILL NOTIFY THE SSWD FOURTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION AND AGAIN TWENTY-FOUR (24) HOURS PRIOR TO POURING CONCRETE COLLARS.
  6. MAINTAIN GROUNDWATER LEVELS ONE FOOT (1') OR MORE BELOW THE PIPE MATERIAL PER ISPMC. DURING PIPE LAYING AND PIPE JOINT OPERATIONS AND WHILE WORKING SEWER TRENCHES, CLEAN AND RESTORE TO THEIR ORIGINAL STATE ANY DITCHES AND STORM DRAIN FACILITIES THAT ARE SLEAVED DUE TO THE CONTRACTOR'S DEMANDING EROSION, BEING AND PRE ZONE MATERIAL SHALL BE THREE-QUARTER INCH (3/4") ROCK CHIPS UNLESS OTHERWISE APPROVED.
  7. INSTALL SEWER SERVICE LINES PRIOR TO STREET IMPROVEMENTS.
  8. CONSTRUCT SANITARY SEWER MAINS IN ACCORDANCE WITH SECTION 4.3 OF THE STANDARD SPECIFICATIONS, AND DRAWINGS 7.21(S), 7.22(S), 7.23(S), 7.26(S) AS APPLICABLE.
  9. THE CONTRACTOR SHALL TEST ALL SEWER LINES IN ACCORDANCE WITH SECTION 4.1.1 OF THE SSWD STANDARD SPECIFICATIONS AND DRAWINGS.
  10. PLACE SEWER SERVICE LINES IN A SIX (6) INCH DIAMETER WATER CLASS PIPE WHEREVER THE SERVICE LINE CROSSES A STORMWATER DISPOSAL FACILITY (I.E., SLEEPAGE BEDS, DRAINAGE SWALES).
  11. THE SEPARATION OF WATER AND SEWER MAINS SHALL BE PER WATER NOTE # 4.
  12. WHEN COVER OVER A SEWER PIPE IS LESS THAN THREE (3) FEET FROM TOP OF PIPE TO SUBGRADE OR TOP OF PAVED SURFACE, USE A SEWER PIPE WITH A MINIMUM OF 20 PSI STRENGTH PER ASTM D 2241/SDR 21, INCLUDING SERVICE LINES AND FITTINGS.
  13. ONLY PLANS APPROVED BY THE SSWD ENGINEER SHALL BE USED BY THE PROJECT CONTRACTOR.
  14. THE CONTRACTOR SHALL CONDUCT A TELEVISION INSPECTION UPON COMPLETION OF THE SEWER LINES AND PROVIDE A VIDEO OF THE INSPECTION PRIOR TO FINAL ACCEPTANCE OF THE SEWER. PER SECTION 4.3 OF THE STANDARD SPECIFICATIONS.
  15. THE CONTRACTOR'S SURVEYOR SHALL VERIFY EACH VERTICAL WATER ELEVATION DURING CONSTRUCTION. THE SURVEYOR SHALL ALSO VERIFY THE PIPE INVERT ELEVATION 100 FEET FROM EACH MANHOLE TO CONSTRUCT PIPE GRADE.
  16. THE CONTRACTOR SHALL FURNISH MANHOLES WITH MANHOLE IDENTIFICATION NUMBERS LABELED ON THE INSIDE.
- ROADWAY ACHD**
1. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE ISPMC THE SSWD STANDARD SPECIFICATIONS, AND EXCEPTIONS TO DISTRICT LOCAL STANDARDS, AND THE ISPMC WILL BE ALIGNED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DISTRICT.
  2. WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNLESS NOTIFICATION PLANS NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION, (200)397-6294 FOR PRIVATE ROADWAYS CONTACT THE OWNER'S ENGINEER.
  3. INSPECTION OF WORK WITHIN THE RIGHT-OF-WAY SHALL BE BY THE ADA COUNTY HIGHWAY DISTRICT (ACHD) AND MUST BE SCHEDULED IMMEDIATELY PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY THE ACHD AT LEAST 72 HOURS PRIOR TO THE START OF WORK.
  4. ALL TOPS OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED STREET GRADES. THE ROADWAY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACERS, GRADE BINGS, MANHOLE RINGS AND LIDS.
  5. EXISTING A.C. PAVEMENT SHALL BE CUT TO A NEAR STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
  6. ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACK CHARGED TO THE CONTRACTOR BY THE OWNER.
  7. ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
  8. ALL WATER VALVES, BLOWOFFS AND MANHOLES WILL BE PLACED SO AS NOT TO CONTACT WITH ANY CONCRETE CURB, GUTTER, WALKER GUTTER AND SIDEWALK IMPROVEMENTS.
  9. ALL WATER VALVES AND FIRE HYDRANTS ARE TO BE LOCATED OUT OF THE ROAD RIGHT-OF-WAY. THERE MUST BE AT LEAST A ONE (1) FOOT SPACER BETWEEN THE BACK OF SIDEWALK (OR CURB IF NO SIDEWALK) AND THE LEADING EDGE OF AN FIRE HYDRANT.
  10. OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY THE FIELD INSPECTOR.
  11. ALL MATERIAL PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SECTION 306 OF THE CURRENT EDITION OF ISPMC.
  12. ROADWAY CONSTRUCTION WILL MEET SPECIFIC DETAILS AND REQUIREMENTS OF THE FOLLOWING IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION STANDARD DRAWINGS: (CURRENT EDITION)
    - A. RESIDENTIAL STREET SECTION, ACHD SUPPLEMENT TO ISPMC SD-801, AND SECTIONS AS SHOWN ON ROADWAY DETAIL SHEET.
    - B. VERTICAL CURB AND GUTTER, ACHD SUPPLEMENT TO ISPMC SD-701.
    - C. ROLLED CURB AND GUTTER, ACHD SUPPLEMENT TO ISPMC SD-702.
    - D. VALLEY GUTTER, ACHD SUPPLEMENT TO ISPMC SD-708.
    - E. SIDEWALKS, ACHD SUPPLEMENT TO ISPMC SD-709.
    - F. PEDESTRIAN RAJPS, ISPMC SD-712A.
    - G. PEDESTRIAN RAJPS, ACHD SUPPLEMENT TO ISPMC SD-712 & SD-712H.
    - H. STANDARD TYPICAL DRAIN INLET, ACHD SUPPLEMENT TO ISPMC SD-604A.
    - I. STANDARD TYPICAL DRAIN INLET, ACHD SUPPLEMENT TO ISPMC SD-601.
    - J. STANDARD CATCH MANHOLE, ISPMC SD-811.
  13. ABANDONED BUILDINGS, TEST PITS OR WATERWAYS LOCATED WITHIN CURRENT OR FUTURE RIGHT-OF-WAYS SHALL BE RE-EXCAVATED TO MAINTAIN SOIL AND BACKFILLED WITH STRUCTURAL FILL PER ISPMC SPECIFICATIONS. CONTRACTOR TO PROVIDE SOIL DATA AND A COPY OF THE COMPACTION TESTS TO VERIFY NATIVE MATERIAL MEETS THE REQUIREMENTS FOR ENGINEERED FILL PER ISPMC SPECIFICATIONS (95% COMPACTION OF LABORATORY STANDARDS).
  14. SANITARY SEWER AND STORM DRAIN MANHOLES, COVERS AND STRUCTURES SHALL BE SET TO SPECIFIED ELEVATION BY THEIR RESPECTIVE CONTRACTORS. ALL REMAINING MANHOLE MATERIALS, EXCEPT CONCRETE COLLARS, NECESSARY TO CONSTRUCT MANHOLES TO FINISHED GRADE IN PAVED AREAS SHALL BE FURNISHED BY THE PIPE CONTRACTOR FOR PLACEMENT AT FINISHED GRADE BY STREET PAVING CONTRACTOR. FOR MANHOLES NOT WITHIN PAVED AREAS, THE CONTRACTOR SHALL BE SET TO FINISHED GRADE BY THEIR RESPECTIVE CONTRACTORS. ALL MATERIALS, INCLUDING CONCRETE COLLARS, SHALL BE SET TO FINISHED GRADE BY STREET PAVING CONTRACTOR. BE SCHEDULED IMMEDIATELY PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY THE ACHD AT LEAST 72 HOURS PRIOR TO THE START OF WORK.
  15. ASPHALT ROADWAY REPAIRS SHALL BE PER ISPMC STANDARDS AND ACHD SUPPLEMENT SD-303.
  16. ACHD INSPECTION STAFF WILL BE MORE CLOSELY MONITORING PEDESTRIAN FACILITIES FOR COMPLIANCE WITH ADA STANDARDS. AS A REPAIRER, SLOWLY CROSS SLOPES SHALL NOT EXCEED 2.0%. THERE ARE NO TOLERANCES ALLOWED.

- PAVEMENT REPAIR FROM UTILITY WORK, ACHD**
1. ACTUAL FIELD CONDITIONS DURING TRENCHING MAY REQUIRE ADDITIONAL PAVEMENT REPAIR BEYOND THE LIMITS SHOWN ON THE PLAN. THE FOLLOWING CONDITIONS ARE LISTED IN SECTION 6000 OF ACHD POLICY MANUAL.
  2. ALL ASPHALT PATCH LINES FOR PAVEMENT REPAIR SHALL BE PARALLEL TO THE CENTERLINE OF THE STREET AND INCLUDE ANY AREA DAMAGED BY EQUIPMENT DURING TRENCHING OPERATIONS.
  3. IF THE CUMULATIVE DAMAGED PAVEMENT EXCEEDS 50% OF THE TOTAL ROAD SURFACE THE CONTRACTOR SHALL REPLACE THE ENTIRE ROADWAY SURFACE.
  4. CONTRACTOR SHALL REPLACE THE PAVEMENT SURFACE TO ENSURE MATCH LINE DOES NOT FALL WITHIN THE WHEEL PATH OF A LANE. MATCH LINE SHALL ONLY FALL IN THE CENTER OR EDGE OF A TRAVEL LANE.
  5. FLOWABLE FILL OR UNPAVED MATERIAL MAY BE REQUIRED IF THE MATCH TRENCH MATERIAL IS DEEMED UNSUITABLE BY ACHD INSPECTOR. DOES NOT MEET COMPACTION STANDARDS OR THE IS A CRITICAL FACTOR.
  6. ANY EXCEPTIONS TO THESE RULES SHALL BE PRE-APPROVED IN WRITING BY DISTRICT STAFF BEFORE CONSTRUCTION BEGINS.
- PRESSURIZED IRRIGATION**
1. INSTALL ALL CROSSINGS OF THE PUBLIC RIGHT-OF-WAY, PRIVATE ROADWAYS AND TRAVELWAYS WITH PRESSURIZED IRRIGATION AT A MINIMUM DEPTH OF TWO-AND ONE-HALF (2'-1/2') FEET AND IN AN AWWA C-900 PIPE SLEEVE WITH LOCKER WELLS. THE PUBLIC WORKS DEPARTMENT AND ACHD SHALL INSPECT ALL CROSSINGS PRIOR TO BACKFILLING.
  2. THE HORIZONTAL SEPARATION OF POTABLE WATER MAINS AND NON-POTABLE WATER MAINS (SANITARY SEWER, STORM DRAIN, AND IRRIGATION) SHALL BE A MINIMUM OF TEN (10) FEET, WHERE IT IS NECESSARY FOR A POTABLE WATER MAIN AND NON-POTABLE WATER MAIN TO CROSS WITH LESS THAN EIGHTEEN (18) INCHES OF VERTICAL SEPARATION. THE CROSSING SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 542.07 OF THE IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS (IDAPA 58.01.08) AND SECTION 430.02 OF THE MASTERPIECE RULES (IDAPA 58.01.16).
  3. THE HORIZONTAL SEPARATION OF NON-POTABLE SERVICES AND POTABLE WATER SERVICES OR POTABLE WATER MAINS SHALL BE A MINIMUM OF SIX (6) FEET. THESE SEPARATIONS SHALL BE FROM A POTABLE WATER MAIN AND THE NON-POTABLE WATER MAIN TO CROSS. THESE SEPARATIONS SHALL BE FROM A POTABLE WATER MAIN AND THE DRINKING WATER SYSTEMS (IDAPA 58.01.08) AND SECTION 430.02 OF THE MASTERPIECE RULES (IDAPA 58.01.16).
  4. INSTALL FINDER TAPE WITH ALL IRRIGATION MAINS. TAPE SHALL BE TWO (2) INCHES WIDE, METALLIC RED IN COLOR, WITH THE WORDS DANGER - UNSAFE WATER OR NON-POTABLE WATER CLEARLY MARKED ABOVE ITS LENGTH. PLACE THE TAPE BETWEEN SIX (6) INCHES BELOW THE SURFACE AND EIGHTEEN (18) INCHES ABOVE THE TOP OF THE PIPE.
  5. LABEL ALL IRRIGATION RISERS AND FACETS WITH DURABLE TAGS CARRYING THE WARNING DANGER-UNSAFE WATER OR NON-POTABLE WATER.
  6. LABEL ALL VALVE BOXES AND VALVES WITH DURABLE TAGS CARRYING THE WARNING DANGER-UNSAFE WATER OR NON-POTABLE WATER. THESE TAGS SHALL BE PLACED AT A MINIMUM OF TEN (10) FEET OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, PRIVATE ROADWAYS AND TRAVELWAYS.
  7. INSTALL A REDUCED PRESSURE BACKFLOW PREVENTER IN ANY CONNECTION BETWEEN THE POTABLE WATER SYSTEM AND THE PRESSURIZED IRRIGATION SYSTEM. THE DEVICE MUST BE APPROVED BY THE ROADWAY DEPARTMENT OF ENVIRONMENTAL QUALITY (EQD) AND THE CITY OF MERIDIAN WATER DEPARTMENT.
  8. THE PUBLIC WORKS DEPARTMENT SHALL INSPECT ALL PRESSURIZED IRRIGATION UNLESS A PROPERLY EXECUTED AGREEMENT FOR INSPECTION AND MAINTENANCE IS IN EFFECT WITH THE APPLICABLE IRRIGATION DISTRICT. FRONT-FOOT (48) HOURS ADVANCE NOTICE IS REQUIRED.
- STORM DRAIN, ACHD**
1. THE PIPE CONTRACTOR SHALL REPLACE ALL PAVEMENT AND CONCRETE REMOVED FOR THE INSTALLATION OF WATER, SEWER, OR IRRIGATION PIPE. ALL PAVEMENT SHALL BE REPLACED WITHIN SEVEN (7) CALENDAR DAYS FROM THE TIME THE PAVEMENT AND CONCRETE IS REMOVED.
  2. ALL STORM DRAIN PIPE SHALL BE OF MATERIALS SPECIFIED IN ISPMC SECTION 601, PART 2, SECTION 2.2, UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DRAWINGS.
  3. ALL SEWERS, DRAIN LINES, AND STORM DRAINS SHALL BE TESTED IN ACCORDANCE WITH ISPMC SECTION 500, PART 3, SECTION 3.4.
  4. ALL CATCH BASINS SHALL HAVE A ONE-FOOT CATCH DEPTH BELOW INVERT OF OUTLET PIPE.
  5. ALL CATCH BASINS AND GRATES WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED PER THE ACHD SUPPLEMENT TO ISPMC STANDARD DRAWING NO. SD-601 TYPE 1, SD-609 TYPE 1, SD-609 TYPE 1 OR STANDARD DRAWING NO. SD-604 TYPE IV, SD-609 TYPE I.
  6. THE PIPE CONTRACTOR SHALL MAINTAIN A 10' MINIMUM HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES, AND BETWEEN STORM DRAINS AND WATER LINES. SEE SEWER NOTE NO. 12.
  7. ALL STORM DRAIN MANHOLES SHALL BE CATCH MANHOLES PER ISPMC STD. DWG NO. SD-501.
  8. STORM DRAIN AND IRRIGATION STREET CROSSINGS SHALL UNITE TYPE I BEHIND WATER MAIN, PLACED IN SIX (6) INCH LAYERS AS PER ISPMC STANDARD DRAWING DETAIL, DRAWING NO. SD-501.
  9. ANY PVC STORM DRAIN PIPE SHALL CONFORM TO ASTM D3034 OR ASTM F794 SPECIFICATIONS AND SHALL BE INSTALLED WATER TIGHT.
  10. ALL STORM DRAINAGE APPURTENANCES SHALL BE INSPECTED BY ADA COUNTY HIGHWAY DISTRICT.

**RECORD DRAWINGS**

These record drawings have been prepared based on information gathered during construction. The contractor is responsible for providing accurate information and for correcting any errors or omissions. The engineer is responsible for reviewing the information and for certifying that the drawings are correct. The contractor is responsible for providing a copy of these drawings to the engineer and for maintaining a copy of these drawings on site. The contractor is responsible for providing a copy of these drawings to the engineer and for maintaining a copy of these drawings on site.

**RECORD DRAWINGS**

**REUNION SUBDIVISION NO. 3  
CITY OF STAR, IDAHO**

**NOTE SHEET**

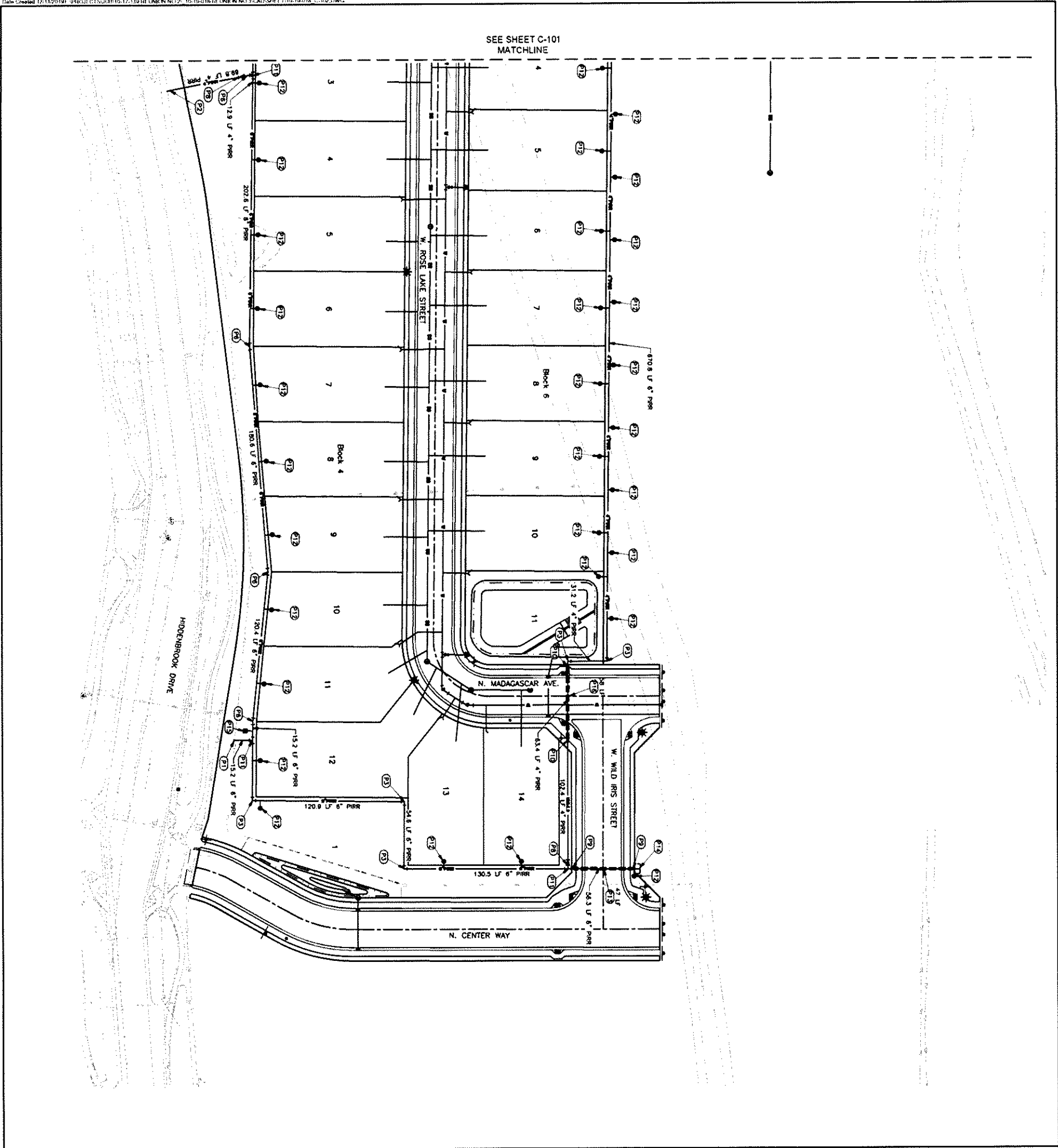
<p>DATE: 08/22/20</p> <p>BY: [Signature]</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: REUNION SUBDIVISION NO. 3</p> <p>SHEET NUMBER: C-002</p>	<p>REVISION</p> <p>NO. 1</p> <p>DATE: 08/22/20</p> <p>DESCRIPTION: [Blank]</p>
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**J-U-B ENGINEERS, INC.**

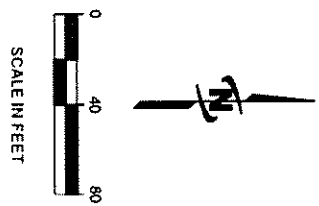
2760 W. Excursion Ln.  
Suite 400  
Meridian, ID 83642

Phone: 208.376.7330  
www.jub.com





SEE SHEET C-101  
MATCHLINE



**KEYED NOTES**

- (21) CONNECT TO EXISTING 6" PRESSURE IRRIGATION CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION.
- (22) CONNECT TO EXISTING 4" PRESSURE IRRIGATION CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION.
- (23) 90° ELBOW
- (24) 45° ELBOW
- (25) 22.5° ELBOW
- (26) 11.25° ELBOW
- (27) 4" TEE
- (28) 6"x4" REDUCER
- (29) 6" GATE VALVE
- (30) 4" GATE VALVE
- (31) 6" TEE
- (32) IRRIGATION SERVICE PER ISPIC SD-902
- (33) 10" C-900 PVC SLEEVE CENTERED UNDER ROADWAY PER PRESSURE IRRIGATION NOTE 1 ON SHEET C-022.
- (34) 6" BLIND FLANGE
- (35) AIR RELEASE VALVE
- (36) 8" C-900 PVC SILENT CENTERED UNDER ROADWAY PER PRESSURE IRRIGATION NOTE 1 ON SHEET C-022.

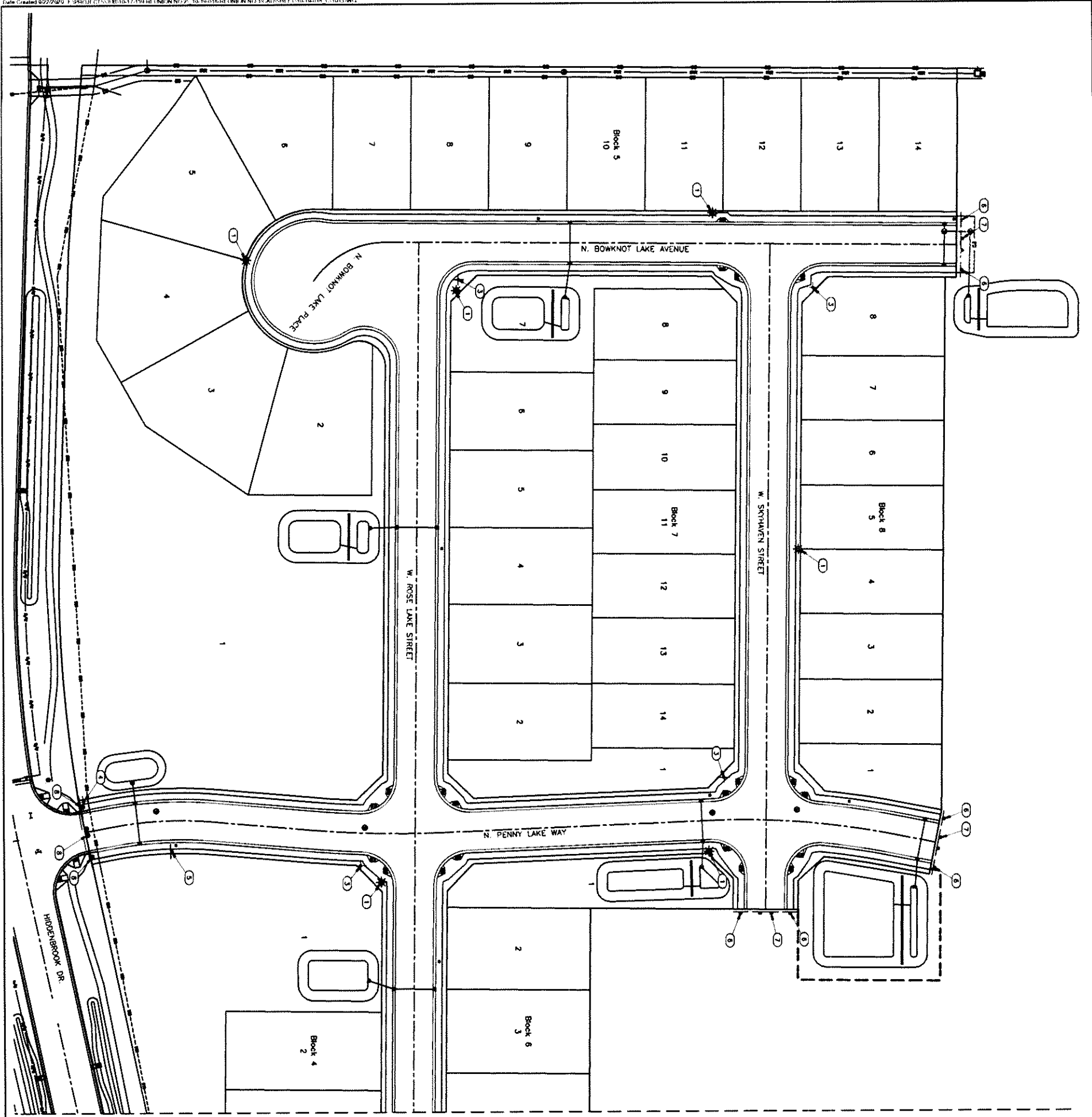
**ADDITIONAL NOTE:**

ALL VALVES, FITTINGS, AND BRIDGES SHALL BE RESTRAINED WITH THURST BLOCKING PER ISPIC SD-403.

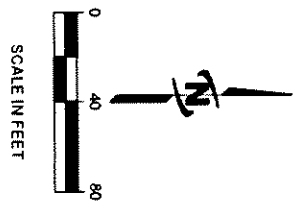
**RECORD DRAWINGS:**  
 These record drawings have been prepared based on information gathered during construction. The information provided by others has not been verified by J-U-B. It is the responsibility of the contractor to verify the accuracy of the information provided by others. The contractor shall be responsible for any errors or omissions in the drawings. The contractor shall be responsible for any errors or omissions in the drawings. The contractor shall be responsible for any errors or omissions in the drawings.

**RECORD DRAWINGS**

<p><b>C-102</b></p> <p>SHEET NUMBER:</p>	<p><b>REUNION SUBDIVISION NO. 3</b>  <b>CITY OF STAR, IDAHO</b></p> <p><b>PRESSURE IRRIGATION PLAN</b></p>	<p><b>REUSE OF DRAWINGS</b></p> <p>JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS, AND THE SAME SHALL NOT BE REUSED WITHOUT JUB'S WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.</p>		<p><b>J-U-B ENGINEERS, INC.</b>                  2760 W. Excursion Ln.                  Suite 400                  Meridian, ID 83642</p> <p>Phone: 208.376.7330                  www.jub.com</p>
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MATCHLINE STA. 10+00  
 SEE SHEET C-104



**KEYED NOTES**

- ① INSTALL STREET LIGHT PER CITY OF STAR STREET LIGHTING STANDARDS
- ② EXISTING STREET LIGHT
- ③ INSTALL STREET DESIGNATED SIGN
- ④ INSTALL 30" R1-1 STOP SIGN WITH STREET DESIGNATION SIGN MOUNTED ON TOP
- ⑤ INSTALL 24" X 30" R2-1(25) SPEED LIMIT SIGN
- ⑥ INSTALL TYPE A TERMINUS BARRICADE WITH KICK PLATE PER ACD SUPPLEMENT TO RSPWC SD-1132A
- ⑦ INSTALL TYPE B TERMINUS BARRICADE PER ACD SUPPLEMENT TO RSPWC SD-1132B WITH ROAD TO BE EXTENDED IN THE FUTURE SIGN
- ⑧ REMOVE EXISTING TERMINUS BARRICADE

**NOTES**

1. PRIOR TO PLACEMENT OF ANY PERMITS, CONTACT ACD INSPECTOR FOR INFORMATION OF COMPLIANCE WITH PERMITS AND EXISTING WORK.
2. CONTRACTOR RESPONSIBLE FOR SIGN INSTALLATION MUST BE BONDED WITH ACD AND OBTAIN A NO-COMMERCE RIGHT OF WAY PERMIT.

**Plans Are Accepted For Public Street Construction**

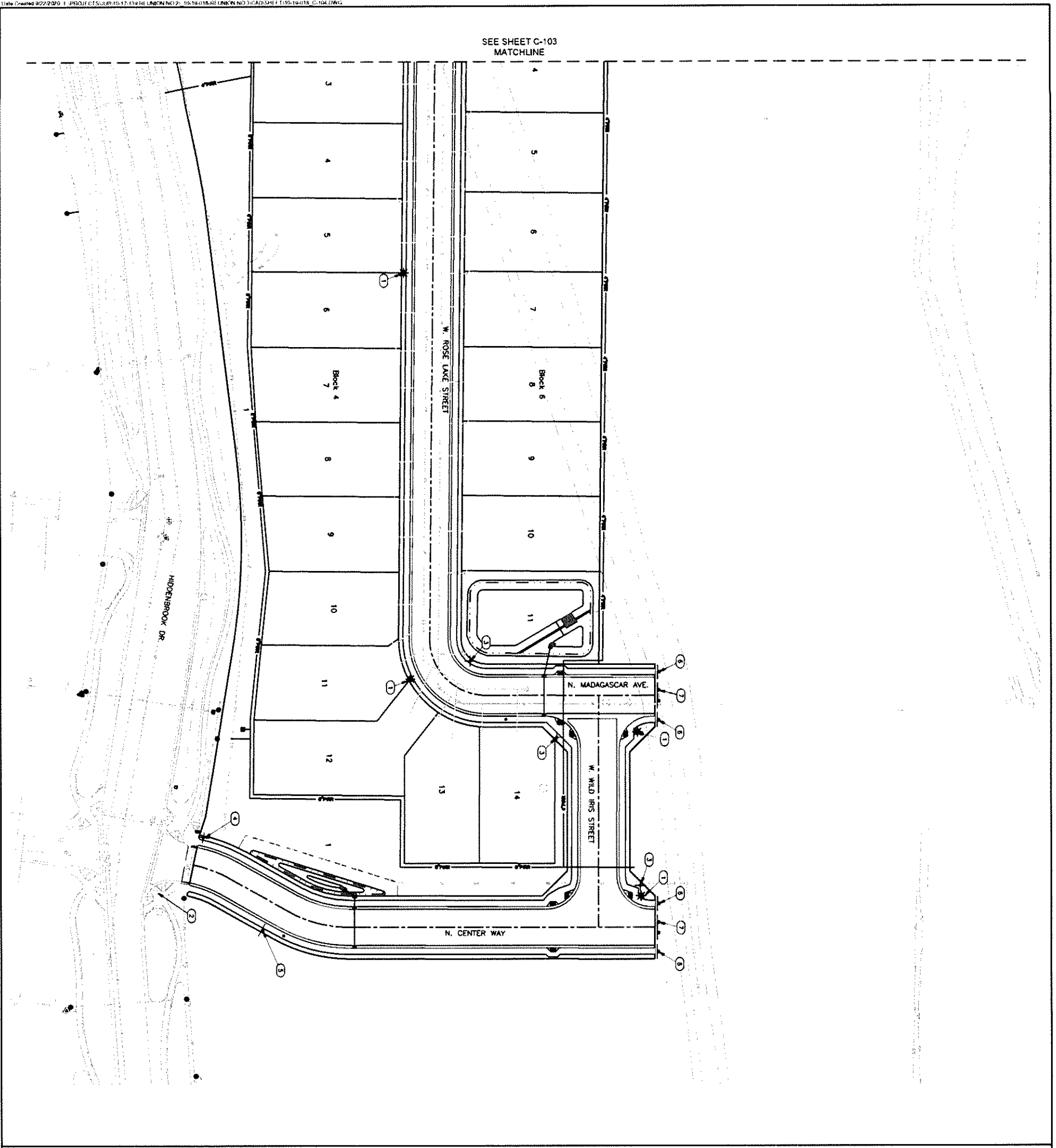
By accepting and signing the improvement plans, the Registered Engineer ensures the District that the plans conform to all District policies and standards. Violences or errors must be specifically and previously approved by the District in writing. Acceptance of the improvement plans by the District does not release the Registered Engineer of their responsibilities.

By: ADAM COONIN REGISTERED DISTRICT ENGINEER DATE: \_\_\_\_\_

**RECORD DRAWINGS**

These record drawings have been prepared based on information obtained during field observations as well as information provided by others. The accuracy of the information is not guaranteed. It is the responsibility of the user to verify the information by the public entity, any individual, or organization, shall be of the public entity. Any such of the registrant's professional seal and stamp shall be required to be placed on the record drawing. Information was completed by self under the registrant's responsible charge.

<p><b>REUNION SUBDIVISION NO. 3</b>  <b>CITY OF STAR, IDAHO</b></p> <p><b>STREET LIGHT AND SIGNAGE PLAN</b></p>	<p><b>REUSE OF DRAWINGS</b></p> <p>JUB SHALL RETAIN ALL COMMON LAW STATUTORY, COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS, AND THE SAME SHALL NOT BE REUSED WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY A USER SHALL BE AT USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.</p>	<p><b>J-U-B ENGINEERS, INC.</b>                  2760 W. Excursion Ln.                  Suite 400                  Meridian, ID 83642</p> <p>Phone: 208.376.7330                  www.jub.com</p>		<p><b>JUB ENGINEERS, INC.</b></p>													
<p><b>C-103</b></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>RECORD DRAWINGS</td> <td>PHM/MEP/09/27/20</td> </tr> <tr> <td>2</td> <td>DESCRIPTION</td> <td>BY JAPM DATE</td> </tr> </tbody> </table>	NO.	REVISION	DATE	1	RECORD DRAWINGS	PHM/MEP/09/27/20	2	DESCRIPTION	BY JAPM DATE	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>FILED</td> <td>DATE</td> </tr> <tr> <td>11/13/2020</td> <td>11/13/2020</td> </tr> </table>	FILED	DATE	11/13/2020	11/13/2020	<p><b>JUB ENGINEERS, INC.</b></p>	<p><b>JUB ENGINEERS, INC.</b></p>
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1	RECORD DRAWINGS	PHM/MEP/09/27/20															
2	DESCRIPTION	BY JAPM DATE															
FILED	DATE																
11/13/2020	11/13/2020																



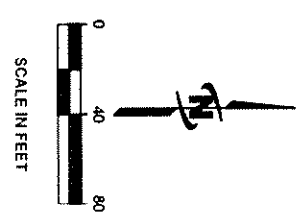
SEE SHEET C-103  
MATCHLINE

**KEYED NOTES**

- 1. INSTALL STREET LIGHT PER CITY OF STAR STREET LIGHTING STANDARDS
- 2. EXISTING STREET LIGHT
- 3. INSTALL STREET DESIGNATED SIGN
- 4. INSTALL 30" x 30" STOP SIGN WITH STREET DESIGNATION SIGN MOUNTED ON TOP
- 5. INSTALL 24" x 30" R2-129) SPEED LIMIT SIGN
- 6. INSTALL TYPE II TERMINUS BARRICADE WITH KICK PLATE PER ACHD SUPPLEMENT TO SPWC SD-1132A
- 7. INSTALL TYPE III TERMINUS BARRICADE PER ACHD SUPPLEMENT TO SPWC SD-1132B WITH ROAD TO BE EXTENDED IN THE FUTURE SIGN

**NOTES**

1. PRIOR TO PLACEMENT OF ANY PERMITS, MARKINGS, CONTACT AND INSPECTION FOR VERIFICATION OF COMPLIANCE WITH CITY AND EXISTING MARKINGS.
2. CONTRACTOR RESPONSIBLE FOR SIGN INSTALLATION MUST BE BONDING WITH ACHD AND OBTAIN A NO-CHANGE ORDER OF WAY PERMIT.



**RECORD REMARKS:**  
 This record drawing has been prepared based on information obtained during field observations as well as information provided by others. The accuracy or completeness of information provided by others has not been verified by J-U-B. If these record drawings are a public record, J-U-B grants the public entity with whom these drawings were prepared the right to use, copy, reproduce, and/or disseminate the information in whole or in part by the public entity, any individual, or organization, without liability or legal recourse to J-U-B. Any use of the information included herein, however, that is not the original report drawing information was completed by staff under the registration responsible design.

**RECORD DRAWINGS**

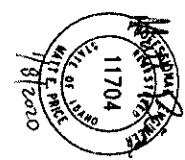
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 PROJECT: REUNION SUBDIVISION NO. 3 CITY OF STAR, IDAHO  
 SHEET NUMBER: C-104

REUNION SUBDIVISION NO. 3  
CITY OF STAR, IDAHO

STREET LIGHT AND SIGNAGE PLAN

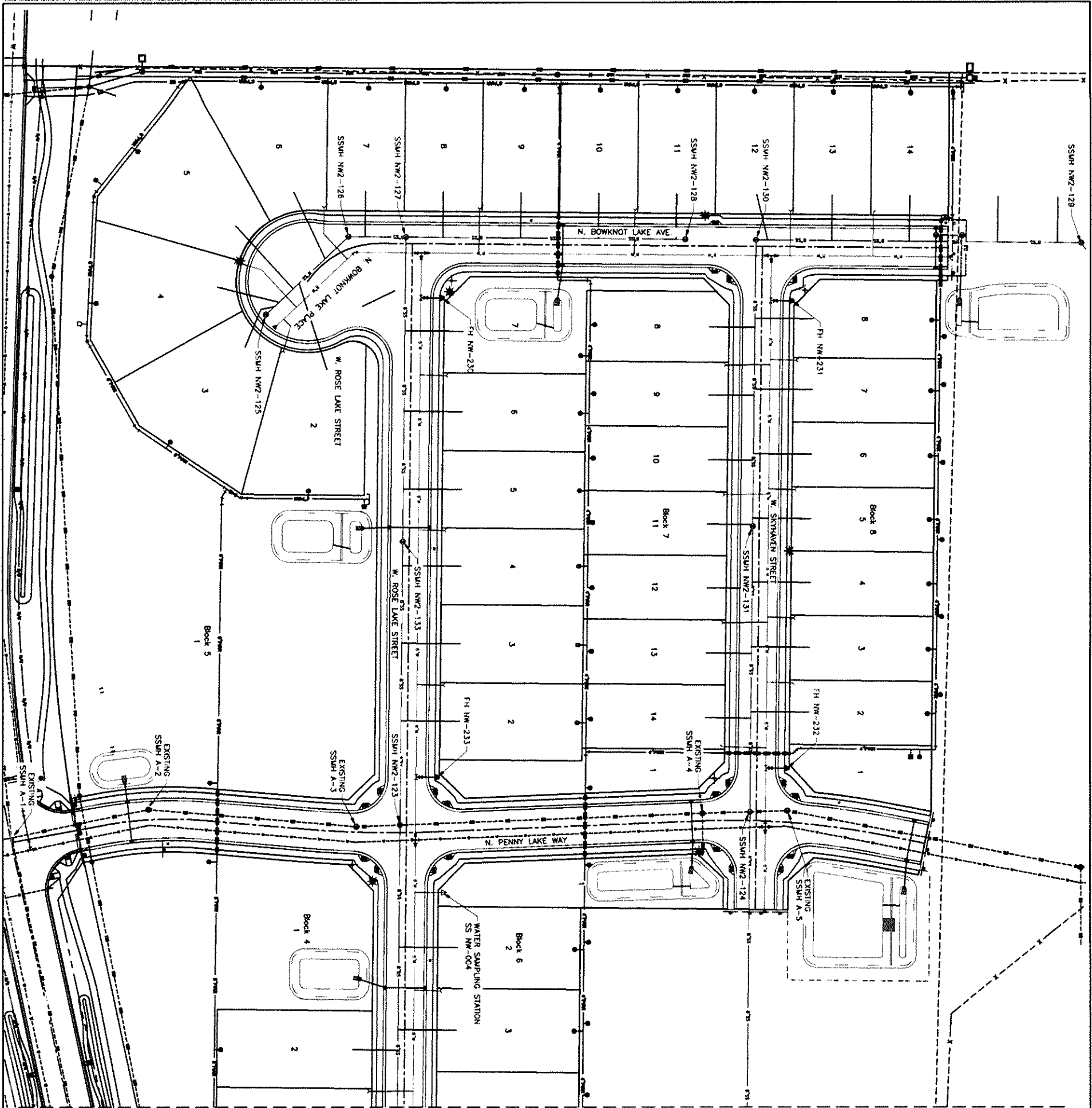
REUSE OF DRAWINGS  
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NO.	REVISION	DATE
1	RECORD DRAWINGS	09/22/2010



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 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com

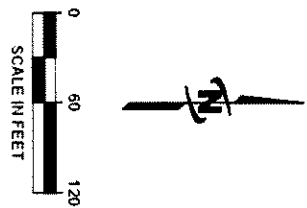




MATCHLINE  
SEE SHEET C-106

**RECORD DRAWINGS**  
 These record drawings have been prepared based on information provided during the public hearing and are subject to change. The City of Star, Idaho, is not responsible for the accuracy of the information provided by others that has not been verified by J-U-B. If these record drawings are a public record, J-U-B grants the public entity with jurisdiction the right to copy and disseminate the said copy or copies in whole or in part, in any form, without charge, provided that the public entity, by the public entity, any individual, or organization, shall be of the public entity's, individual's, and/or organization's sole risk and without liability or legal recourse to J-U-B.  
 Any terms of the registration protocol herein represent that the drafting of the record drawings is the responsibility of the registrant.

**MAINLINE QUANTITIES**  
 SANITARY SEWER 2,109 LF (TOTAL)  
 DOMESTIC WATER 2,385 LF (TOTAL)



**RECORD DRAWINGS**

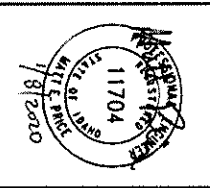
DATE: 02/22/2010  
 DRAWN BY: STEPHEN SMITH  
 CHECKED BY: JUB  
 TITLE: REUNION SUBDIVISION NO. 3  
 SHEET NUMBER: C-105

**REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO**

**OVERALL UTILITY PLAN**

REUSE OF DRAWINGS  
 JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS, AND THE SAME SHALL NOT BE REUSED WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.

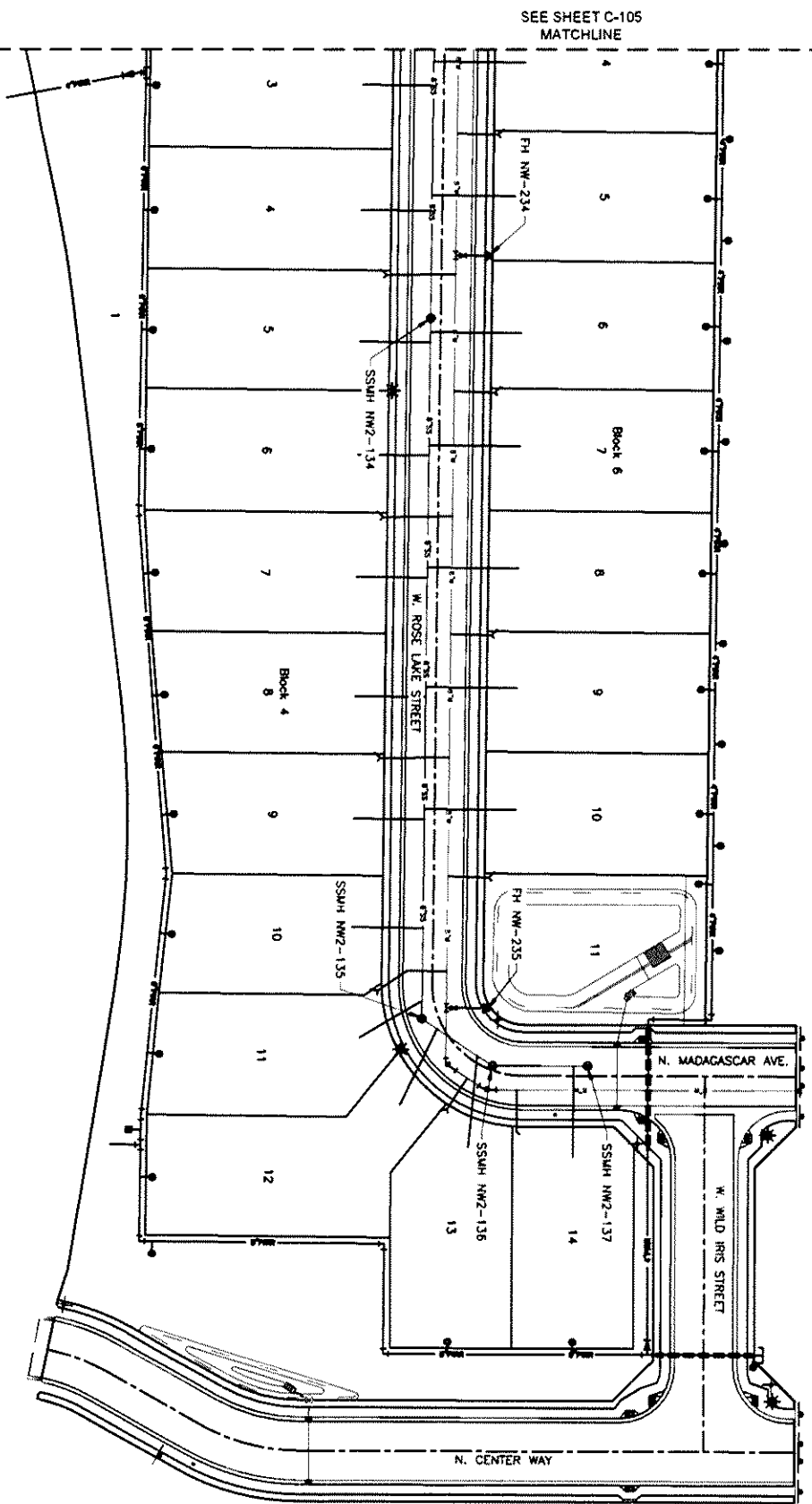
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1	RECORD DRAWINGS	02/22/2010	SS	



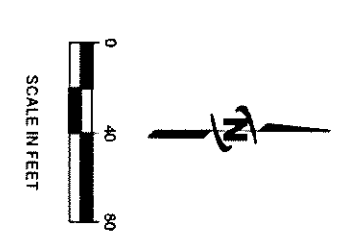
**J-U-B ENGINEERS, INC.**  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com







**MAINLINE QUANTITIES**  
 SANITARY SEWER 2,256 LF (107%)  
 DOMESTIC WATER 2,395 LF (107%)



**RECORD DRAWINGS**

These drawings have been prepared based on information obtained during field observations or on information provided by others. The accuracy or completeness of information provided by others has not been verified by J-U-B. These record drawings are a public record. J-U-B grants the public entity with jurisdiction over the project, the right to copy and disseminate the drawings to the public entity, any individual, or organization, and the right to use the drawings for any purpose, including the construction of the project. J-U-B shall not be responsible for any errors or omissions in the drawings, or for any liability or legal exposure to the public entity, any individual, or organization, resulting from the use of the drawings. The drawings are provided as a guide only and do not constitute a contract. The drawings are the property of J-U-B and shall remain confidential. The drawings are not to be used for any other purpose without the written consent of J-U-B. The drawings are not to be used for any other purpose without the written consent of J-U-B.

**RECORD DRAWINGS**

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO

OVERALL UTILITY PLAN

SHEET NUMBER  
**C-106**

**REUSE OF DRAWINGS**  
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NO.	DESCRIPTION	DATE
1	RECORD DRAWINGS	02/22/2011

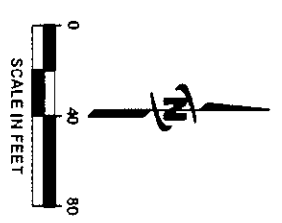
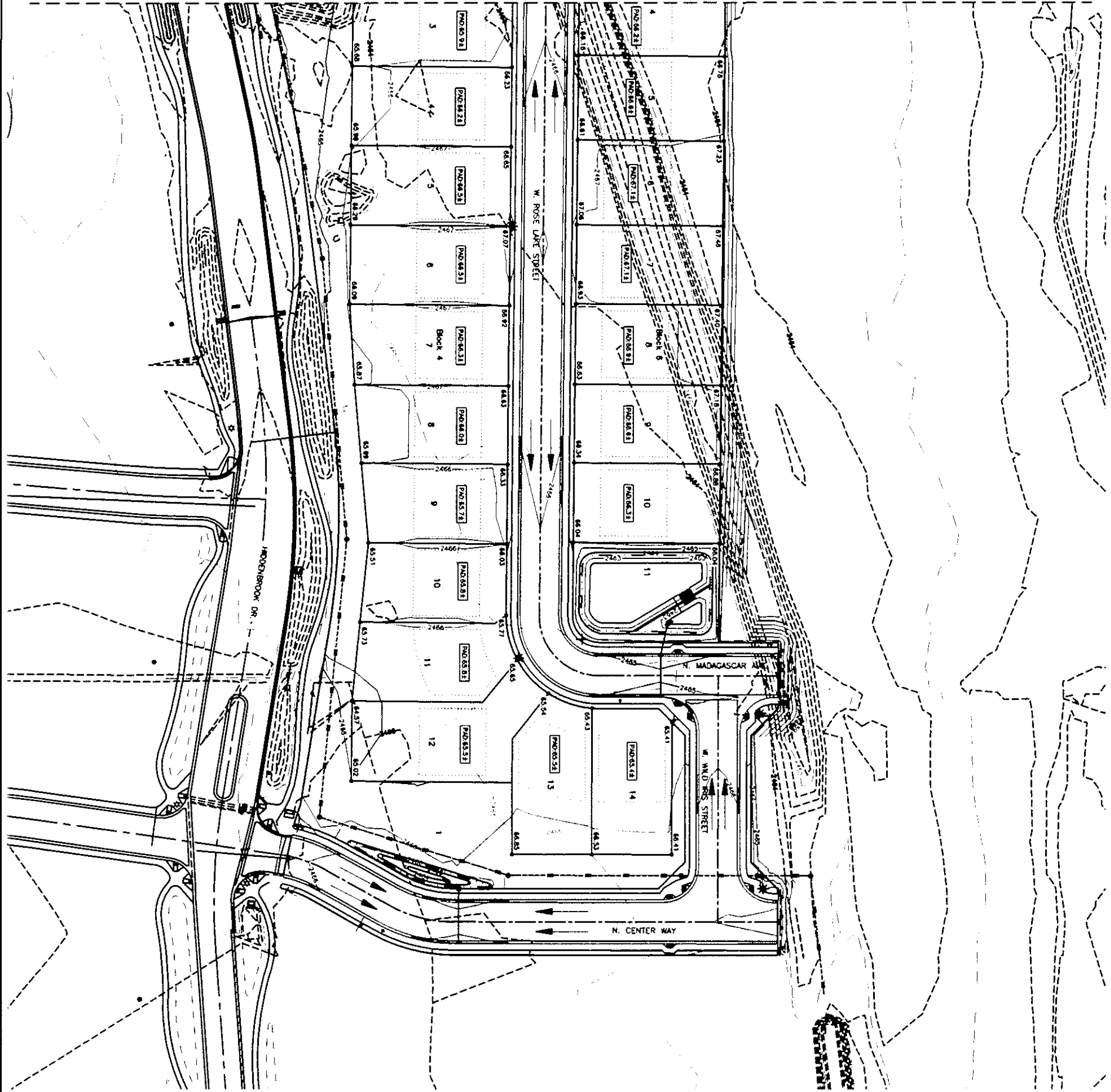
**J-U-B ENGINEERS, INC.**  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642  
 Phone: 208.376.7330  
 www.jub.com

STATE OF IDAHO  
 REGISTERED PROFESSIONAL ENGINEER  
 11704  
 7/8/2010

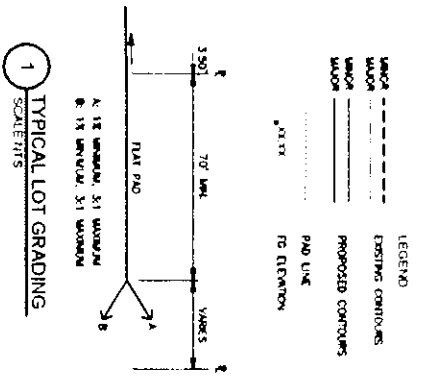




SEE SHEET C-201  
 MATCHLINE



- NOTES TO CONTRACTOR**
1. ALL ELEVATIONS TO BE SHOWN TO THE CENTERLINE OF THE ROAD.
  2. ALL ELEVATIONS TO BE SHOWN TO THE CENTERLINE OF THE ROAD.
  3. EXISTING UTILITIES MUST BE MAINTAINED FROM DOMESTIC USE IN ACCORDANCE WITH CITY DEPARTMENT OF WATER RESOURCES REQUIREMENTS. ANY DEVIATION OF DEVIATION WILL BE AT THE CONTRACTOR'S RISK AND WILL BE USED FOR PROTECTION PURPOSES.
  4. EXISTING SPOT ELEVATIONS AND STREET ELEVATIONS MUST BE MAINTAINED IN ACCORDANCE WITH CITY DEPARTMENT HEALTH DEPARTMENT REQUIREMENTS.



**EARTHWORK**  
 CUT: 5088 C.Y.  
 FILL: 42800 C.Y.  
 NOTE: 37714 C.Y. IMPORT

NOTE: SLOPEFACTOR FACTOR HAS BEEN ASSUMED FOR ALL SLOPES. SLOPEFACTOR CALCULATED TO SLOPEFACTOR.

**RECORD DRAWINGS**

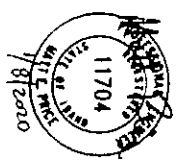
RECORD DRAWINGS: These drawings have been prepared based on information obtained during field construction or on the information provided by others. The contractor is responsible for the accuracy of the information provided by others. The contractor is responsible for the accuracy of the information provided by others. The contractor is responsible for the accuracy of the information provided by others.

**RECORD DRAWINGS**

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO

GRADING PLAN

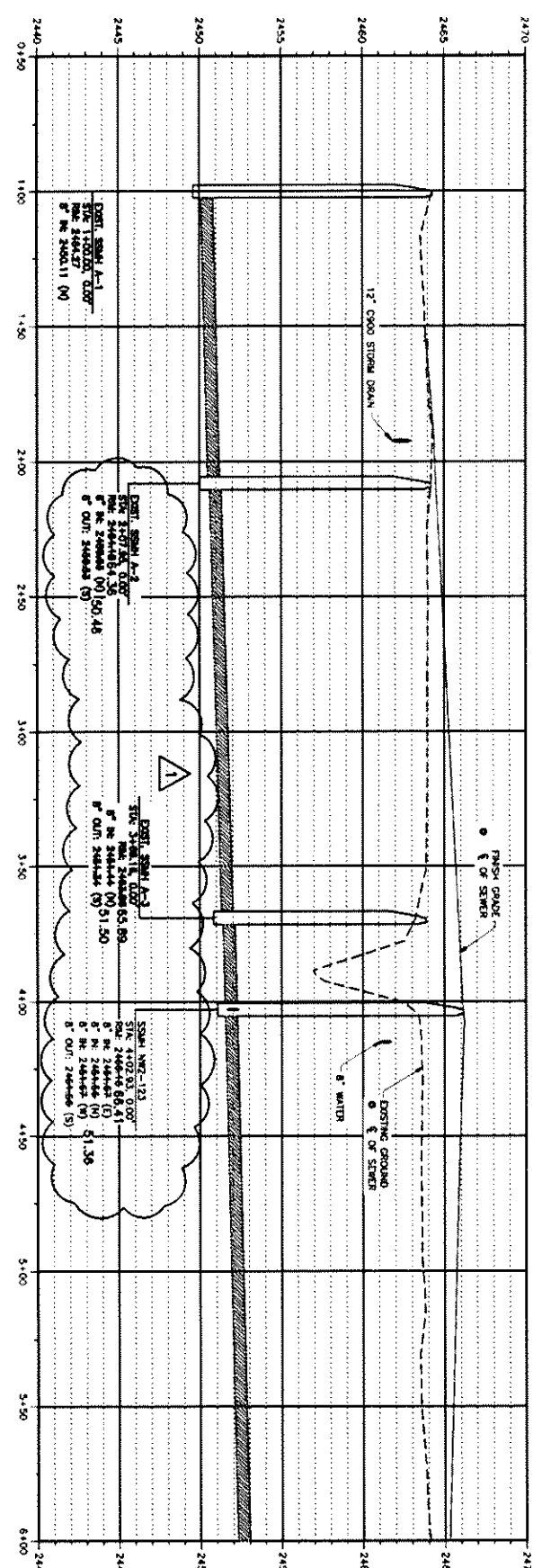
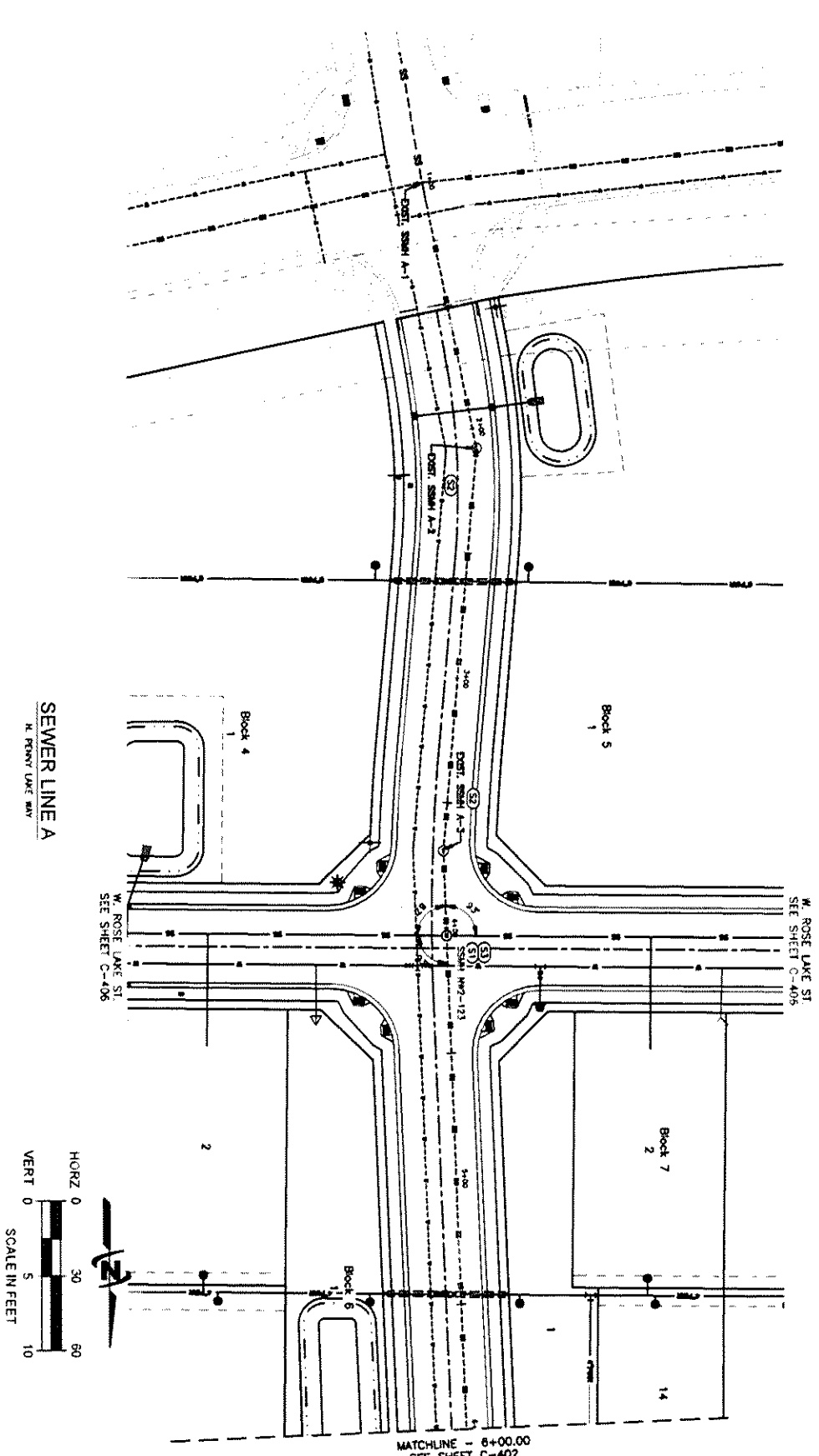
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5	REVISION			



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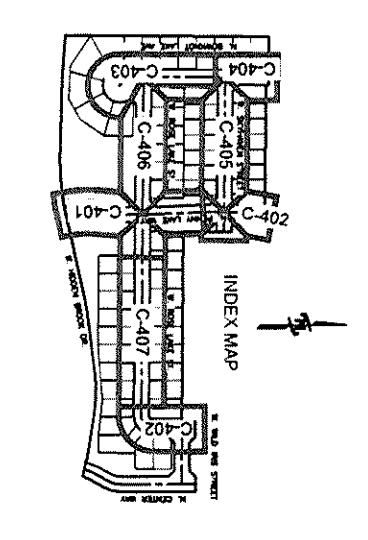


PROJECT NO.: 1016021818  
 DRAWING NO.: C-202  
 SHEET NO.: C-202



**NOTES TO CONTRACTOR**

1. LAGS 2400 FEET TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL FINISH GRADE.
2. SPOT ELEVATIONS ARE HORIZONTAL ONLY (2D) MEASURED FROM INSIDE FACE OF STRUCTURES.
3. CONTRACTOR SHALL VERIFY ALL SPOT ELEVATIONS AND LOCATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL DETERMINE THE EXACT LOCATION FROM TO WHICH THE SPOT ELEVATION IS TO BE TAKEN.
4. CONTRACTOR TO FIELD VERIFY ALL EXISTING ELEVATIONS AND INVERTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. THIS DRAWING OR ANY PORTION OF IT, SHALL NOT BE USED ON ANY PROJECT OR EXTENSION OF PROJECT(S) EXCEPT BY AGREEMENT IN WRITING FROM THE ENGINEER.



- SANITARY SEWER KEY NOTES**
- (SD) 48" S sanitary manhole per SSWD STD. DWG. 7.22191A
  - (SE) EXISTING 48" S sanitary manhole contractor to adjust R/W TO FINISH GRADE
  - (S) CONNECT TO EXISTING SEWER MAIN. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES

<p><b>REUNION SUBDIVISION NO. 3</b>  <b>CITY OF STAR, IDAHO</b></p> <p><b>WATER AND SEWER PLAN AND PROFILE</b>  <b>N. PENNY LAKE WAY</b></p>		<p>REVISION</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DESCRIPTION	BY	DATE													<p><b>J-U-B ENGINEERS, INC.</b>                  2760 W. Excursion Ln.                  Suite 400                  Meridian, ID 83642                  Phone: 208.376.7330                  www.jub.com</p>	<p><b>JUB ENGINEERS, INC.</b></p>
NO.	DESCRIPTION	BY	DATE																	
<p><b>SHEET NUMBER</b>  <b>C-401</b></p>		<p><b>DATE</b>                  8/20/2010</p>	<p><b>PROJECT</b>                  REUNION SUBDIVISION NO. 3                  CITY OF STAR, IDAHO</p>																	



**NOTES TO CONTRACTOR**

1. ADD 2400 FEET TO ALL SPOT ELEVATIONS TO OBTAIN TRUE ELEVATION.

2. ELEVATION LISTING ARE APPROXIMATELY (20) MEASURED FROM MOUND FACE TO CENTER LINE OF STRUCTURE.

3. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY BASED ON RECORD DRAWINGS AND FIELD SURVEY. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

4. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

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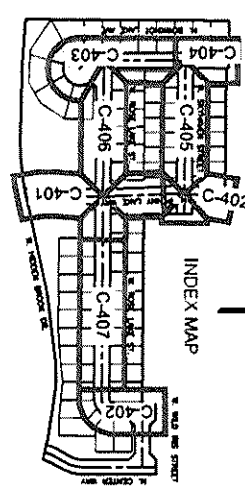
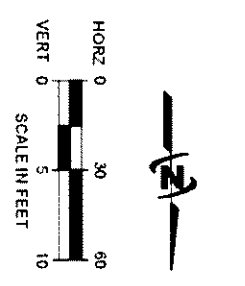
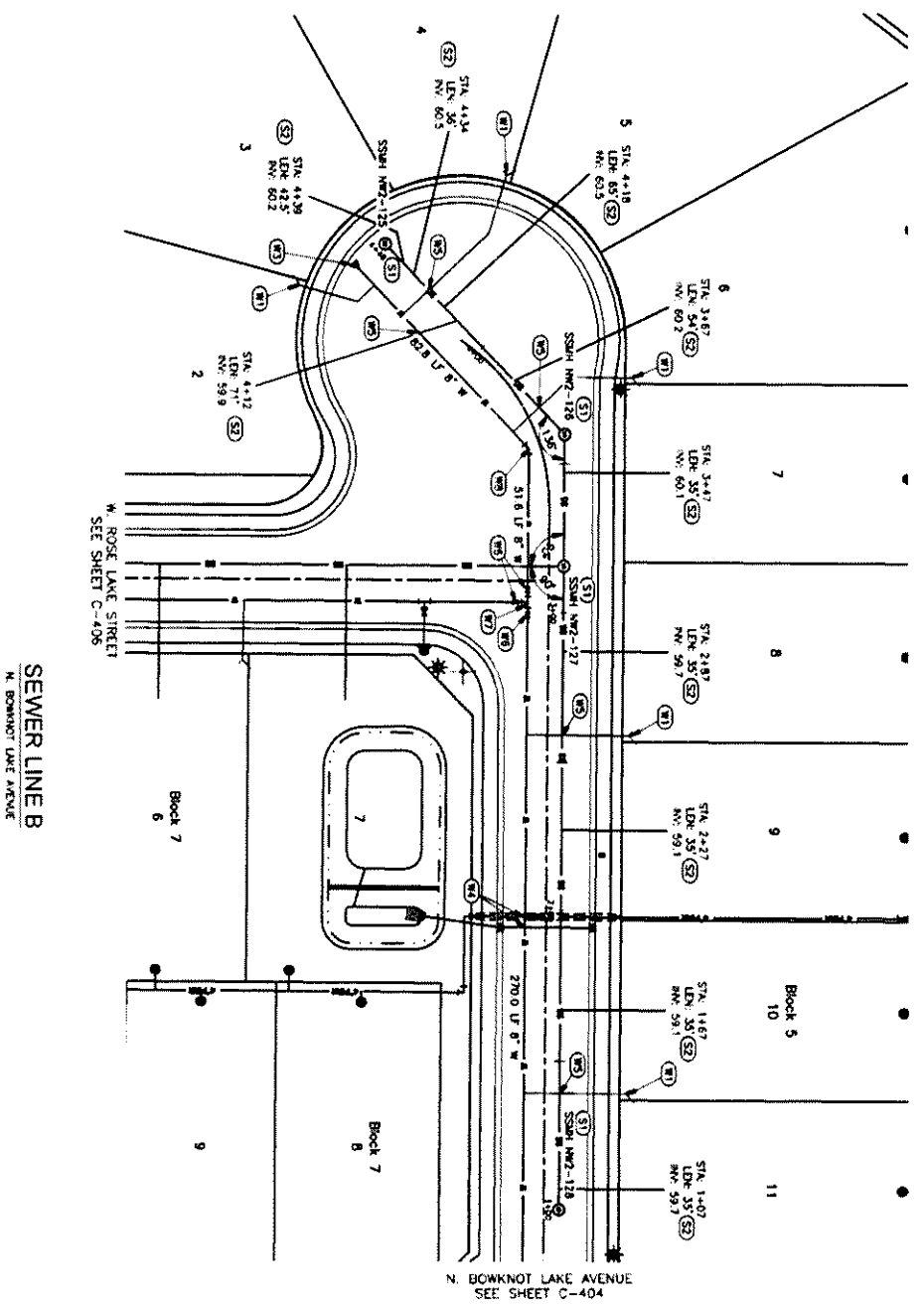
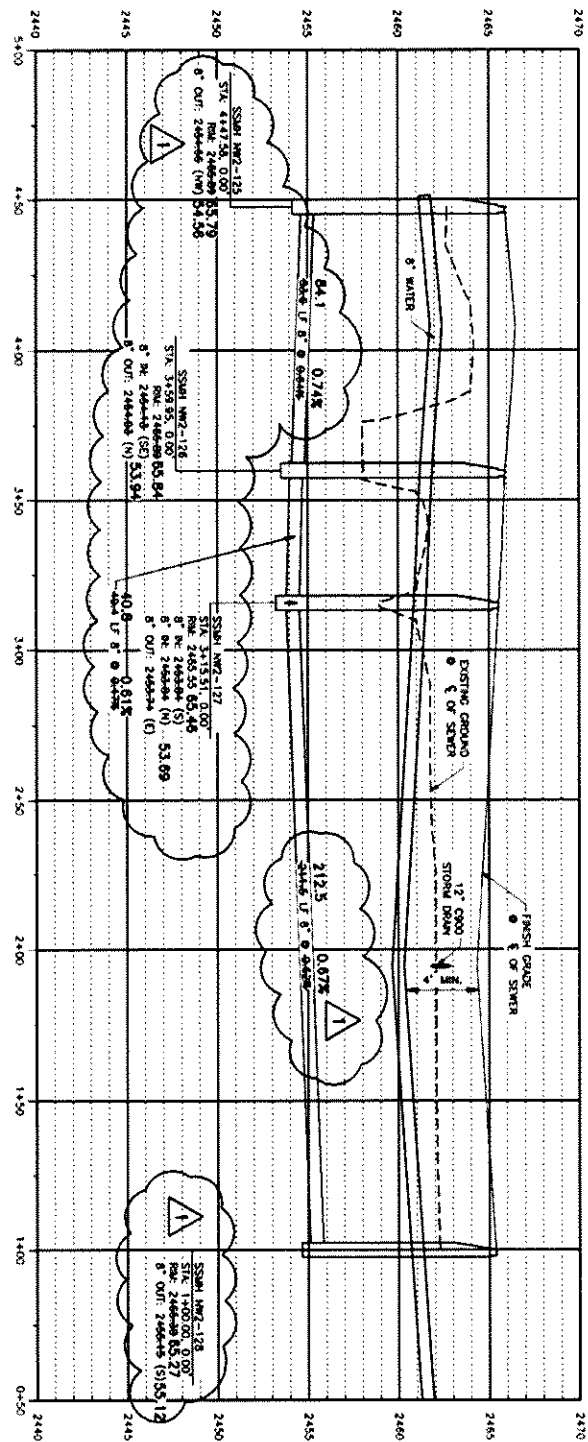
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11. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.



- WATER KEY NOTES**
- (1) DOUBLE WATER SERVICE PER SMD 7.08(W)
  - (2) SINGLE WATER SERVICE PER SMD 7.05(W)
  - (3) INSTALL 2" BLOWOFF ASSEMBLY (PER SMD 7.10(W))
  - (4) PORTABLE/NON-PORTABLE WASH/WASH CROSSING PER WATER NOTE 4 ON SHEET C-402
  - (5) PORTABLE/NON-PORTABLE SERVICE/WASH CROSSING PER WATER NOTE 4 ON SHEET C-402
  - (6) 9" GATE VALVE WITH THRUST BLOCKING PER ISPMC SD-403
  - (7) 8" TEE WITH THRUST BLOCKING PER ISPMC SD-403
  - (8) 45° BEND WITH THRUST BLOCKING PER ISPMC SD-403
- SANITARY SEWER KEY NOTES**
- (9) 48" SEWER MANHOLE PER SMD SID. DWG. 7.22(S)A
  - (10) SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SMD SID. DWG. 7.18(S)

**RECORD DRAWINGS**

These record drawings have been prepared based on information gathered during field observations as well as information provided by others. The accuracy of the drawings is dependent on the accuracy of the information provided. The contractor shall be responsible for verifying the location and depth of all utilities. The contractor shall be responsible for any damage to existing utilities. The contractor shall be responsible for any damage to existing utilities.

**RECORD DRAWINGS**

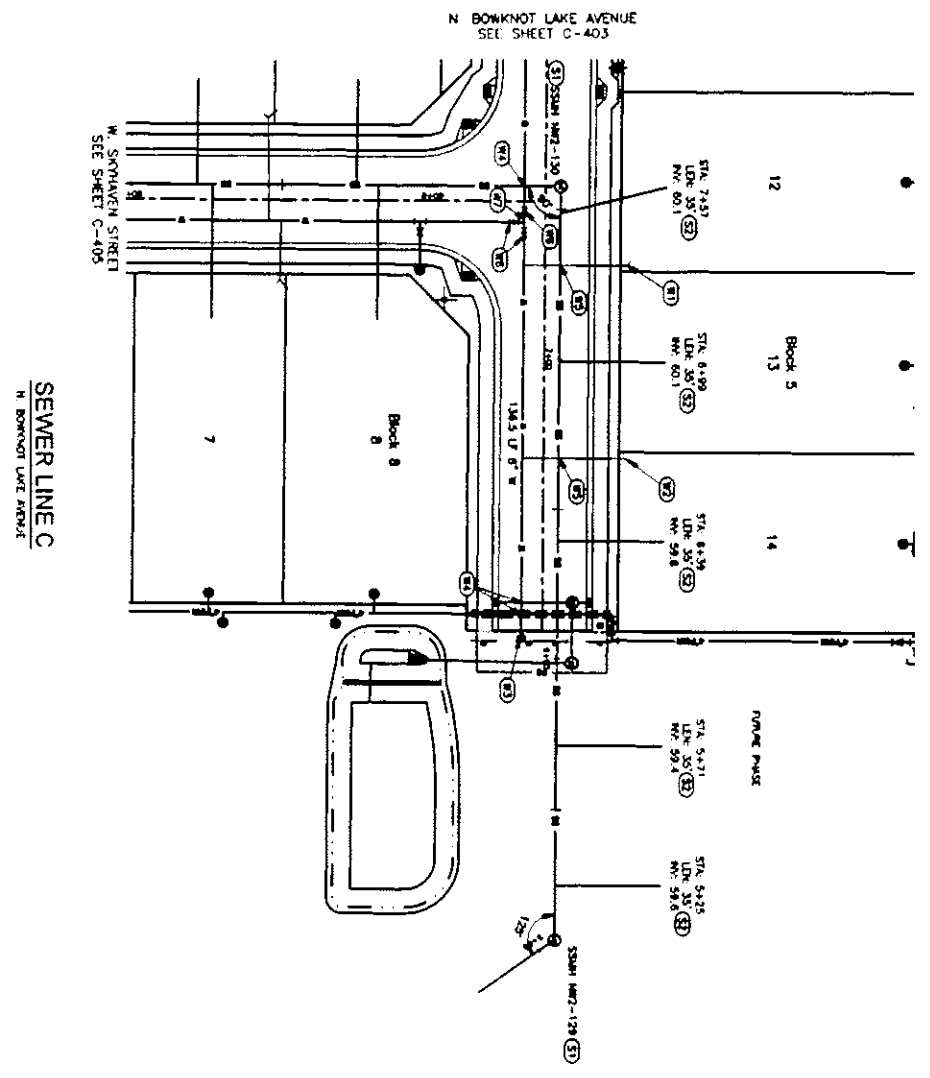
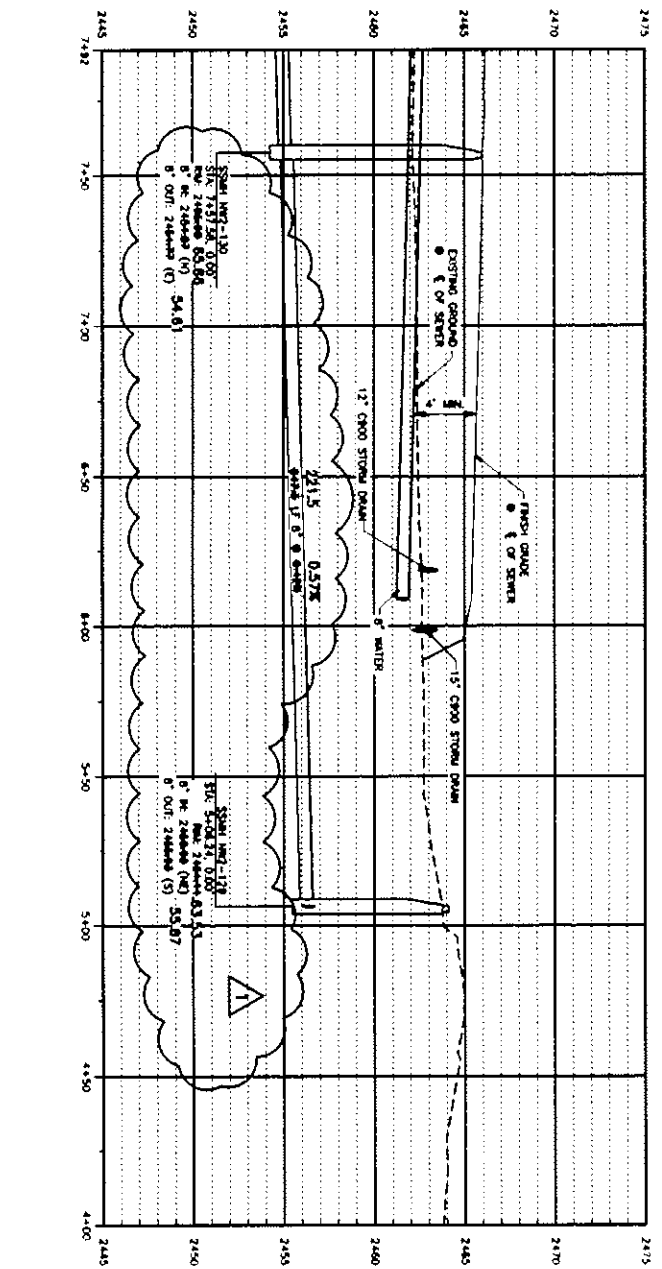
<p>REUNION SUBDIVISION NO. 3 CITY OF STAR, IDAHO</p> <p>WATER AND SEWER PLAN AND PROFILE N. BOWKNOT LAKE AVENUE</p>		<p>REUSE OF DRAWINGS</p> <p>JUB SHALL RETAIN ALL COMMON LAW STATUTORY COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS, AND THE SAME SHALL NOT BE REUSED WITHOUT THE WRITTEN CONSENT OF JUB. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.</p>	<p>JUB ENGINEERS, INC.</p> <p>2760 W. Excursion Ln. Suite 400 Meridian, ID 83642</p> <p>Phone: 208.376.7330 www.jub.com</p>						
<p>TITLE: 11704 C-403</p> <p>DATE: 09/22/2014</p> <p>DESIGNED BY: WJS</p> <p>CHECKED BY: WJS</p> <p>DATE: 09/22/2014</p> <p>SCALE: AS SHOWN</p> <p>SHEET NUMBER: C-403</p>	<p>11704</p> <p>1/8/2020</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>RECORD DRAWINGS</td> <td>09/22/2014</td> </tr> </tbody> </table>	NO.	REVISION	DATE	1	RECORD DRAWINGS	09/22/2014	<p>JUB ENGINEERS, INC.</p>
NO.	REVISION	DATE							
1	RECORD DRAWINGS	09/22/2014							

**NOTES TO CONTRACTOR**

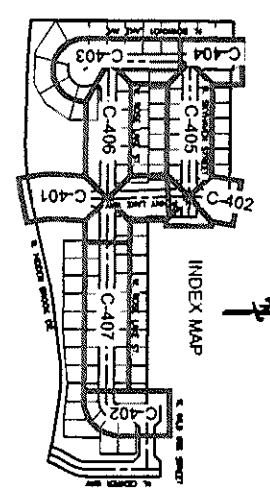
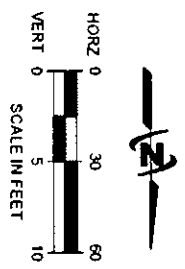
1. ALL 2400 FEET TO ALL SPOT ELEVATIONS TO DETERMINE ACTUAL ELEVATION. ELEVATIONS ARE MEASURED FROM NGVD 83 TO NEAREST FACE OF STRUCTURES.

2. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

3. THIS DRAWING IS FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTICES FROM THE EXISTING RECORD DRAWINGS AND ANY OTHER RECORD DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.



**SEWER LINE C**  
N. BOWKNOT LAKE AVENUE



**WATER KEY NOTES**

- (B1) DOUBLE WATER SERVICE PER SSWD 7.04(W)
  - (B2) SINGLE WATER SERVICE PER SSWD 7.05(W)
  - (B3) INSTALL 2" BLOWOFF ASSEMBLY PER SSWD 7.10(W)
  - (B4) PORTABLE/NON-PORTABLE SANITARY CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (B5) 8" GATE VALVE WITH THRUST BLOCKING PER ISFMC SD-403
  - (B6) 8" TEE WITH THRUST BLOCKING PER ISFMC SD-403
  - (B7) 45° BEND WITH THRUST BLOCKING PER ISFMC SD-403
- SANITARY SEWER KEY NOTES**
- (S1) 48" SEWER MANHOLE PER SSWD STD. DWG. 7.22(S)X
  - (S2) SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SSWD STD. DWG. 7.16(S)

**RECORD DRAWINGS**

These record drawings have been prepared based on information gathered during field observations and measurements of the project site. The information is provided for your information and is not intended to be used as a legal document. The information is provided for your information and is not intended to be used as a legal document. The information is provided for your information and is not intended to be used as a legal document.

**RECORD DRAWINGS**

**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**

**WATER AND SEWER PLAN AND PROFILE**  
**N. BOWKNOT LAKE AVENUE**

DATE: 02/27/2014	BY: JUB
DESIGNED BY: JUB	CHECKED BY: JUB
PROJECT NO: 11704	SHEET NO: C-404
CITY OF STAR, IDAHO	JUB ENGINEERS, INC.
11704 - REUNION SUBDIVISION NO. 3 - WATER AND SEWER PLAN AND PROFILE - N. BOWKNOT LAKE AVENUE - CITY OF STAR, IDAHO	

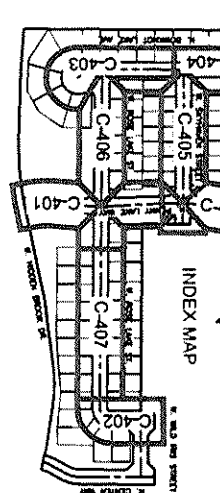
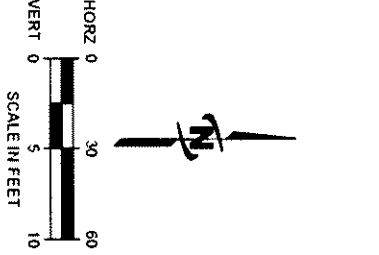
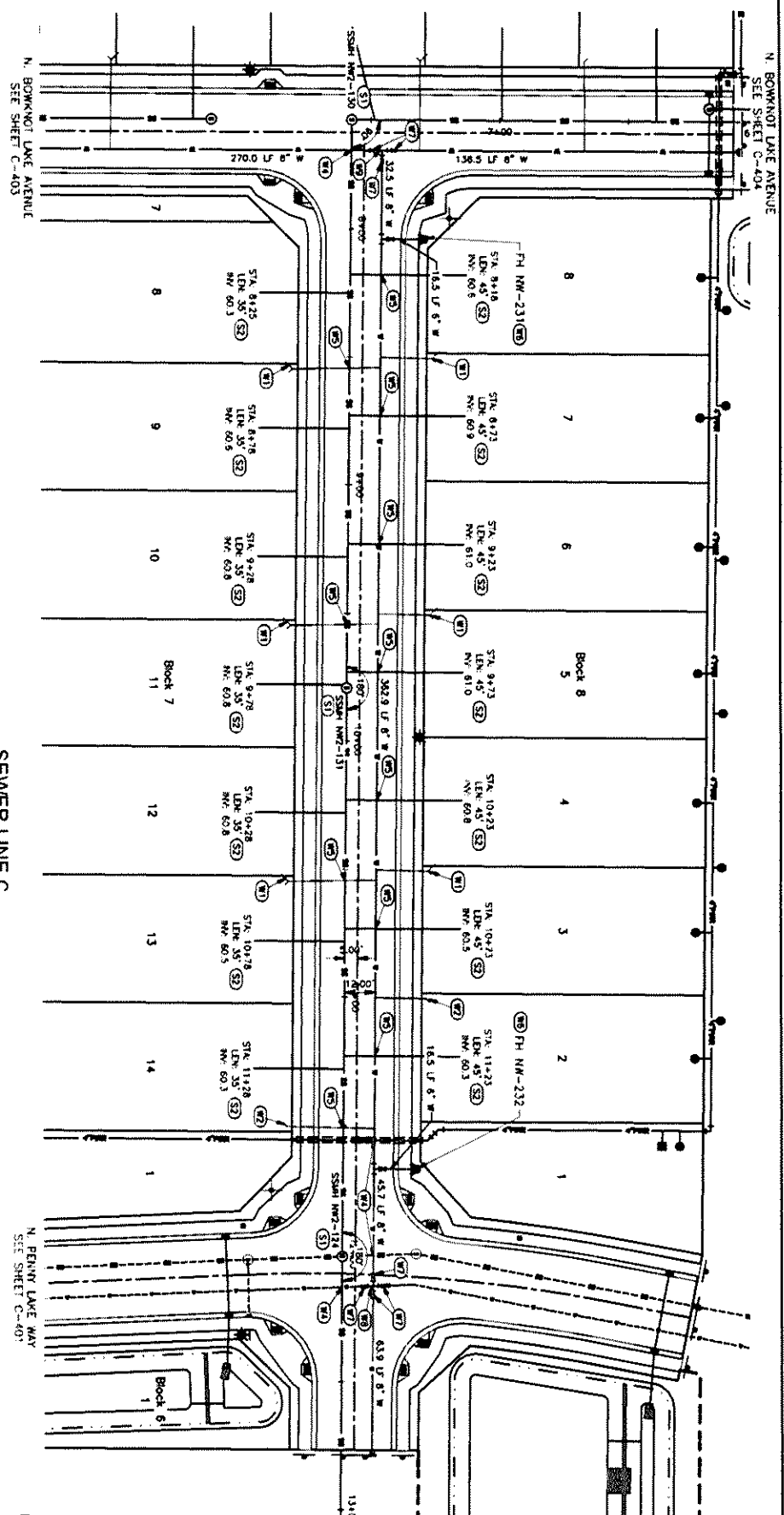
NO.	REVISION	DATE
1	RECORD DRAWINGS	02/27/2014
2	DESCRIPTION	



**J-U-B ENGINEERS, INC.**  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642

Phone: 208.376.7330  
 www.jub.com

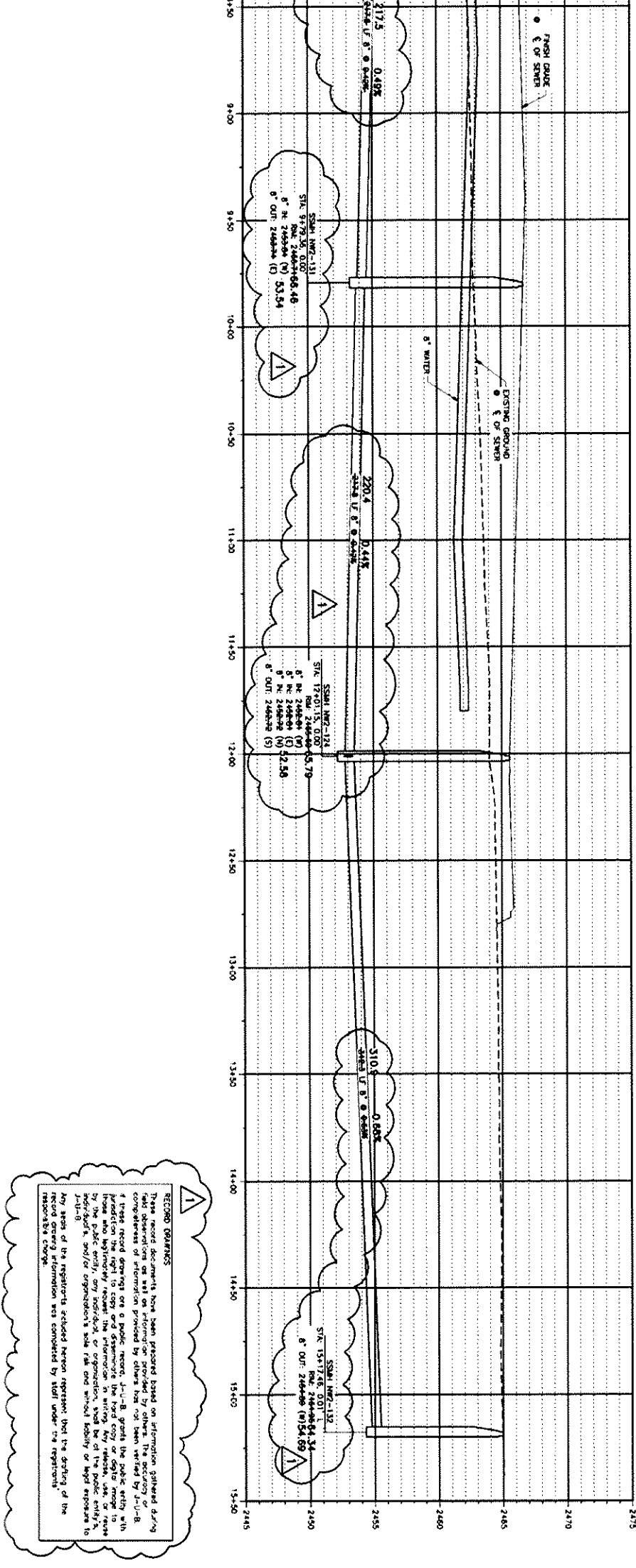




- WATER KEY NOTES**
- (1) DOUBLE WATER SERVICE PER SMD 7.08(W)
  - (2) SINGLE WATER SERVICE PER SMD 7.05(W)
  - (3) INSTALL 2" BLOCKOFF ASSEMBLY (PER SMD 7.10(W))
  - (4) POTABLE/NON-POTABLE MAIN/WAY CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (5) POTABLE/NON-POTABLE SERVICE/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (6) FIVE HYDRANT ASSEMBLY PER SMD 7.10(W)
  - (7) 8" GATE VALVE WITH THRUST BLOCKING PER ISPM 50-403
  - (8) 8" GROSS WITH THRUST BLOCKING PER ISPM 50-403
  - (9) 8" FIT WITH THRUST BLOCKING PER ISPM 50-403
- SANITARY SEWER KEY NOTES**
- (10) 48" SEWER MAINLINE PER SMD STD. DIM. 7.22(S)A
  - (11) SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SMD STD. DIMS 7.16(S)

**NOTES TO CONTRACTOR**

1. ALL SPOT ELEVATIONS TO DETERMINE ACTUAL ELEVATION.
2. SEWER LINES ARE HORIZONTALY (2D) MEASURED FROM ANGLE FACE TO ANGLE FACE OF THE BUILDING.
3. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF THE EXISTING SEWER LINES AND MANHOLES TO BE RELOCATED OR DELETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND THE IDAHO DEPARTMENT OF HEALTH SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND THE IDAHO DEPARTMENT OF HEALTH SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND THE IDAHO DEPARTMENT OF HEALTH SERVICES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF STAR AND THE IDAHO DEPARTMENT OF HEALTH SERVICES.
5. THIS DRAWING, OR ANY PORTION OF IT, SHALL NOT BE USED ON ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF JUB ENGINEERS, INC.



**RECORD DRAWINGS**

These drawings have been prepared based on information obtained during the course of the project. The accuracy of the information provided by others has not been verified by J-U-B. J-U-B does not warrant the accuracy of the information provided by others. The accuracy of the information provided by others has not been verified by J-U-B. J-U-B does not warrant the accuracy of the information provided by others. The accuracy of the information provided by others has not been verified by J-U-B.

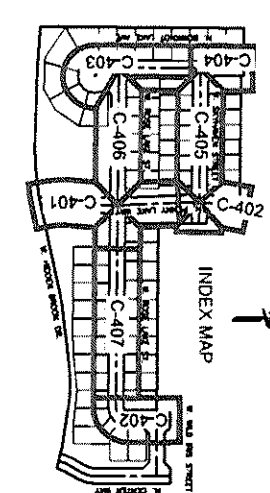
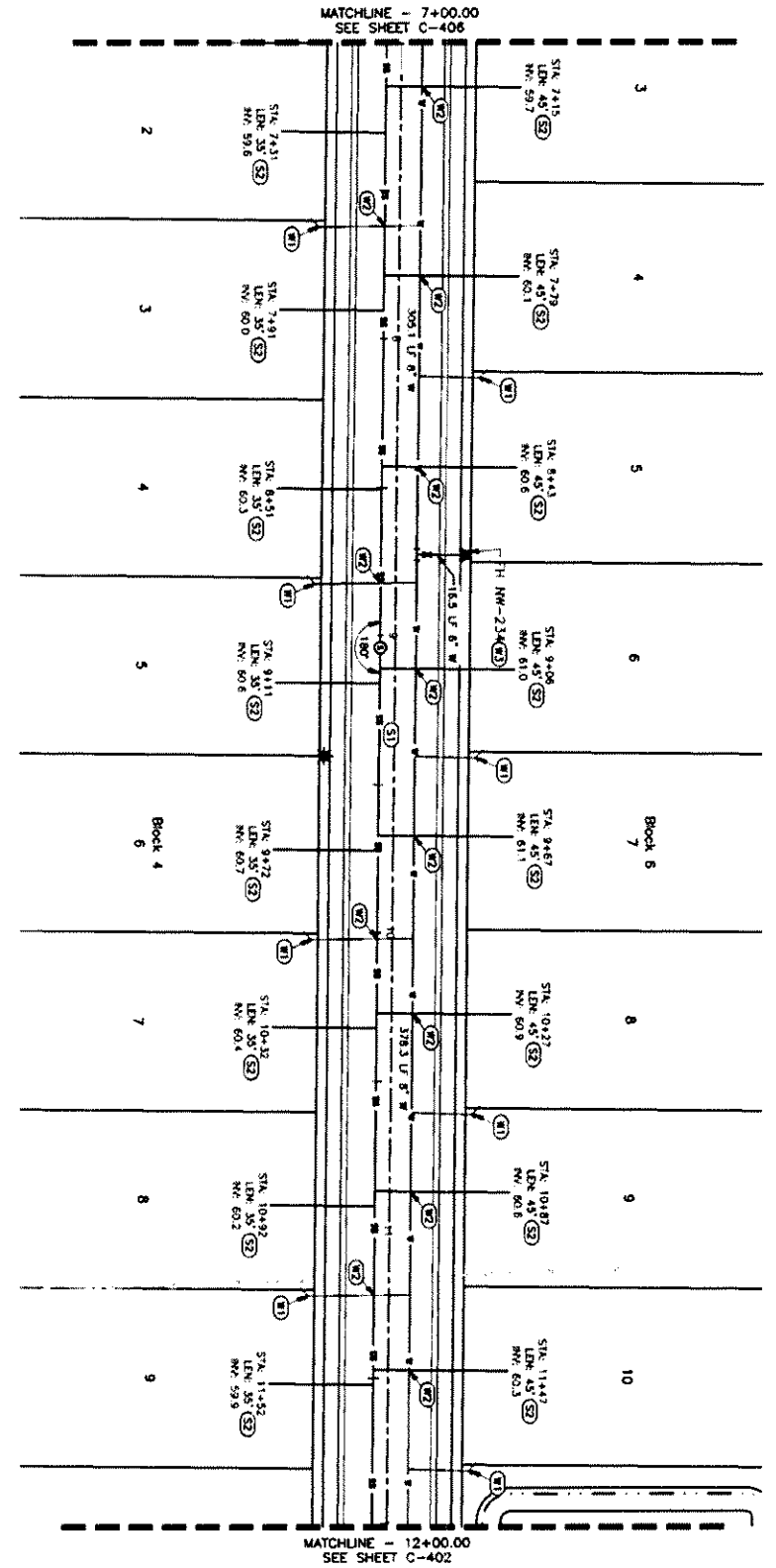
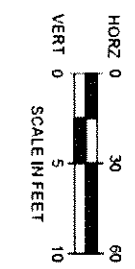
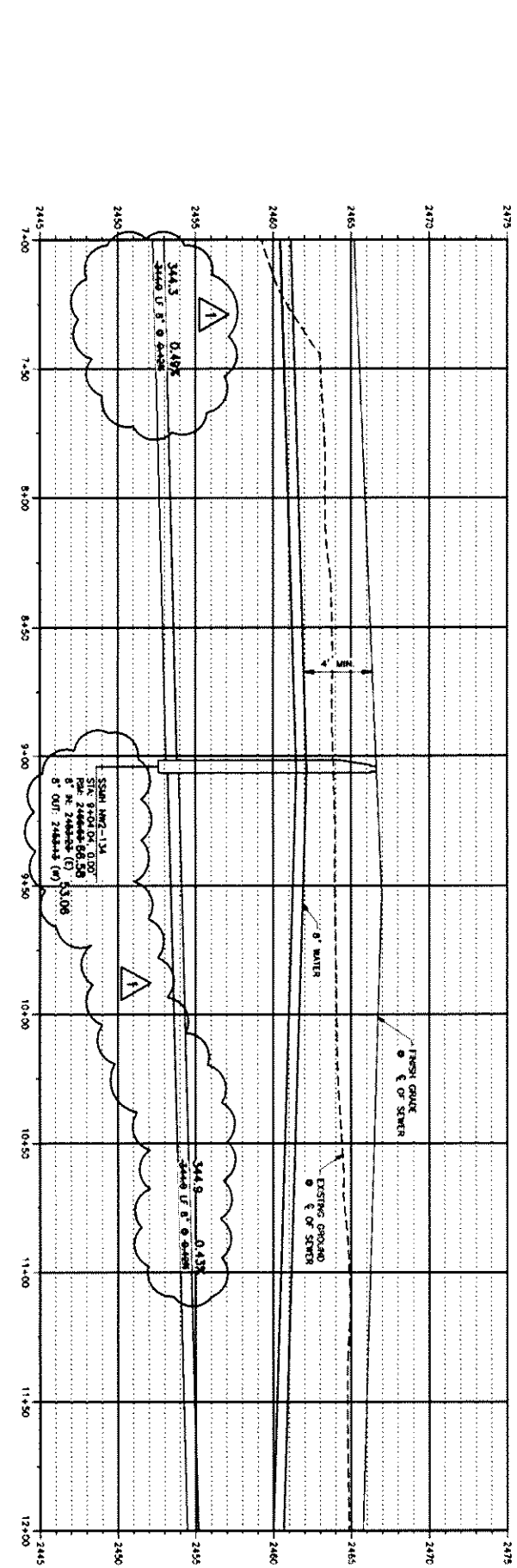
<p><b>REUNION SUBDIVISION NO. 3</b>  <b>CITY OF STAR, IDAHO</b></p> <p><b>WATER AND SEWER PLAN AND PROFILE</b>  <b>W. WILD IRIS STREET</b></p>		<p>REVISION OF DRAWINGS</p> <p>JUB SHALL RETAIN ALL COMMON LAW STATUTORY COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS AND THE SAME SHALL NOT BE REUSED WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.</p>	<p><b>J-U-B ENGINEERS, INC.</b>                  2760 W. Excursion Ln.                  Suite 400                  Meridian, ID 83642</p> <p>Phone: 208.376.7330                  www.jub.com</p>
<p>DATE: 09/22/2010                  TIME: 10:14:01 AM                  DRAWN BY: SBB                  CHECKED BY: SBB                  DATE: 09/22/2010                  TIME: 10:14:01 AM</p>	<p>DATE: 09/22/2010                  TIME: 10:14:01 AM                  DRAWN BY: SBB                  CHECKED BY: SBB                  DATE: 09/22/2010                  TIME: 10:14:01 AM</p>	<p>DATE: 09/22/2010                  TIME: 10:14:01 AM                  DRAWN BY: SBB                  CHECKED BY: SBB                  DATE: 09/22/2010                  TIME: 10:14:01 AM</p>	<p>DATE: 09/22/2010                  TIME: 10:14:01 AM                  DRAWN BY: SBB                  CHECKED BY: SBB                  DATE: 09/22/2010                  TIME: 10:14:01 AM</p>



**NOTES TO CONTRACTOR**

1. ADD 2400 FEET TO ALL SPOT ELEVATIONS TO OBTAIN ACTUAL ELEVATION POINTS FOR CONSTRUCTION.

2. LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE TO THE BEST OF OUR KNOWLEDGE AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR AND THE STATE OF IDAHO PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR AND THE STATE OF IDAHO PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF STAR AND THE STATE OF IDAHO PRIOR TO CONSTRUCTION.



- WATER KEY NOTES**
- (B1) DOUBLE WATER SERVICE PER SSWD 7.08(A)
  - (B2) POTABLE/NON-POTABLE SERVICE/MAIN CROSSING PER WATER NOTE 4 ON SHEET C-002
  - (B3) FIRE HYDRANT ASSEMBLY PER SSWD 7.10(A)
- SANITARY SEWER KEY NOTES**
- (S1) 48" S SANITARY SEWER PER SSWD STD. DWG. 7.22(S)A
  - (S2) SANITARY SEWER SERVICE EXTENDED 10' WITHIN LOT PER SSWD STD. DWG. 7.16(S)

**RECORD DRAWINGS**

These record drawings have been prepared based on information provided during field observations on site as well as information provided by others. The accuracy or completeness of information provided by others has not been verified by J-U-B. If there is a discrepancy between a public record, utility records or the public utility with those who originally prepared the information or utility records, the utility, individual, and/or organization's work shall prevail over the public utility's information. Any work of the registrants provided herein represents that the drafting of the record drawing information was completed by field under the registrant's responsible charge.

DATE: 02/22/2014	BY: SSM
DESIGNED BY: SSM	CHECKED BY: SSM
DRAWN BY: SSM	DATE: 02/22/2014
SHEET NUMBER: C-407	

**REUNION SUBDIVISION NO. 3**  
**CITY OF STAR, IDAHO**

**WATER AND SEWER PLAN AND PROFILE**  
**W. ROSE LAKE STREET**

REVISION

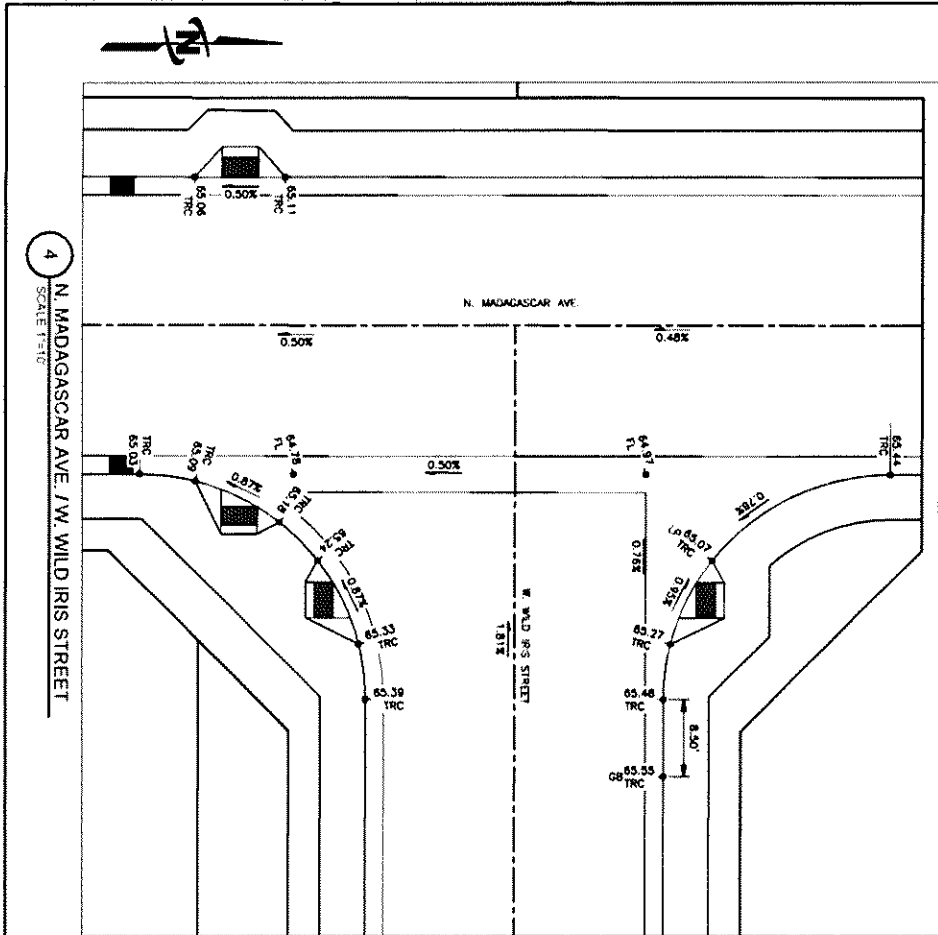
NO.	DESCRIPTION	DATE
1	RECORD DRAWINGS	02/22/2014

**J-U-B ENGINEERS, INC.**  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642

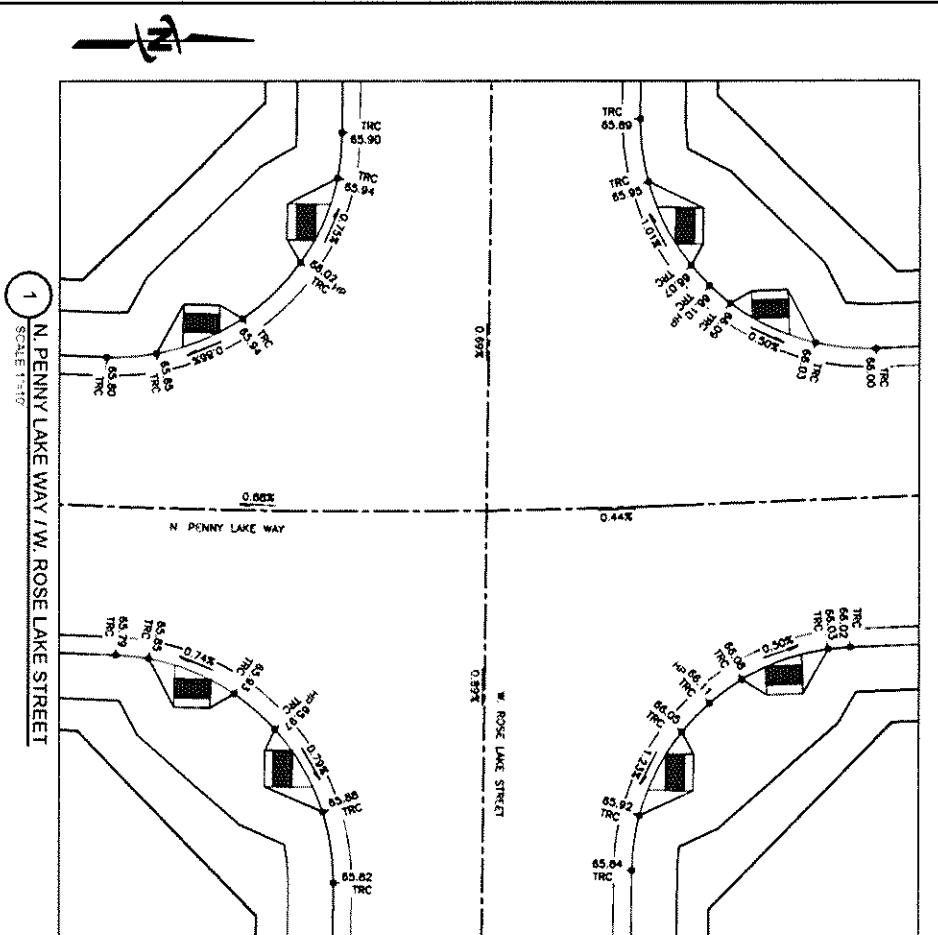
Phone: 208.376.7330  
 www.jub.com

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF IDAHO  
 11704  
 012220

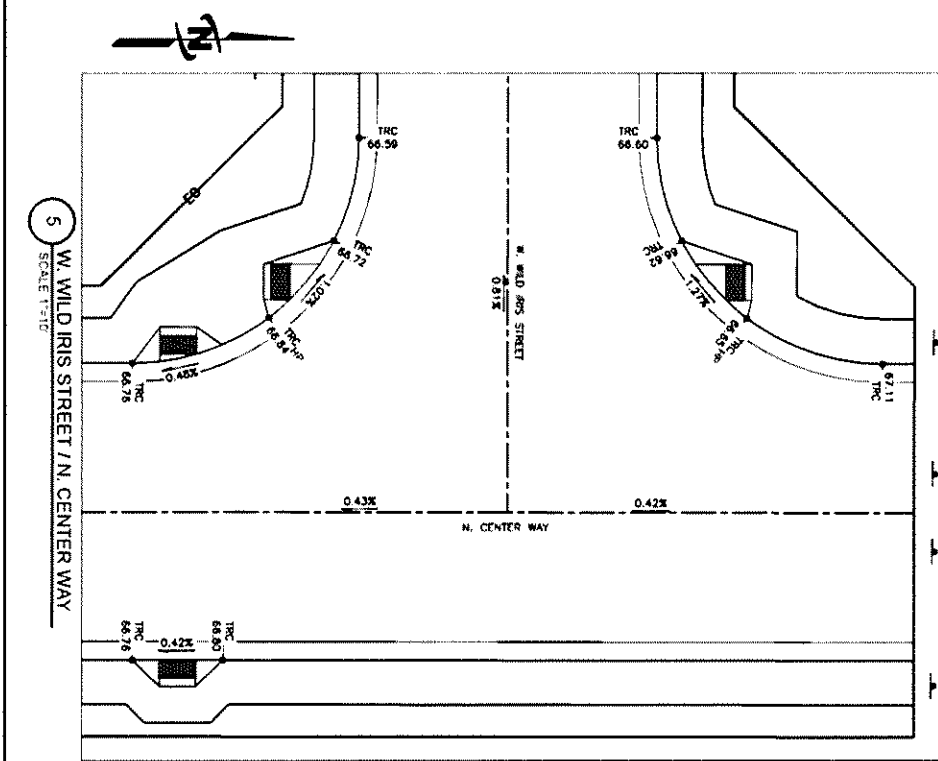
**J-U-B ENGINEERS, INC.**



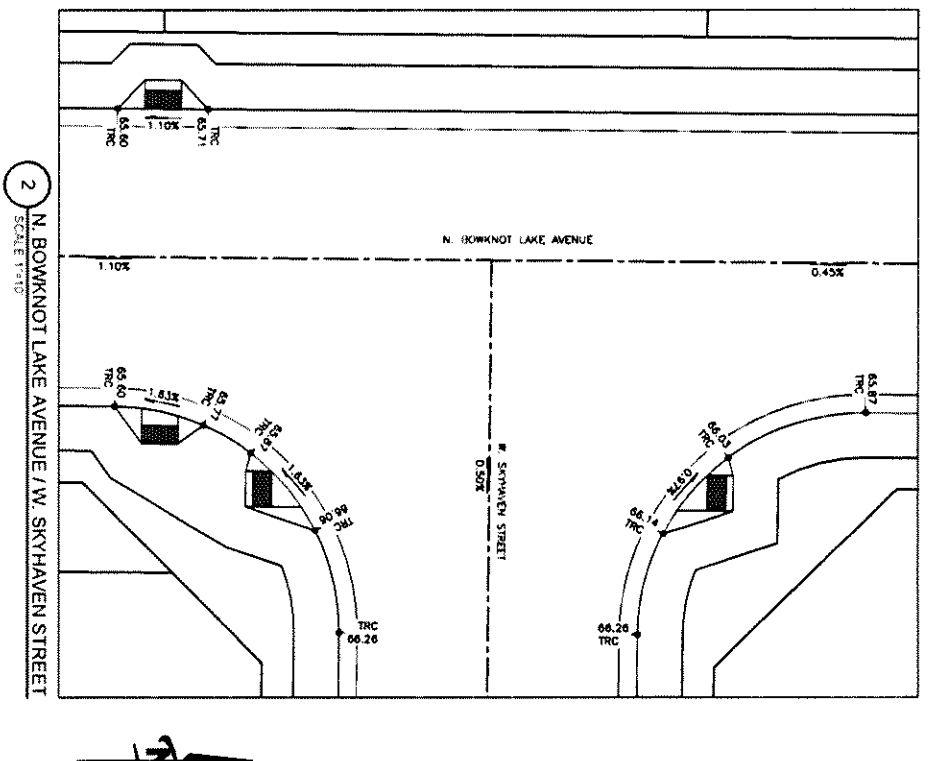
4 N. MADAGASCAR AVE / W. WILD IRIS STREET  
 SCALE 1"=10'



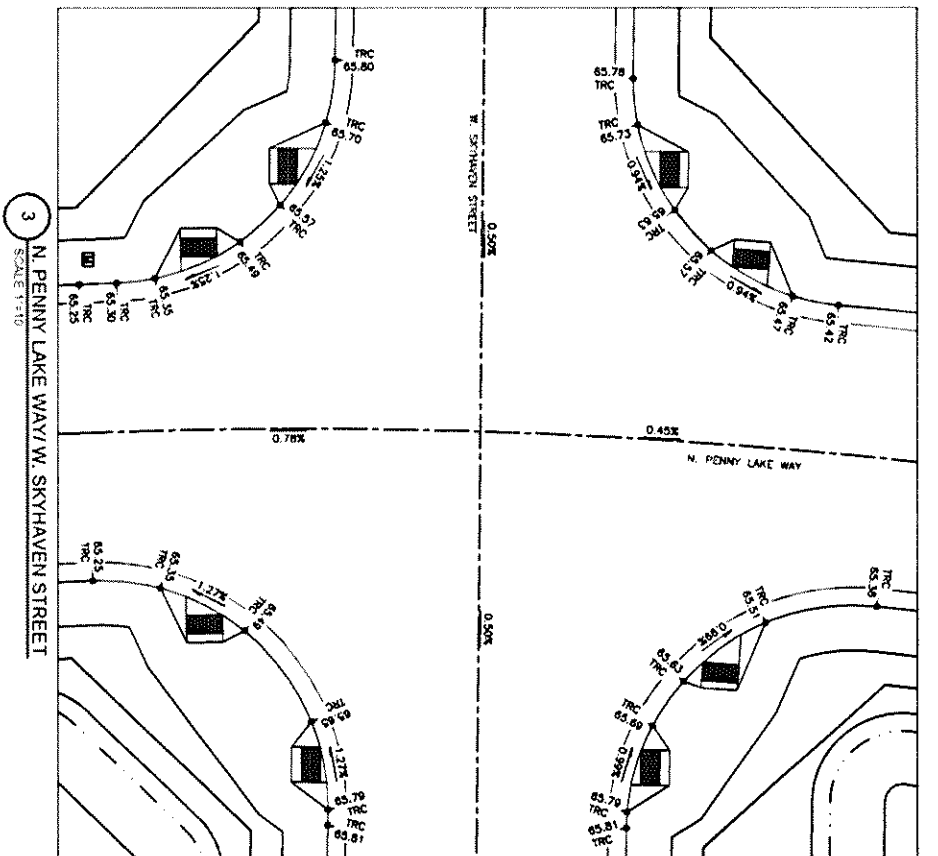
1 N. PENNY LAKE WAY / W. ROSE LAKE STREET  
 SCALE 1"=10'



5 W. WILD IRIS STREET / N. CENTER WAY  
 SCALE 1"=10'



2 N. BOWKNOT LAKE AVENUE / W. SKYHAVEN STREET  
 SCALE 1"=10'



3 N. PENNY LAKE WAY / W. SKYHAVEN STREET  
 SCALE 1"=10'

**RECORD DRAWINGS**

These record drawings have been prepared based on information gathered during the course of the project. It is the responsibility of the client to provide accurate and complete information. The engineer is not responsible for any errors or omissions in the information provided by others that have not been verified by the engineer. The engineer is not responsible for any errors or omissions in the information provided by others that have not been verified by the engineer. The engineer is not responsible for any errors or omissions in the information provided by others that have not been verified by the engineer.

**RECORD DRAWINGS**

REUNION SUBDIVISION NO. 3  
 CITY OF STAR, IDAHO

PEDESTRIAN RAMPS

SHEET NUMBER: C-501

DATE	DESCRIPTION
11/17/10	REVISION
08/26/10	REVISION
08/26/10	REVISION

REVISION OF DRAWINGS

JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND OTHER RESERVED RIGHTS OF THESE DRAWINGS AND THE SAME. SHALL NOT BE REUSED WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.

REVISION

NO.	DESCRIPTION	BY (JUB)	DATE
1	RECORD DRAWINGS	PHU/MEP	08/22/2010

Professional Engineer Seal: JUB ENGINEERS, INC., No. 11704, State of Idaho, Expires 8/2020.

**J-U-B ENGINEERS, INC.**  
 2760 W. Excursion Ln.  
 Suite 400  
 Meridian, ID 83642

Phone: 208.376.7330  
 www.jub.com

**FIFTH SUPPLEMENT TO MASTER DECLARATION OF COVENANTS,  
CONDITIONS AND RESTRICTIONS FOR PRISTINE MEADOWS SUBDIVISION**

This Fifth Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision ("Fifth Supplemental Declaration") is made this 30<sup>th</sup> day of March, 2022, by Challenger Development Inc., an Idaho corporation ("Grantor").

**ARTICLE I: SUPPLEMENT AND AUTHORITY**

**1.1 Supplement to Declaration.** This Fifth Supplemental Declaration is a supplement to:

- a. That certain Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on September 20, 2006, as Ada County, Idaho Instrument Number 106150795 ("Master Declaration"); and
- b. That certain First Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on November 13, 2015, as Ada County, Idaho Instrument Number 2015-104635 and re-recorded on November 18, 2015, as Ada County, Idaho Instrument Number 2015-105801 ("First Supplement"); and
- c. That certain First Amendment to the Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on January 7, 2016, as Ada County, Idaho Instrument Number 2016-001589 ("First Amendment"); and
- d. That certain Second Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on September 7, 2018, as Ada County, Idaho Instrument Number 2018-085188 ("Second Supplement"); and
- e. That certain Third Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on April 8, 2020, as Ada County, Idaho Instrument Number 2020-040716 ("Third Supplement"); and
- f. That certain Amended Fourth Supplement to Master Declaration of Covenants, Conditions and Restrictions for Pristine Meadows Subdivision, recorded on December 23, 2021, as Ada County, Idaho Instrument Number 2021-180121 ("Fourth Supplement").

The Master Declaration, First Supplement, First Amendment, Second Supplement, Third Supplement and Fourth Supplement shall collectively be referred to herein as the "Existing CC&Rs".

This Fifth Supplemental Declaration supplements the Existing CC&Rs with respect to that certain real property legally described on the attached Exhibit A, which is made a part hereof ("Fifth Supplement Property"). The Fifth Supplement Property is shown on the Reunion Subdivision No. 4 final plat, a copy

of which is attached hereto as Exhibit B, which is made a part hereof ("Fifth Supplement Plat"). The covenants, conditions and restrictions contained in this Fifth Supplemental Declaration are in addition to those covenants, conditions and restrictions contained in the Existing CC&Rs, except insofar as such covenants, conditions and restrictions are hereinafter expressly modified.

1.2 Grantor is Successor in Interest to Kastera Pavilion Commons LLC. Grantor is the successor in interest to Kastera Pavilion Commons LLC, the original "Grantor" under the Master Declaration. Accordingly, Grantor has the full and proper authority to execute this Fifth Supplemental Declaration.

## ARTICLE II: DECLARATION

Pursuant to Article XVI, Section 16.1 of the Master Declaration, Grantor hereby declares that the Fifth Supplement Property and any parcel or portion thereof is hereby annexed into the Property, as that term is defined in the Master Declaration, and shall be held, sold, conveyed, encumbered, hypothecated, leased, used, occupied and improved subject to all of the terms, covenants, conditions and restrictions of the Existing CC&Rs and this Fifth Supplemental Declaration. All Owners of Building Lots within the Fifth Supplement Property shall be subject to all the terms, covenants, conditions and restrictions of the Existing CC&Rs and this Fifth Supplemental Declaration, including, without limitation, being voting Members in the Association.

## ARTICLE III: USES AND REGULATION OF USES

3.1 Common Area. Lots 25 and 26, Block 6, Lots 9 and 16, Block 8, Lots 1 and 16, Block 10, and Lots 1 and 9, Block 11, as shown on the Fifth Supplement Plat, are Common Areas to be owned and maintained by the Association.

3.2 Residential Building Lots. All platted lots comprising the Fifth Supplement Property, other than the Common Areas, shall be used and developed as residential Building Lots.

3.3 Drainage. All of Lot 9, Block 8, as well as portions of Lots 1 and 16, Block 10, as shown on the Fifth Supplement Plat, are servient to and contain the Ada County Highway District ("ACHD") storm water drainage system. These Common Areas are encumbered by that certain First Amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015, as Instrument No. 2015-103256, official records of Ada County, and are incorporated herein by this reference as if set forth in full ("Master Easement"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section 40-2302 of the Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system. Said easement shall remain free of all encroachments and obstructions (including fences and trees) which may adversely affect the operation and maintenance of the storm water drainage facilities.

There shall be no interference with the established drainage pattern over any portion of these Common Areas, unless an adequate alternative provision is made for proper drainage and is first approved in writing by the Architectural Control Committee and ACHD. For the purposes hereof, "established" drainage is defined as the system of drainage, whether natural or otherwise, which exists at the time the overall grading of any portion of these Common Areas is completed by the Grantor.

The Association shall be responsible for the maintenance, repair and/or replacement of any other storm water drainage systems located on the Fifth Supplement Property (other than storm water drainage systems on, and serving only, individual Building Lots). Such maintenance, repair and/or replacement

shall be done in accordance with that certain Reunion Subdivision No. 4 Operation and Maintenance Manual, dated July, 2020, a copy of which is attached hereto as Exhibit C, and made a part hereof (“O&M Manual”). The O&M Manual shall not be revised or otherwise amended without the prior written consent of ACHD.

ACHD shall have the right to inspect any of the aforementioned storm water drainage systems and, if necessary, perform any maintenance, repairs or replacements caused by the Association or Owners. The cost of any such maintenance, repairs and/or replacements shall be promptly paid by the Association within thirty (30) days of receiving an invoice therefore. In the event any such cost is not timely paid by the Association, ACHD shall be entitled to enforce its collection rights pursuant to all rights and remedies afforded it pursuant to applicable law, including, without limitation, the right to place a lien on the Fifth Supplement Property until such costs are paid in full.

All other Owners, at his/her/their sole cost and expense, shall be responsible for the maintenance, repair and/or replacement of any storm water drainage system located on, and serving only, his/her/their individual Building Lot. Such maintenance, repair and/or replacement shall be done in accordance with all applicable laws, rules, regulations and/or ordinances.

Notwithstanding any of the foregoing, all Building Lots and Common Area shall be graded such that all storm water and other water drainage shall run across a curb or to a drainage easement and no drainage shall cross from a Building Lot or Common Area onto another Building Lot or Common Area except within an applicable drainage easement.

**3.4 Initial Front Yard Landscaping.** Grantor shall have no obligation to provide sod, hydro seed or any other grass material in the front yards of any Building Lots within the Fifth Supplement Property.

**3.5 Initial Back and Side Yard Landscaping/Over Watering.** Each Owner of a Building Lot originally purchased from Grantor shall complete his/her back and side yard landscaping within six (6) months from the closing date thereof. **Such landscaping shall be in accordance with the landscaping plan(s) approved by the Architectural Control Committee and must adequately address on-site drainage and erosion control.**

**In the event any Owner violates either of the back yard or side yard landscaping time requirements contained herein, said Owner shall pay to the Association a fine of \$100/day for as long as the violation persists.** Any fine, or fines, shall be due and payable within thirty (30) days of receiving an invoice therefore.

**Neither Grantor nor the Association shall be responsible, in any fashion, for the over watering of any landscaping (including lawns) by the Owner of any Building Lot.**

**3.6 Irrigation Assessments/Watering Schedules.** By accepting a deed to any portion of the Fifth Supplement Property: 1) each Owner and the Association hereby agree to pay his/her/its proportionate share of assessments and other fees levied by the District, 2) each Owner hereby agrees to pay its proportionate share of Assessments levied by the Association associated with the operation and maintenance of the Irrigation System, and 3) each Owner and the Association agree to abide by any irrigation watering schedule enacted by the District or Association.

3.7 Parking. In addition to any other parking restrictions contained in the Master Declaration, all Owners within the Fifth Supplement Property, as well as their family members, invitees and licensees, are hereby prohibited from parking vehicles in the front yards of Building Lots; provided however, that this restriction shall not prohibit Owners, or their family members, invitees or licensees, from temporarily parking operative motor vehicles on the driveway aprons of Building Lots.

3.8 Exterior Lights. Exterior lights are prohibited from remaining on all night. Exterior lights programmed for on and off times, as well as motion sensor lights, are allowed.

#### ARTICLE IV: GENERAL PROVISIONS

4.1 Enforcement. The Association, Grantor and/or any Owner, shall have the right to enforce, by any proceeding at law or in equity, all terms, covenants, conditions or restrictions imposed by the provisions of this Fifth Supplemental Declaration. Failure by the Association, Grantor or any Owner to immediately enforce any such term, covenant, condition or restriction shall in no event be deemed a waiver of the right to do so in the future.

4.2 Severability. Invalidity of any one of these terms, covenants, conditions or restrictions by judgment or court order shall in no way affect any other provisions which shall remain in full force and effect.

4.3 Term and Amendment. The terms, covenants, conditions and restrictions of this Fifth Supplemental Declaration shall run with and bind the Fifth Supplement Property for so long as the Master Declaration runs with and binds the Property. This Fifth Supplemental Declaration may be amended pursuant to the same amendment terms contained in the Master Declaration.

4.4 Duration and Applicability to Successors. The terms, covenants, conditions, and restrictions set forth in this Fifth Supplemental Declaration shall run with the land and shall inure to the benefit of and be binding upon the Grantor, the Association and all Owners and their successors in interest.

4.5 Governing Law. This Fifth Supplemental Declaration shall be construed and interpreted in accordance with the laws of the State of Idaho.

4.6 Definitions. Terms not otherwise defined herein shall have the same meanings as are ascribed to them in the Master Declaration.

[End of Text]



IN WITNESS WHEREOF, the undersigned has duly executed this Fifth Supplemental Declaration as of the date first above written.

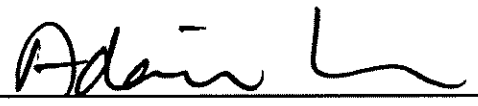
Challenger Development Inc.,  
an Idaho corporation

By:

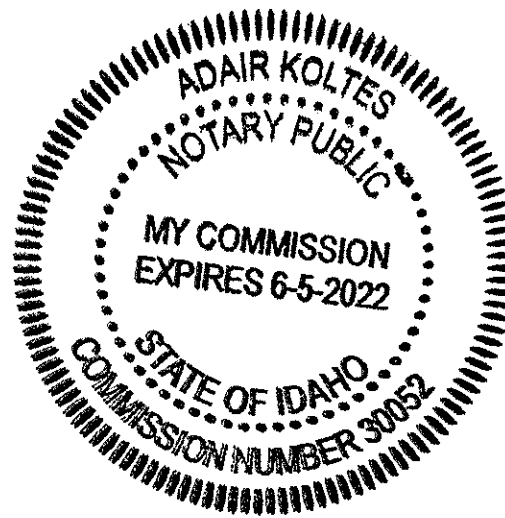
  
\_\_\_\_\_  
Corey D. Barton, President

STATE OF IDAHO     )  
                                  ) ss.  
County of Ada        )

This record was acknowledged before me on March 30<sup>th</sup>, 2022, by Corey D. Barton as the President of Challenger Development Inc.

  
\_\_\_\_\_  
Signature of Notary Public

My commission expires: 6-05-22



**EXHIBIT A**  
**LEGAL DESCRIPTION OF FIFTH SUPPLEMENT PROPERTY**

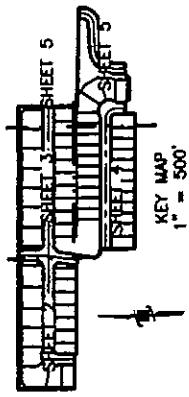
Lots 17 through 26, Block 6; Lots 9 through 16, Block 8; Lots 12 through 23, Block 9; Lots 1 through 26, Block 10; and Lots 1 through 9, Block 11, Reunion Subdivision No. 4, according to the official plat thereof, filed in Book 123 of plats at pages 19407 through 19414, records of Ada County, Idaho.

**EXHIBIT B**  
REUNION SUBDIVISION NO. 4 FINAL PLAT

See attached.

# PLAT SHOWING Reunion Subdivision No. 4

Located in the Northeast Quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho, 2022

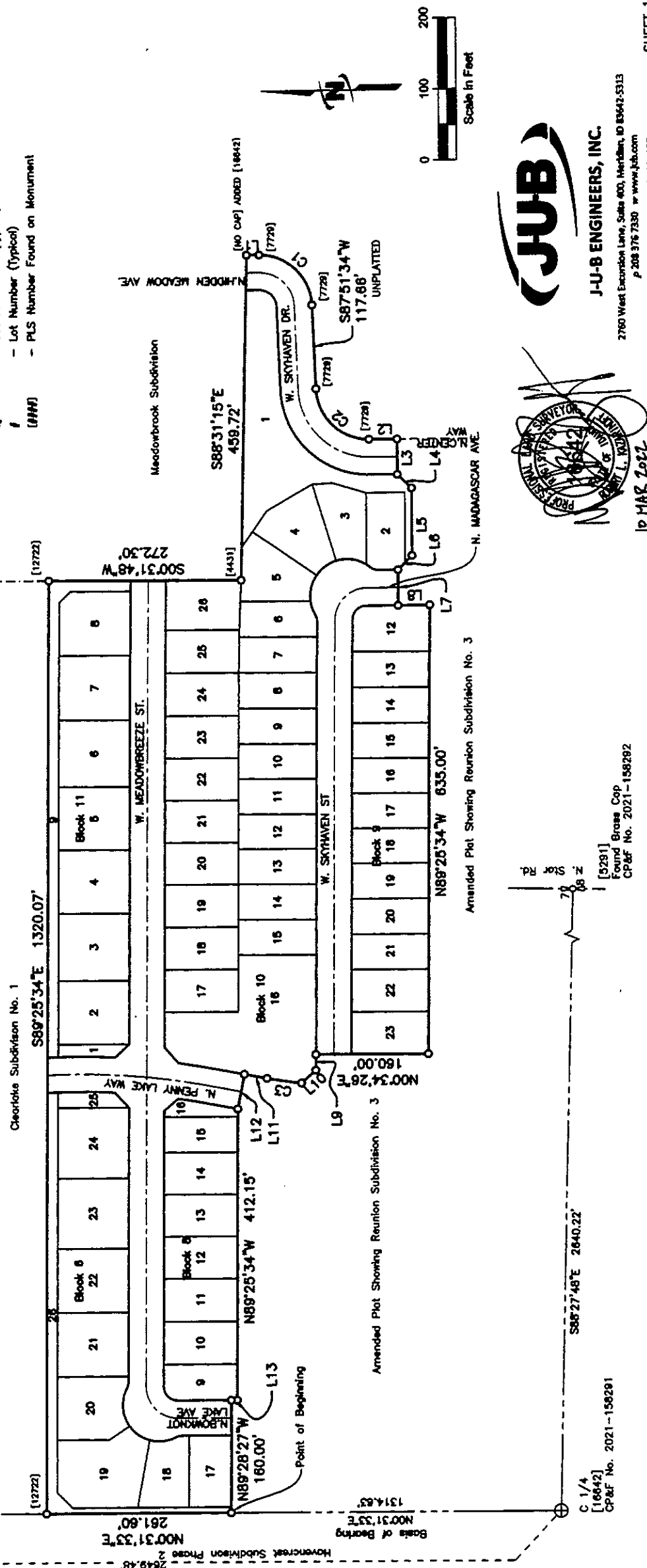


W. Flooding Feather Rd. [1002] Found Aluminum Cop CP&F No. 2017-068259

Line #	Direction	Length
L1	S00°11'24"W	17.62'
L2	S00°06'17"W	39.93'
L3	N89°53'43"W	50.00'
L4	S45°06'17"W	28.28'
L5	N89°53'43"W	94.00'
L6	N44°53'43"W	28.28'
L7	N89°53'43"W	50.00'
L8	S00°06'17"W	44.97'
L9	N89°25'34"W	23.46'
L10	N42°02'59"W	27.06'
L11	N11°09'38"E	33.36'
L12	N75°02'22"W	50.00'
L13	N00°31'33"E	8.94'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	114.32'	75.00'	87°20'03"	S44°11'33"W	103.57'
C2	114.87'	76.00'	87°45'10"	S43°58'55"W	103.97'
C3	49.57'	985.00'	4°51'18"	N82°41'00"E	49.55'

- Legend**
- Subdivision Boundary Line
  - Lot Line
  - Right-of-way Line
  - Section Line
  - Center Line
  - Adjacent Property Line
  - Match Line
  - Tie Line
  - Utility Easement Line
  - Gravity Irrigation Easement Line
  - Irrigation Easement Line
  - ACHD Drainage Easement Line
  - Quarter-Section Corner, as noted
  - Found Aluminum Cop, as noted
  - Found 5/8" Rebar, with Plastic Cap Marked J-U-B 16642, unless otherwise noted
  - Found 1/2" Rebar, with Plastic Cap Marked J-U-B 16642, unless otherwise noted
  - Set 5/8"x24" Rebar, with Plastic Cap Marked J-U-B 16642
  - Set 1/2"x24" Rebar, with Plastic Cap Marked J-U-B 16642
  - Set 1/2"x24" Rebar, with Plastic Cap Marked EASEMENT JUB 16642
  - Point Not Set or Found
  - Curve Number (Typical)
  - Course Number (Typical)
  - Lot Number (Typical)
  - PLS Number Found on Monument

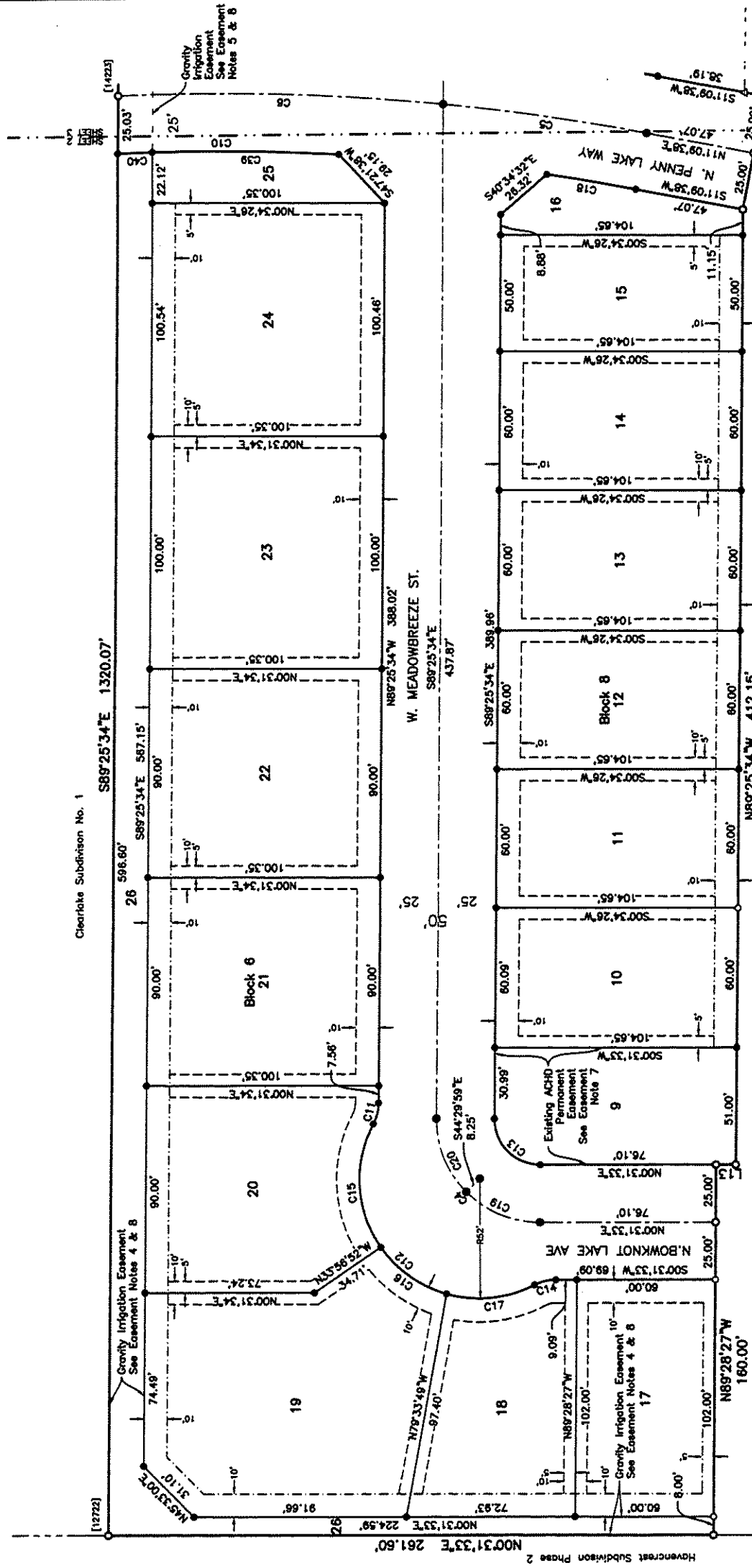


**JUB**  
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 JUB Project No. 10-19-107



SEE SHEET 6 FOR NOTES, REFERENCE DOCUMENTS AND EASEMENT NOTES

PLAT SHOWING  
Reunion Subdivision No. 4



Line Table - This Sheet Only

Line #	Direction	Length
L11	N11°09'38"W	32.36'
L12	N78°50'22"W	50.00'
L13	N00°31'13"E	8.54'

Amended Plat Showing Reunion Subdivision No. 3



Curve Table - This Sheet Only

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C4	70.72'	45.00'	90°02'54"	S48°33'00"W	63.87'
C5	88.88'	1000.00'	5°00'54"	N08°56'51"E	88.88'
C6	140.31'	1000.00'	8°03'02"	N02°02'33"E	140.30'
C10	85.42'	975.00'	5°36'27"	N02°45'20"E	85.38'
C11	9.48'	20.00'	27°11'15"	S79°49'56"E	9.40'
C12	131.15'	90.00'	144°30'07"	S45°50'58"W	99.00'
C13	31.43'	20.00'	90°02'54"	S49°33'00"W	28.30'
C14	9.52'	20.00'	27°15'58"	N13°06'26"W	9.43'
C15	64.52'	92.00'	82°16'43"	S86°37'20"W	53.78'
C16	35.61'	92.00'	39°13'58"	S35°51'59"W	34.82'
C17	39.02'	92.00'	42°56'25"	S05°14'43"E	38.11'
C18	38.10'	975.00'	2°17'52"	N10°00'42"E	38.10'
C19	35.32'	45.00'	4°58'28"	S23°00'47"W	34.42'
C20	35.40'	45.00'	4°04'28"	S88°02'13"W	34.50'
C39	80.41'	975.00'	4°43'32"	N01°11'47"E	80.39'
C40	15.01'	975.00'	0°52'56"	N01°36'28"W	15.01'



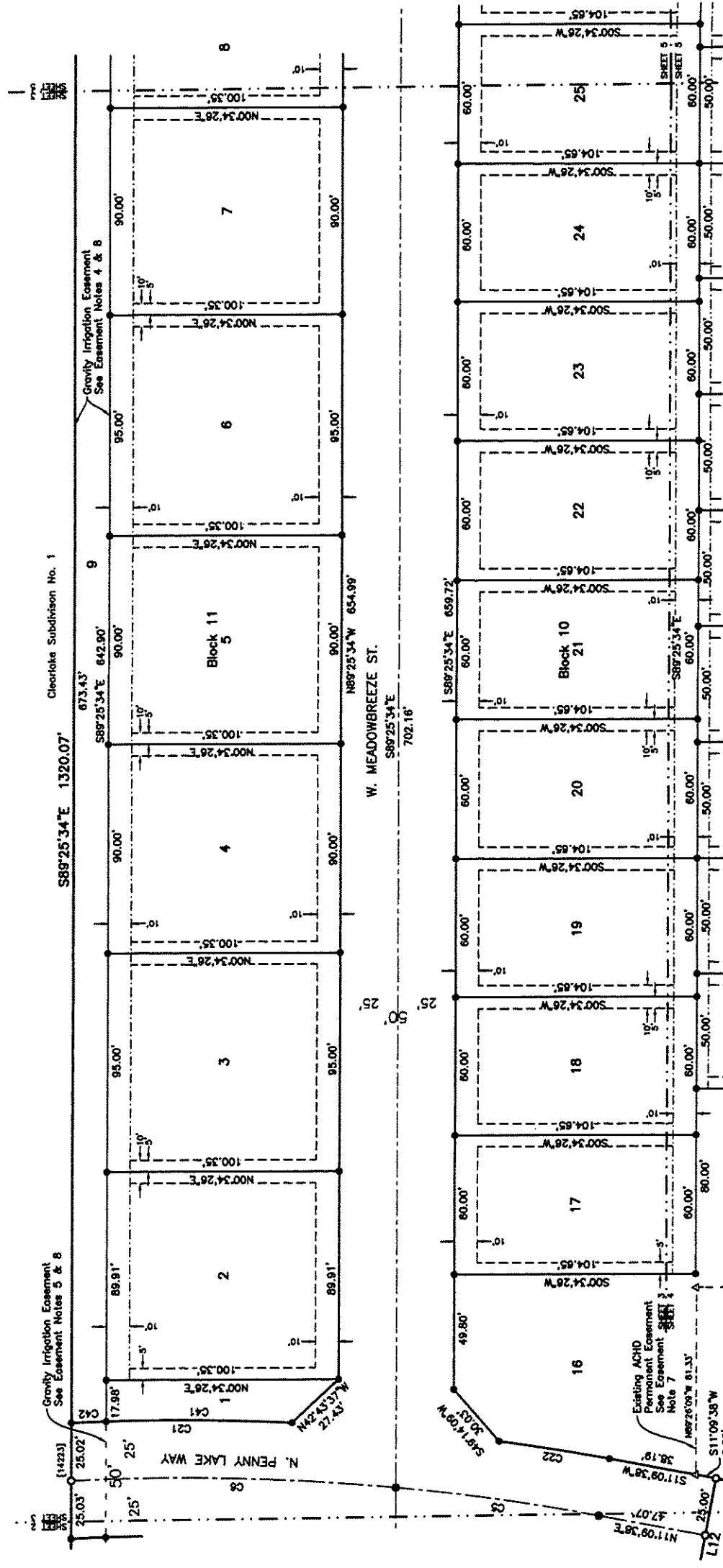
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P 208 376 7330 www.jub.com



10 MAR 2022

SEE SHEET 1 FOR LEGEND  
SEE SHEET 6 FOR NOTES, REFERENCE DOCUMENTS AND EASEMENT NOTES

PLAT SHOWING  
Reunion Subdivision No. 4

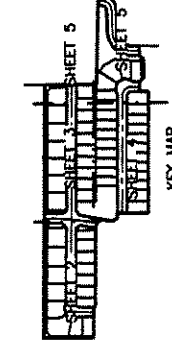
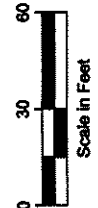
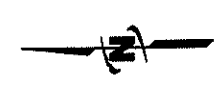


Line Table - This Sheet Only

Line #	Direction	Length
L12	N78°56'22"W	50.00'

Curve Table - This Sheet Only

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C5	88.88'	1000.00'	5°05'34"	N08°35'51"E	88.88'
C6	140.51'	1000.00'	8°03'02"	N02°02'33"E	140.39'
C21	85.42'	1025.00'	5°20'01"	N00°44'17"E	85.38'
C22	48.37'	1025.00'	2°42'14"	N00°48'51"E	48.37'
C41	86.41'	1025.00'	4°28'41"	S01°00'58"W	86.39'
C42	15.01'	1025.00'	0°59'21"	N01°30'03"W	15.01'

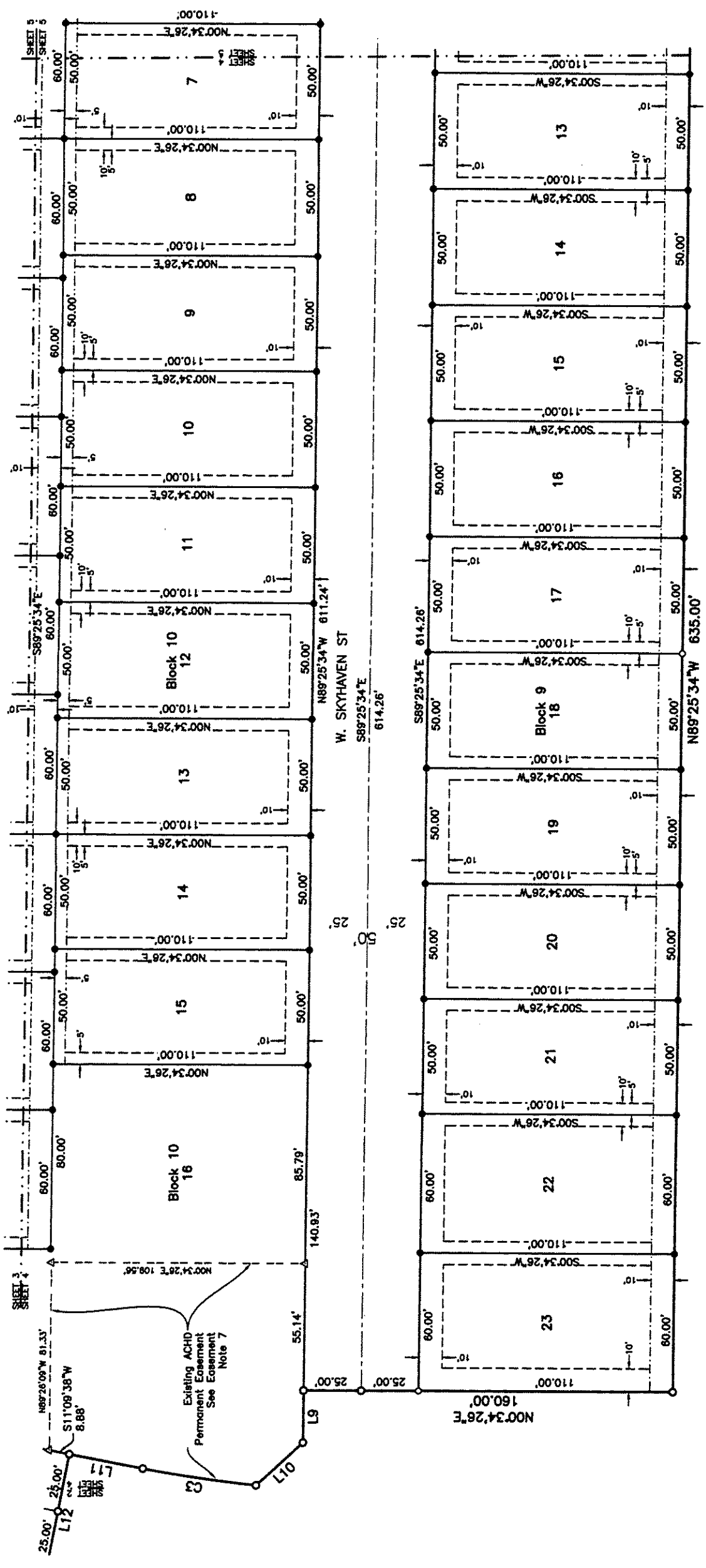


SEE SHEET 1 FOR LEGEND  
SEE SHEET 6 FOR NOTES, REFERENCE DOCUMENTS AND EASEMENT NOTES



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# PLAT SHOWING Reunion Subdivision No. 4



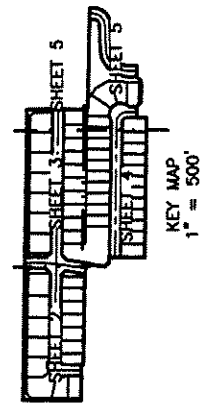
Amended Plat Showing Reunion Subdivision No. 3

Line Table - This Sheet Only

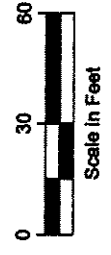
Line #	Direction	Length
L9	N89°25'34"W	22.48'
L10	M42°02'59"W	27.09'
L11	H11°09'38"E	32.36'
L12	N78°50'22"W	50.00'

Curve Table - This Sheet Only

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C3	49.27'	565.00'	4°51'16"	N08°44'00"E	49.25'

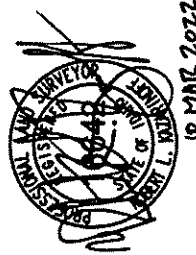
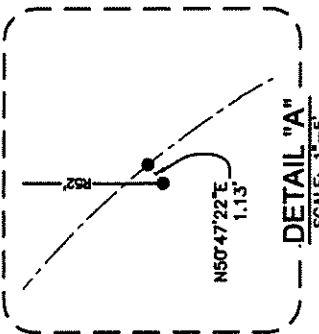
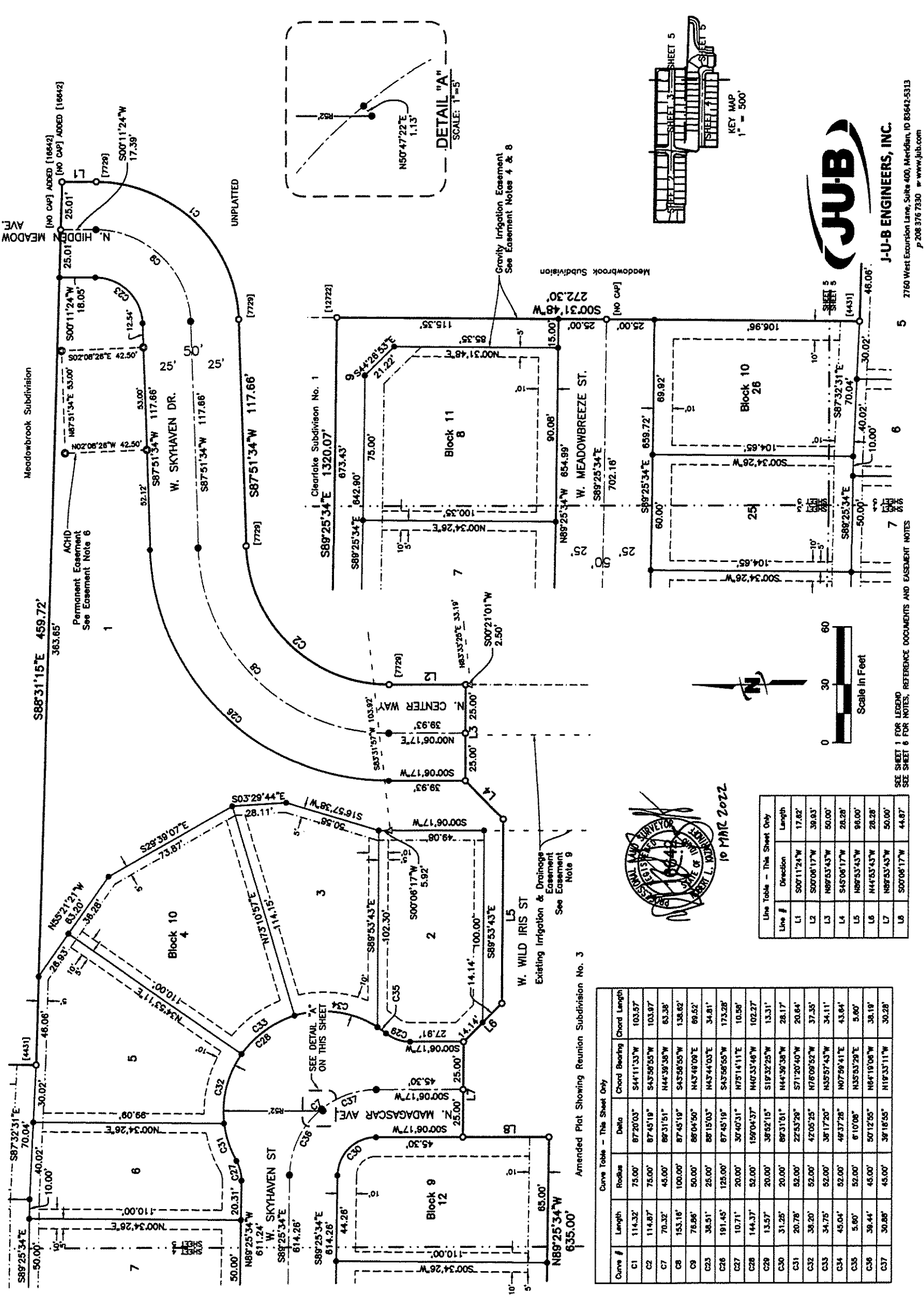


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P. 208.376.7330 or www.jub.com



SEE SHEET 1 FOR LEGEND  
SEE SHEET 6 FOR NOTES, REFERENCE DOCUMENTS AND EASEMENT NOTES

# PLAT SHOWING Reunion Subdivision No. 4



Line Table - This Sheet Only

Line #	Direction	Length
L1	S00°11'24"W	17.82'
L2	S00°08'17"W	39.83'
L3	N89°53'43"W	50.00'
L4	S45°08'17"W	28.28'
L5	N89°53'43"W	96.00'
L6	N44°53'43"W	28.28'
L7	N89°53'43"W	50.00'
L8	S00°08'17"W	44.87'

Amended Plat Showing Reunion Subdivision No. 3

Curve Table - This Sheet Only

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	114.32'	75.00'	87°20'03"	S44°11'33"W	103.97'
C2	114.87'	75.00'	87°45'18"	S43°56'55"W	103.97'
C7	70.32'	45.00'	86°31'51"	N44°39'38"W	63.38'
C8	153.18'	100.00'	87°45'18"	S43°56'55"W	138.82'
C9	76.86'	50.00'	86°04'56"	N43°48'09"E	69.52'
C23	38.51'	25.00'	86°15'03"	N43°44'03"E	34.81'
C26	191.45'	125.00'	87°45'18"	S43°56'55"W	173.28'
C27	10.71'	20.00'	30°40'31"	N75°14'11"E	10.58'
C28	144.37'	52.00'	156°04'37"	N40°33'46"W	102.27'
C29	13.57'	20.00'	38°52'15"	S19°32'25"W	13.31'
C30	31.25'	20.00'	86°31'51"	N44°39'38"W	28.17'
C31	20.78'	52.00'	22°53'28"	S71°20'40"W	20.84'
C32	38.20'	52.00'	47°05'25"	N76°08'52"W	37.55'
C33	34.75'	52.00'	38°17'20"	N35°57'43"W	34.11'
C34	45.04'	52.00'	48°37'28"	N07°59'41"E	43.84'
C35	5.90'	52.00'	6°10'08"	N35°53'29"E	5.60'
C36	39.44'	45.00'	50°12'55"	N64°10'08"W	38.18'
C37	30.85'	45.00'	38°18'55"	N18°33'11"W	30.28'



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SEE SHEET 1 FOR LEGEND  
SEE SHEET 6 FOR NOTES, REFERENCE DOCUMENTS AND EASEMENT NOTES



PLAT SHOWING  
Reunion Subdivision No. 4

Notes

1. Any re-subdivision of this plot shall comply with the applicable zoning regulations in effect at the time of re-subdivision.
2. Lots 25 and 26, Block 6; Lots 9 and 16, Block 8; Lots 1 and 16, Block 10; and Lots 1 and 9, Block 11 are common lots which shall be owned and maintained by the Pristine Meadows Subdivision, Inc. (the homeowners association).
3. Direct lot access to N. Center Way and N. Penny Lake Way is prohibited.
4. Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on this plat.
5. Lots shall not be reduced in size without prior approval from the health authority.
6. No additional domestic water supplies shall be installed beyond the water system approved in the sanitary restriction release.
7. Reference is made to the public health letter on file with Ada County Recorder regarding additional restrictions.
8. This subdivision is subject to an Agreement with Middleton Mill Ditch Company, Middleton Irrigation Association, Inc., and Pristine Meadows Subdivision, Inc., dated August 23, 2005 and recorded as Instrument Number 105121342 and as amended by Instrument Numbers 106102235 and 2018-027185.
9. This Subdivision is located within Zone X (Area of Minimal Flood Hazard) as shown on FEMA National Flood Hazard FIRMS Panel No. 18001C0123 J and 18001C0130 J. Effective date 08/19/2020.
10. This subdivision is subject to a License Agreement Instrument Number 2019-014180 with Drainage District No. 2.
11. This subdivision is subject to a License Agreement Instrument Number 2020-078015 with Middleton Mill Ditch Company and Middleton Irrigation Association, Inc.
12. This subdivision is subject to a License Agreement Instrument Number 2021-114668 with Ada County Highway District.
13. This development recognizes Section 22-4503 of Idaho Code, Right to Farm Act, which states, "No agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."

Surveyor's Narrative

SURVEY PURPOSE: To determine the boundary of land as described in that Warranty Deed recorded under Instrument No. 2021-044605, Ada County Records, Idaho, and to include a portion of said land within this subdivision.

DOCUMENTS USED: See Reference Documents below.

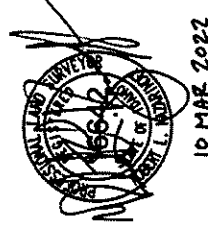
BOUNDARY CONTROLLED BY: The southern boundary is controlled by the Amended Plat Showing Reunion Subdivision No. 3. The west boundary is controlled by the west line of the Northeast Quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian and by Havencrest Subdivision Phase 2. The north boundary is controlled by Clearlake Subdivision No. 1. The northwesterly boundary and the easterly boundary are controlled by Macdonald Subdivision and the easterly line of these lands are represented in that Corporation Warranty Deed recorded under Instrument No. 2019-113036, Ada County Records.

Reference Documents

- Subdivisions: Saddlebrook Subdivisions Phases 1, 2, & 6; Macdonald Subdivision No. 2; Rhinoceros Bay; Pristine Meadows Subdivision Nos. 1 & 2; Havencrest Subdivision Phase 2; and Clearlake Subdivision Nos. 1 & 2; Reunion Subdivision Nos. 1 & 2; Amended Plat Showing Reunion Subdivision No. 3.
- Surveys: ROS# 566, 562, 563, 8243, and 9125.
- Deeds: 114002607, 2018115038 and 2021-044605.
- Easements: 105147588, 105121342, 106102235, 2020-078016 & 2020-131772.

Easement Notes

1. All Utility Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of public & private utilities, sewer service, cable television/data; opportunities thereto; and lot drainage.
2. All Pressure Irrigation Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of pressure irrigation lines and opportunities thereto.
3. Lots 25 and 26, Block 6; Lots 9 and 16, Block 8; Lots 1 and 16, Block 10; and Lots 1 and 9, Block 11 are hereby designated as having a Utility Easement co-situate with said lots.
4. Lot 26, Block 6 and Lot 9, Block 11 are hereby designated as having a non-exclusive, perpetual Gravity Irrigation Easement co-situate with said lots, are appurtenant thereto, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of gravity irrigation lines and the opportunities thereto.
5. The Gravity Irrigation Easement as shown and designated hereon is non-exclusive, perpetual, appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleton Mill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the opportunities thereto.
6. All of Lot 9, Block 6; and portions of Lots 1 and 16, Block 10 are servant to and contain the ACHD storm water drainage system. These lots are encumbered by that certain first amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015 as Instrument No. 2015-103256, official records of Ada County, and incorporated herein by this reference as if set forth in full (the "Master Easement"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section 40-2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system.
7. See Instrument Number 2020-131772 for ACHD Permanent Easements.
8. See Instrument Number 2020-078016 for Gravity Irrigation Easement.
9. See License Agreement Instrument Number 2019-014180 for Existing Drainage District #2 Irrigation and Drainage Easement (Drain #10).
10. No Utility Easement shown or designated hereon shall preclude the construction and maintenance of hard-surfaced driveways, landscaping, parking, sidewalks & rear property line fences, or other such nonpermanent improvements.
11. All easements are parallel (or concentric) to the lines (or area) that they are dimensioned from unless otherwise noted.



**JUB**  
J-U-B ENGINEERS, INC.  
2760 West Excursion Lane, Suite 402, Meridian, ID 83642-5313  
P. 208.376.7330 www.jub.com

# PLAT SHOWING Reunion Subdivision No. 4

### Certificate of Owners

Know all people by these presents: that Challenger Development, Inc., an Idaho Corporation, does hereby certify that it is the owner of that real property to be known as Reunion Subdivision No. 4, and that it intends to include said real property, as described below, in this plat to wit:

A parcel of land situated in the northeast quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho, particularly described as follows:  
COMMENCING at the southwest corner of the northeast quarter (center quarter-section corner) of Section 7, Township 4 North, Range 1 West, Boise Meridian, from which the north quarter-section corner of said Section 7 bears North 00°31'33" East, 2,649.48 feet; Thence North 00°31'33" East, 1,314.63 feet along the west line of the northeast quarter of said section 7 to the POINT OF BEGINNING;

Thence North 00°31'33" East, 261.60 feet continuing along the west line of said northeast quarter and the east boundary of Havencrest Subdivision Phase 2, according to the official plat thereof filed in Book 97 of Plats of PAGES 12118 through 12118, Ada County Records, to the southwest corner of Clearlake Subdivision No. 1, according to the official plat thereof filed in Book 107 of Plats of PAGES 14908 through 14912, Ada County Records;  
Thence S 89°25'34" E, 1,320.07 feet along the south boundary of said Clearlake Subdivision No. 1, to the west boundary of Meadowbrook Subdivision according to the official plat thereof filed in Book 88 of Plats of PAGES 10204 through 10205, Ada County Records;

Thence S 00°31'46" W, 272.30 feet along said west boundary;  
Thence S 89°31'15" E, 499.72 feet along the south boundary of said Meadowbrook Subdivision;  
Thence S 00°11'24" W, 17.62 feet departing from said south boundary to the beginning of a non-tangent curve;  
Thence along said non-tangent curve to the right on an arc length of 114.32 feet, having a radius of 75.00 feet, a central angle of 87°20'03", a chord bearing of S 44°11'33" W and a chord length of 103.57 feet;  
Thence S 87°51'34" W, 117.68 feet to the beginning of a curve;  
Thence along said curve to the left on an arc length of 114.87 feet, having a radius of 75.00 feet, a central angle of 87°45'18", a chord bearing of S 43°59'55" W and a chord length of 103.07 feet;  
Thence S 00°06'17" W, 39.93 feet to the northeast corner of Reunion Subdivision No. 3 according to the amended official plat thereof filed in Book 120 of Plats of PAGES 18842 through 18849, Ada County Records;

Thence along the northerly boundary of said Reunion Subdivision No. 3 the following sixteen (16) courses:  
1) N 89°53'43" W, 50.00 feet;  
2) S 45°06'17" W, 28.28 feet;  
3) N 89°53'43" W, 98.00 feet;  
4) N 44°53'43" W, 28.28 feet;  
5) N 89°53'43" W, 50.00 feet;  
6) S 00°06'17" W, 44.87 feet;  
7) N 89°25'34" W, 635.00 feet;  
8) N 00°34'28" E, 160.00 feet;  
9) N 89°25'34" W, 22.46 feet;  
10) N 42°02'59" W, 27.09 feet to the beginning of a non-tangent curve;  
11) Along said non-tangent curve to the right on an arc length of 49.55 feet, having a radius of 585.00 feet, a central angle of 04°51'18", a chord bearing of N 09°44'00" E and a chord length of 49.55 feet;  
12) N 11°09'38" E, 32.38 feet;  
13) N 89°50'22" W, 50.00 feet;  
14) N 89°50'22" W, 17.19 feet;  
15) N 00°31'33" E, 82.19 feet;  
16) N 89°28'27" W, 160.00 feet to the POINT OF BEGINNING, containing 14.01 acres, more or less.

The public streets shown on this plat are hereby dedicated to the public. The easements shown on this plat are not dedicated to the public, however the right to use said easements is hereby reserved for the uses specifically depicted on the plat and for any other purpose deemed proper hereon, and no permanent structures, other than for such uses and purposes, are to be erected within the lines of said easements. All of the lots within this subdivision are eligible to receive water service from Star Sewer and Water Utility, Inc. and the Star Sewer and Water Utility, Inc. is hereby authorized to install and maintain its sewer and water lines within this subdivision. All lots within this subdivision will be entitled to irrigation water rights, and will be obligated for easements from Madrilain Hill Ditch Company.

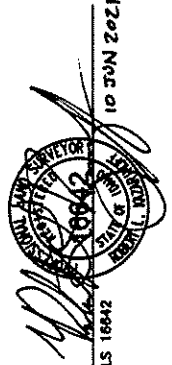
In witness whereof, I have hereunto set my hands:  
Correy D. Barton, President  
Challenger Development, Inc.

Acknowledgment  
State of Idaho }  
County of Ada }  
On this 15th day of June, 2021, before me, a Notary Public in and for the State of Idaho, personally appeared Correy D. Barton, President of Challenger Development, Inc. that executed the within instrument and acknowledged to me that Challenger Development, Inc. executed the same.

My commission expires 6-05-22

Certificate of Surveyor  
I, Robert L. Kozarhoff, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that the plat of Reunion Subdivision No. 4, as described in the Certificate of Owners attached hereto, and that the plat of Meadowbrook Subdivision No. 3, as described in the Certificate of Owners attached hereto, are correct and were surveyed in accordance with Idaho Code relating to plats and surveys.

Robert L. Kozarhoff, PLS 16642



Challenger Development, Inc. executed the same.



PLAT SHOWING  
Reunion Subdivision No. 4

Approval of Central District Health

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the title to be recorded in the Ada County records. The plat is being filed in accordance with Section 50-1320, Idaho Code, by the issuance of a certificate of disapproval.

*Brian Beck*  
Central District Health  
ADA COUNTY HEALTH  
Date 3-13-2021

Approval of Ada County Highway District

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on this 1 day of February, 2021.

*Bruce S. Wynn*  
Commissioner  
Ada County Highway District  
Signed by Bruce S. Wynn, District President



Approval of City Engineer

I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on this day of February, 2021, hereby approve this plat.

*Chris May*  
City Engineer  
Date 12/16/21

Approval of City Council

The foregoing plat was accepted and approved this 19th day of May, 2022, by the City of Star, Idaho.

*Jim*  
City Clerk



Certificate of County Surveyor

I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have examined this plat and find that it complies with the State of Idaho Code relating to plats and surveys.

*James Hastings*  
Ada County Surveyor  
PLS 9357  
Date 3-11-2022



Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1306, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.

*Elizabeth Mahn*  
Ada County Treasurer  
Signed by Deputy: *Deborah August*  
Date March 16, 2022



County Recorder's Certificate

I hereby certify that this instrument was filed at the request of JUB Engineers, Inc. at this office on this 11 day of March, 2022, in my office, and was recorded in Book 122 of Plats at Pages 1947 through 1944. Fee: 44

*Rachelle*  
Deputy  
*Pat McGraw*  
County Recorder



J-U-B ENGINEERS, INC.  
250 South Beechwood Avenue, Suite 201, Boise, ID 83705-0944  
P 208 376 7230 W www.jub.com

**EXHIBIT C  
O&M MANUAL**

See attached.

Trilogy Development

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# Reunion Subdivision No. 4

*Operation & Maintenance Manual*

July 2020

Prepared by:



**J-U-B ENGINEERS, Inc.**  
250 South Beechwood Avenue, Suite 201  
Boise, ID 83709-0944  
208-376-7330 / 208-323-9336 (fax)  
[www.J-U-B.com](http://www.J-U-B.com)



# Reunion Subdivision No. 4

*Operation & Maintenance Manual*

July 2020

Prepared By:

*Engineer:*

**J-U-B ENGINEERS, Inc.**

250 South Beechwood Avenue, Suite 201

Boise, Idaho 83709-0944

208-376-7330

[www.J-U-B.com](http://www.J-U-B.com)

*Developer:*

**Trilogy Development**

9839 W. Cable Car Street

Boise, Idaho 83709

(208) 895-8858

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## **2. Final Plat**

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3.1 Purpose

3.2 Definitions

3.3 Design Overview

3.4 Maintenance Requirements

## **4. Attachments**

Inspection and Maintenance Form

Maintenance Report Form

Stormwater Pond Details

Improvement Plans

# 1. Contact Information

## 1.1 Developer:

Trilogy Development  
9839 W. Cable Car Street  
Boise, Idaho 83709  
(208) 895-8858

## 1.2 Contractor:

Same as Developer

## 1.3 City:

City of Star  
10769 W. State Street  
P.O. Box 130  
Star, ID 83669  
(208) 286-7247

## 1.5 Engineer:

J-U-B Engineers, Inc.  
250 S. Beechwood, Suite 201  
Boise, ID 83709  
(208) 376-7330

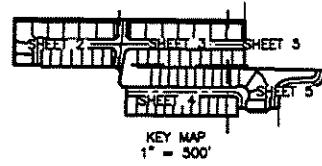


## **2. Final Plat**

PLAT SHOWING  
**Reunion Subdivision No. 4**

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

Situated in Northeast Quarter of  
 Section 7, Township 4 North, Range 1 West, Boise Meridian,  
 City of Star, Ada County, Idaho.  
 2020



Line Table - This Sheet Only

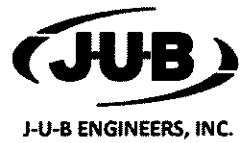
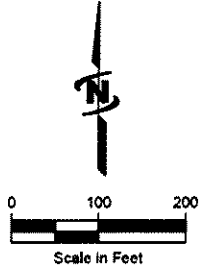
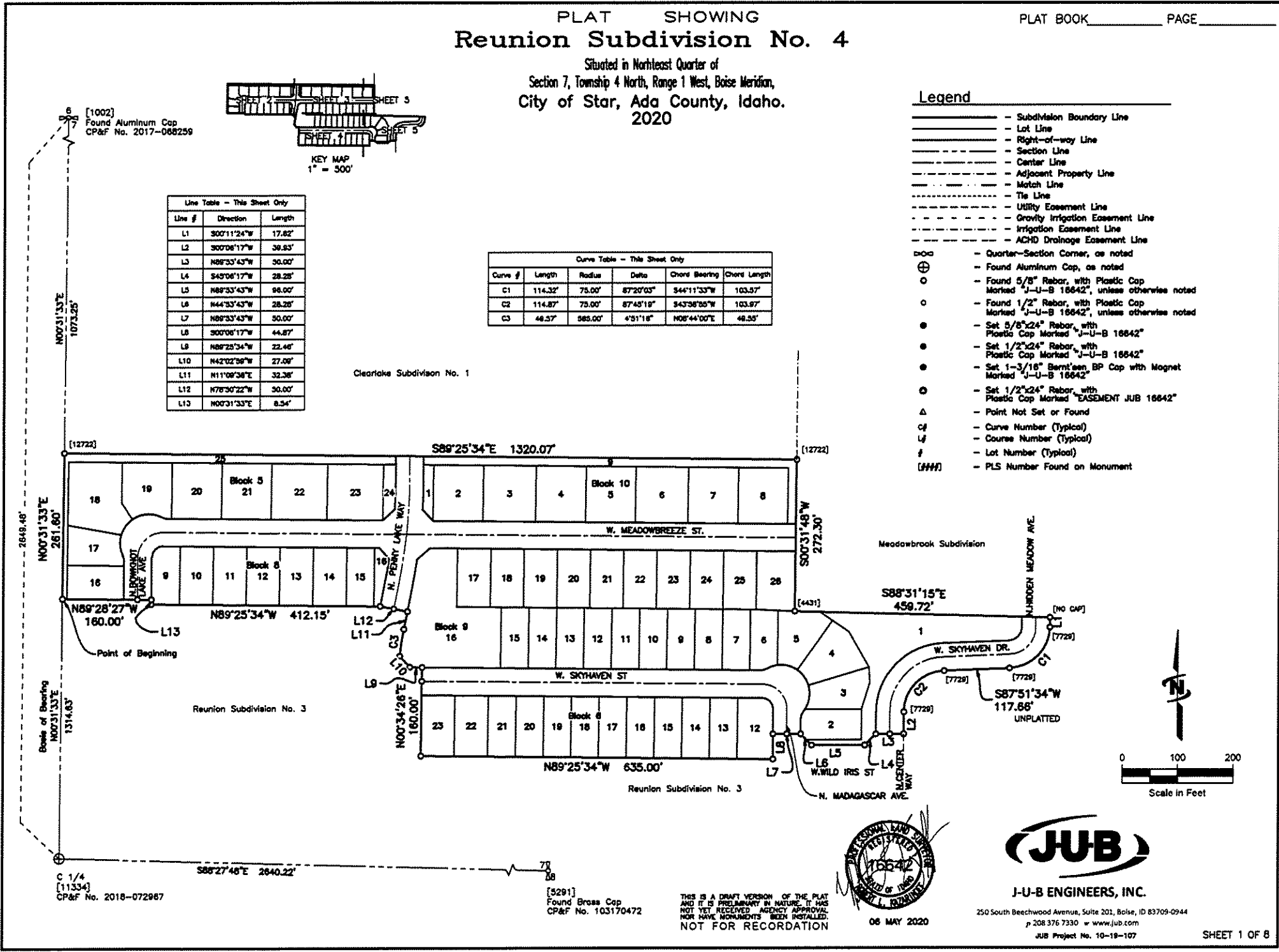
Line #	Direction	Length
L1	S00°11'24\"W	17.82'
L2	S00°08'17\"W	39.83'
L3	N89°33'43\"W	30.00'
L4	S45°08'17\"W	28.28'
L5	N89°33'43\"W	98.00'
L6	N44°33'43\"W	28.28'
L7	N89°33'43\"W	30.00'
L8	S00°08'17\"W	44.87'
L9	N89°25'34\"W	22.48'
L10	N42°02'39\"W	27.09'
L11	N11°09'38\"E	32.38'
L12	N78°50'22\"W	30.00'
L13	N00°31'33\"E	8.34'

Curve Table - This Sheet Only

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	114.32'	75.00'	87°20'03\"	S44°11'33\"W	103.57'
C2	114.87'	75.00'	87°45'19\"	S43°38'55\"W	103.87'
C3	48.57'	285.00'	4°51'18\"	N08°44'00\"E	48.55'

**Legend**

- Subdivision Boundary Line
- Lot Line
- Right-of-Way Line
- Section Line
- Center Line
- Adjacent Property Line
- Match Line
- Tie Line
- Utility Easement Line
- Gravity Irrigation Easement Line
- Irrigation Easement Line
- ACHD Drainage Easement Line
- ooc - Quarter-Section Corner, as noted
- ⊕ - Found Aluminum Cap, as noted
- - Found 5/8\" Rebar, with Plastic Cap Marked \"J-U-B 18642\", unless otherwise noted
- - Found 1/2\" Rebar, with Plastic Cap Marked \"J-U-B 18642\", unless otherwise noted
- - Set 5/8\"x24\" Rebar, with Plastic Cap Marked \"J-U-B 18642\"
- - Set 1/2\"x24\" Rebar, with Plastic Cap Marked \"J-U-B 18642\"
- - Set 1-3/16\" Bern'seen, BP Cap with Magnet Marked \"J-U-B 18642\"
- - Set 1/2\"x24\" Rebar, with Plastic Cap Marked \"EASEMENT JUB 18642\"
- △ - Point Not Set or Found
- C# - Curve Number (Typical)
- L# - Course Number (Typical)
- # - Lot Number (Typical)
- #### - PLS Number Found on Monument



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 JUB Project No. 19-18-107

C 1/4  
 [11334]  
 CP&F No. 2018-072987

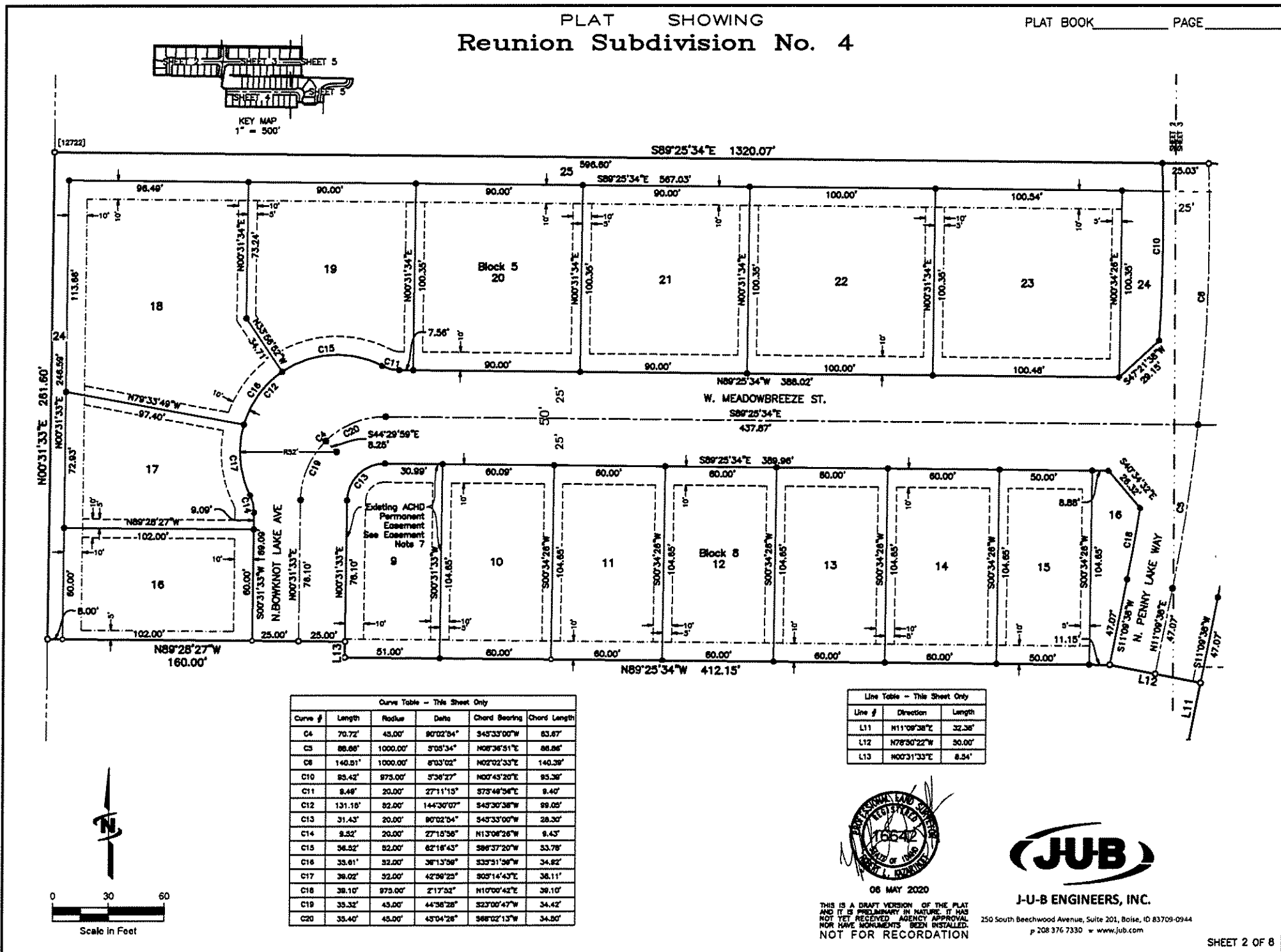
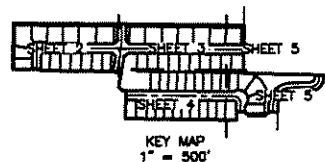
[5291]  
 Found Brass Cap  
 CP&F No. 103170472

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**NOT FOR RECORDATION**

06 MAY 2020

PLAT SHOWING  
Reunion Subdivision No. 4

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

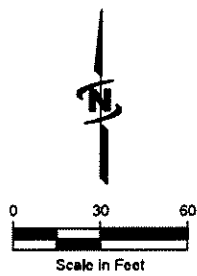


Curve Table - This Sheet Only

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C4	70.72'	45.00'	90°02'54"	S45°33'00"W	83.87'
C3	86.88'	1000.00'	3°05'34"	N03°36'51"E	86.88'
C8	140.51'	1000.00'	8°03'02"	N02°02'33"E	140.39'
C10	85.42'	875.00'	5°36'27"	N02°43'20"E	85.38'
C11	8.48'	20.00'	27°11'15"	S75°48'56"E	8.40'
C12	131.16'	82.00'	144°30'07"	S43°30'38"W	89.05'
C13	31.43'	20.00'	80°02'54"	S43°33'00"W	28.30'
C14	8.52'	20.00'	27°15'56"	N13°09'26"W	8.43'
C15	36.52'	82.00'	82°16'43"	S86°37'20"W	53.78'
C16	35.61'	32.00'	38°13'56"	S33°31'36"W	34.82'
C17	36.02'	32.00'	42°56'25"	S05°14'43"E	36.11'
C18	38.10'	875.00'	2°17'32"	N10°00'42"E	38.10'
C19	35.32'	45.00'	44°36'28"	S23°00'47"W	34.42'
C20	35.40'	45.00'	45°04'28"	S88°02'13"W	34.50'

Line Table - This Sheet Only

Line #	Direction	Length
L11	N11°08'38"E	32.38'
L12	N78°50'22"W	50.00'
L13	N00°31'33"E	8.54'



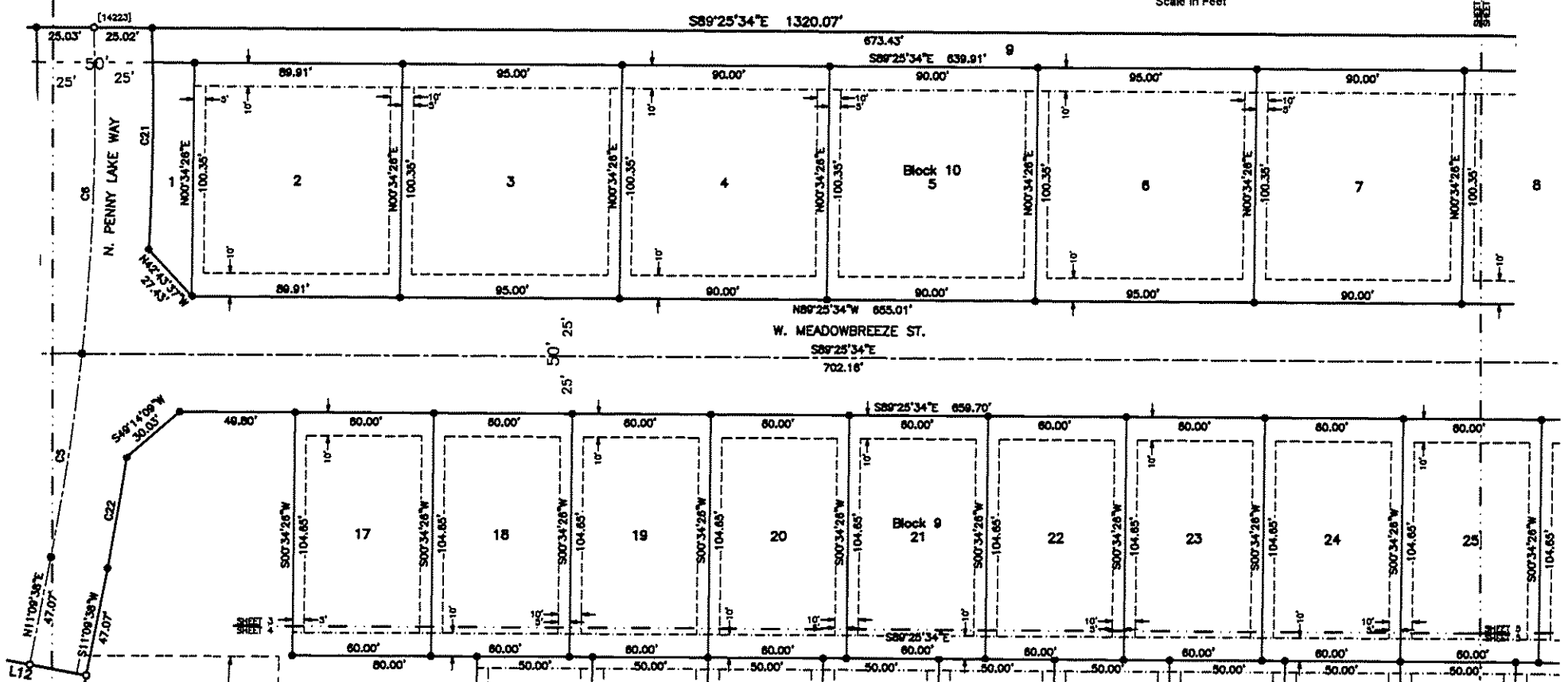
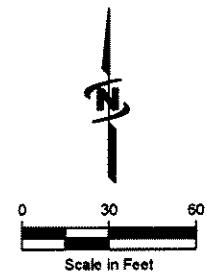
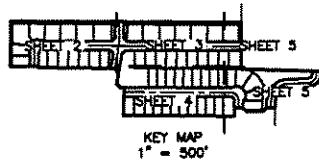
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Line Table - This Sheet Only

Line #	Direction	Length
L12	N78°30'22"W	90.00'

Curve Table - This Sheet Only

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C3	88.88'	1000.00'	3°03'34"	N08°36'31"E	88.88'
C8	140.51'	1000.00'	8°03'02"	N02°02'33"E	140.39'
C21	85.42'	1025.00'	3°20'01"	N00°44'47"E	85.36'
C22	48.37'	1025.00'	2°42'14"	N08°48'31"E	48.37'



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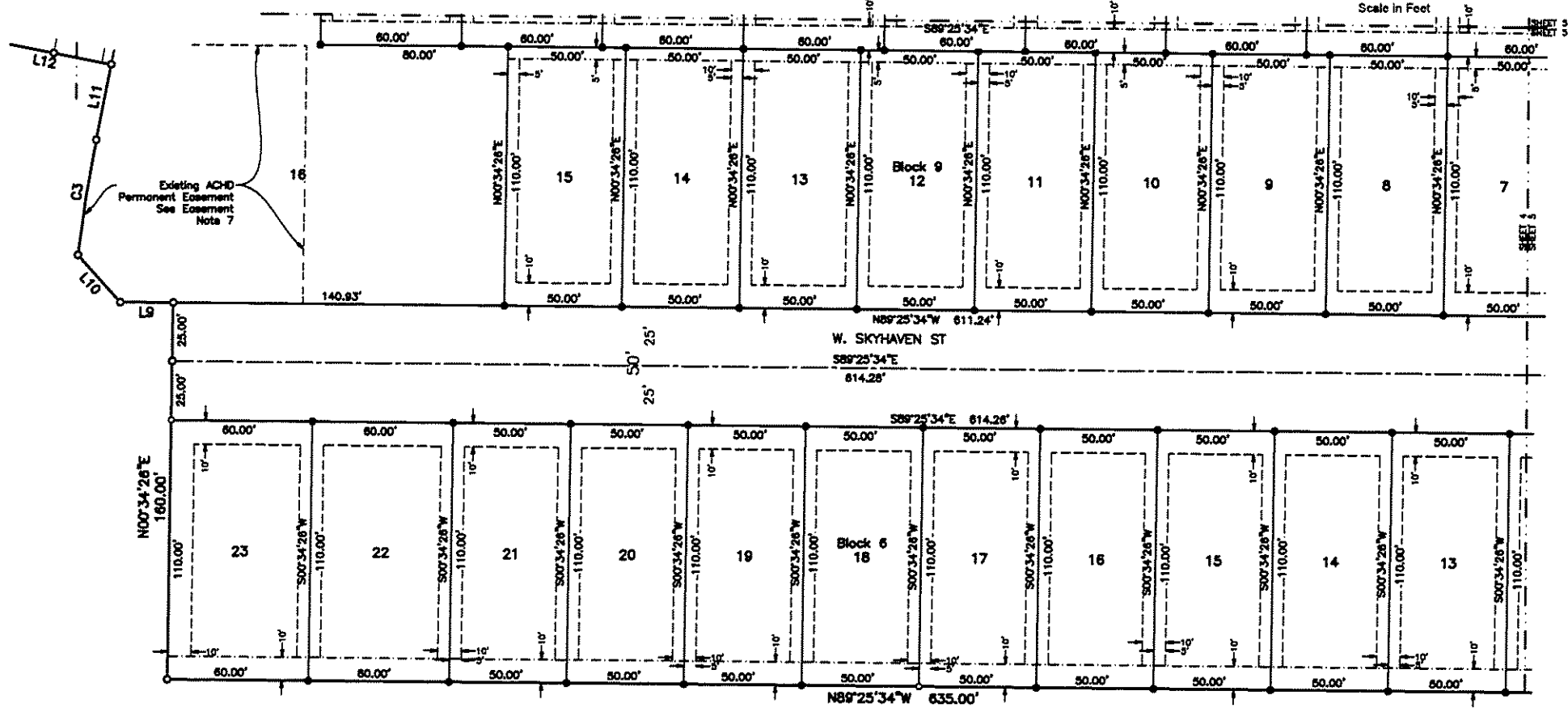
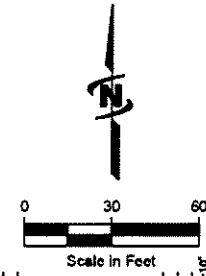
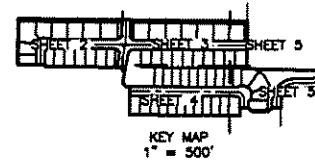


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Reunion Subdivision No. 4

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_



Curve Table - This Sheet Only					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C3	46.57'	585.00'	4°31'18"	N08°44'00"E	48.55'

Line Table - This Sheet Only		
Line #	Direction	Length
L9	N89°25'34"W	22.44'
L10	N42°02'36"W	27.06'
L11	N11°09'36"E	32.36'
L12	N78°30'22"W	30.00'

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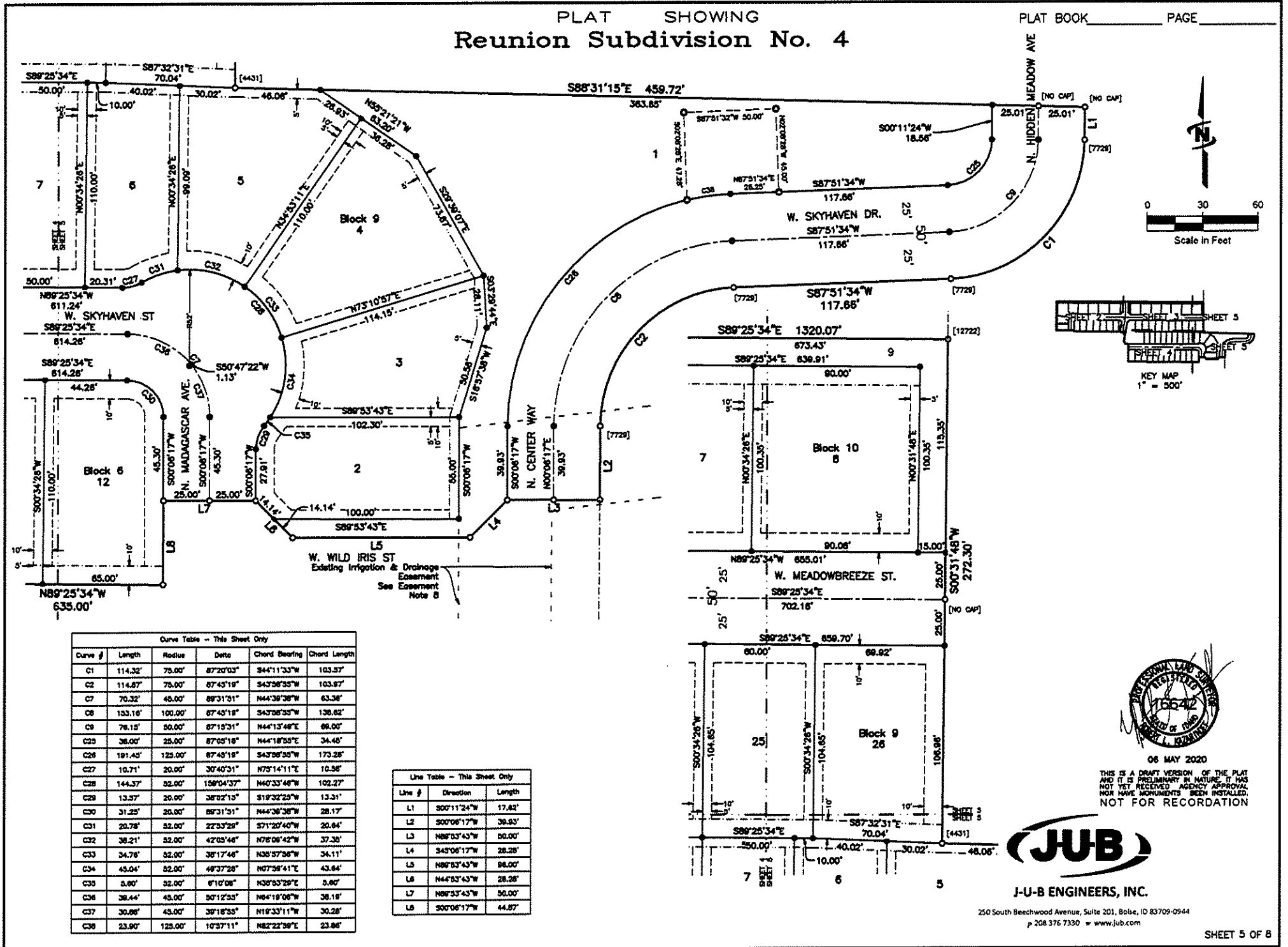


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Reunion Subdivision No. 4

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Curve Table - This Sheet Only

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	114.32'	75.00'	87°20'03"	S44°11'33"W	103.37'
C2	114.87'	75.00'	87°43'19"	S43°56'33"W	103.97'
C7	70.32'	45.00'	89°31'31"	N44°39'38"W	63.38'
C8	133.18'	100.00'	87°45'18"	S43°56'33"W	138.62'
C9	78.15'	50.00'	87°13'31"	N44°13'46"E	68.00'
C25	38.00'	25.00'	87°05'18"	N44°18'55"E	34.45'
C28	191.43'	125.00'	87°45'18"	S43°56'33"W	173.28'
C27	10.71'	20.00'	30°40'31"	N73°14'11"E	10.58'
C28	144.37'	32.00'	158°04'37"	N40°33'46"W	102.27'
C29	13.57'	20.00'	38°52'15"	S19°32'23"W	13.31'
C30	31.25'	20.00'	89°31'31"	N44°39'38"W	28.17'
C31	20.78'	32.00'	22°33'28"	S71°20'40"W	20.64'
C32	38.21'	32.00'	42°03'46"	N78°06'42"W	37.35'
C33	34.78'	32.00'	38°17'46"	N36°57'56"W	34.11'
C34	45.04'	32.00'	48°37'28"	N07°58'41"E	43.64'
C35	5.80'	32.00'	8°10'08"	N38°53'28"E	5.80'
C36	38.44'	45.00'	50°12'35"	N64°18'06"W	38.18'
C37	30.88'	45.00'	39°18'35"	N19°33'11"W	30.28'
C38	23.80'	125.00'	10°57'11"	N82°22'36"E	23.86'

Line Table - This Sheet Only

Line #	Direction	Length
L1	S00°11'24"W	17.82'
L2	S00°08'17"W	38.93'
L3	N88°53'43"W	50.00'
L4	S45°06'17"W	28.28'
L5	N88°53'43"W	98.00'
L6	N44°53'43"W	28.28'
L7	N88°53'43"W	50.00'
L8	S00°06'17"W	44.87'

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PLAT SHOWING  
Reunion Subdivision No. 4

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Notes

1. Any re-subdivision of this plat shall comply with the applicable zoning regulations in effect at the time of re-subdivision.
2. Lots 24 and 25, Block 5; Lots 9 and 16, Block 8; Lots 1 and 16, Block 9; and Lots 1 and 9, Block 10 are common lots which shall be owned and maintained by the Pristine Meadows Subdivision, Inc. (the homeowners association).
3. Direct lot access to N. Center Way and N. Penny Lake Way is prohibited.
4. Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on this plat.
5. Lots shall not be reduced in size without prior approval from the health authority.
6. No additional domestic water supplies shall be installed beyond the water system approved in the sanitary restriction release.
7. Reference is made to the public health letter on file with Ada County Recorder regarding additional restrictions.
8. This subdivision is subject to an Agreement with Middleton Mill Ditch Company, Middleton Irrigation Association, Inc., and Floka Ditch Company, Ltd. dated August 23, 2005 and recorded as Instrument Number 105121342 and as amended by Instrument Numbers 106102235 and 2018-027195.
9. This subdivision is subject to a License Agreement Instrument Number 2019-014180 with Drainage District No. 2.
10. This subdivision is subject to a License Agreement Instrument Number \_\_\_\_\_ with Ada County Highway District.
11. This development recognizes Section 22-4503 of Idaho Code, Right to Farm Act, which states, "No agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."

Easement Notes

1. All Utility Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of public & private utilities, sewer service, cable television/data, appurtenances thereto; and lot drainage.
2. All Pressure Irrigation Easements shown or designated hereon are non-exclusive, perpetual, shall run with the land, are appurtenant to the lots shown hereon, and are hereby reserved for the installation, maintenance, operation, and use of pressure irrigation lines and appurtenances thereto.
3. Lot 24, Block 5; Lots 9 and 16, Block 8; Lots 1 and 16, Block 9; and Lot 1, Block 10 are hereby designated as having a Utility Easement co-locate with said lots.
4. Lot 25, Block 5 and Lot 9, Block 10 are hereby designated as having a non-exclusive, perpetual Gravity Irrigation Easement co-locate with said Lots, are appurtenant thereto, shall run with the land, and are hereby reserved in favor of the Middleton Mill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the appurtenances thereto.
5. The Gravity Irrigation Easement across Lot 1, Block 5 as shown and designated hereon is non-exclusive, perpetual, appurtenant thereto, shall run with the land, and is hereby reserved in favor of the Middleton Mill Ditch Company for the installation, maintenance, operation, and use of gravity irrigation lines and the appurtenances thereto.
6. All of Lot 9, Block 8; and portions of Lots 1 and 16, Block 9 are servient to and contain the ACHD storm water drainage system. These lots are encumbered by that certain first amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015 as Instrument No. 2015-103256, official records of Ada County, and incorporated herein by this reference as if set forth in full (the "Master Easement"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section 40-2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system.
7. See Instrument Number \_\_\_\_\_ for ACHD Permanent Easements.
8. See License Agreement Instrument Number 2019-014180 for Existing Drainage District #2 Irrigation and Drainage Easement (Drain #10).
9. No Utility Easement shown or designated hereon shall preclude the construction and maintenance of hard-surfaced driveways, landscaping, parking, side & rear property line fences, or other such nonpermanent improvements.
10. All easements are parallel (or concentric) to the lines (or arcs) that they are dimensioned from unless otherwise noted.

Reference Documents

Subdivisions:  
Saddle Brook Phases 1, 2, & 6; Meadow Brook Phase 2; Rhinoceros Bay; Pristine Meadows Nos. 1 & 2; Havencrest Phase 2; and Clearlake Subdivision Nos. 1 & 2; Reunion Subdivision Nos. 1, 2 & 3;

Surveys:  
ROSe 568, 5622, 5623, 6243, and 9125.

Deeds:  
114002807, 2016115038, and 2018-056292 (re-recording 2018-018437).

Easements: 102064183, 105147568, 105121342, 106102235 & \_\_\_\_\_



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PLAT SHOWING  
Reunion Subdivision No. 4

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

**Certificate of Owners**

Know all people by these presents: that Challenger Development, Inc., an Idaho Corporation, does hereby certify that it is the owner of that real property to be known as Reunion Subdivision No. 4, and that it intends to include said real property, as described below, in this plat: To Wit:

A parcel of land situated in the northeast quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho, particularly described as follows:

COMMENCING at the southwest corner of the northeast quarter (center quarter-section corner) of Section 7, Township 4 North, Range 1 West, Boise Meridian, from which the north quarter-section corner of said Section 7 bears North 00°31'33" East, 2,649.48 feet; Thence North 00°31'33" East, 1,314.83 feet along the west line of the northeast quarter of said section to the POINT OF BEGINNING;

Thence North 00°31'33" East, 281.80 feet continuing along the west line of the northeast quarter and the east boundary of Havencrest Subdivision Phase 2 according to the official plat thereof filed in Book 97 of Plats at Pages 12116 through 12118, Ada County Records, to the southwest corner of Clearlake Subdivision No. 1 according to the official plat thereof filed in Book 107 of Plats at Pages 14608 through 14612, Ada County Records;

Thence S 89°25'34" E, 1,320.07 feet along the south boundary of said Clearlake Subdivision No. 1, to the west boundary of Meadowbrook Subdivision according to the official plat thereof filed in Book 86 of Plats at Pages 10204 through 10205, Ada County Records;

Thence S 00°31'48" W, 272.30 feet along said west boundary;  
Thence S 88°31'15" E, 456.72 feet along the south boundary of said Meadowbrook Subdivision;

Thence S 00°11'24" W, 17.82 feet departing from said south boundary to the beginning of a non-tangent curve;  
Thence along said non-tangent curve to the right on an arc length of 114.32 feet, having a radius of 75.00 feet, a central angle of 87°20'03", a chord bearing of S 44°11'33" W and a chord length of 103.57 feet;  
Thence S 87°51'34" W, 117.66 feet to the beginning of a curve;  
Thence along said curve to the left on an arc length of 114.87 feet, having a radius of 75.00 feet, a central angle of 87°45'19", a chord bearing of S 43°36'35" W and a chord length of 103.07 feet;  
Thence S 00°06'17" W, 39.93 feet to the northeast corner of Reunion Subdivision No. 3 according to the official plat thereof filed in Book \_\_\_\_\_ of Plats at Pages \_\_\_\_\_ through \_\_\_\_\_, Ada County Records;

Thence along the northerly boundary of said Reunion Subdivision No. 3 the following sixteen (16) courses:

- 1) N 89°53'43" W, 50.00 feet;
- 2) S 45°06'17" W, 28.28 feet;
- 3) N 89°53'43" W, 98.00 feet;
- 4) N 44°33'43" W, 28.28 feet;
- 5) N 89°53'43" W, 50.00 feet;
- 6) S 00°06'17" W, 44.87 feet;
- 7) N 89°25'34" W, 835.00 feet;
- 8) N 00°34'28" E, 180.00 feet;
- 9) N 88°25'34" W, 22.46 feet;
- 10) N 42°02'59" W, 27.08 feet to the beginning of a non-tangent curve;
- 11) Along said non-tangent curve to the right on an arc length of 49.57 feet, having a radius of 585.00 feet, a central angle of 04°51'16", a chord bearing of N 06°44'00" E and a chord length of 49.55 feet;
- 12) N 11°09'38" E, 32.38 feet;
- 13) N 78°50'22" W, 50.00 feet;
- 14) N 89°25'34" W, 412.15 feet;
- 15) N 00°31'33" E, 8.54 feet;
- 16) N 89°25'27" W, 180.00 feet to the POINT OF BEGINNING, containing 14.01 acres, more or less.

The public streets shown on this plat are hereby dedicated to the public. The easements shown on this plat are not dedicated to the public, however the right to use said easements is hereby reserved for the uses specifically depicted on the plat, and for any other purposes designated hereon, and no permanent structures, other than for such uses and purposes, are to be erected within the lines of said easements. All of the lots within this subdivision are eligible to receive water service from Star Sewer and Water District and Star Sewer and Water District has agreed in writing to serve all lots within the subdivision. Irrigation water has been provided from Middleton Mill Ditch Company, in compliance with Idaho Code 31-3805(1)(b). Lots within this subdivision will be entitled to irrigation water rights, and will be obligated for assessments from Middleton Mill Ditch Company.

In witness whereof, I have hereunto set my hands:

\_\_\_\_\_  
Corey D. Barton, President  
Challenger Development, Inc.

**Acknowledgment**

State of Idaho }  
County of Ada } ss.  
On this \_\_\_\_\_ day of \_\_\_\_\_, in the year 20\_\_\_\_, before me, a Notary Public in and for the State of \_\_\_\_\_, personally appeared Corey D. Barton, known or identified to me to be the President of Challenger Development, Inc. that executed the within instrument and acknowledged to me that Challenger Development, Inc. executed the same.

\_\_\_\_\_  
Notary public for Idaho  
My commission expires \_\_\_\_\_

**Certificate of Surveyor**

I, Robert L. Kazarinoff, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat of Reunion Subdivision No. 4, as described in the Certificate of Owners and as shown on the attached plat is correct and was surveyed in accordance with Idaho Code relating to plats and surveys.

Robert L. Kazarinoff, PLS 16642



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PLAT SHOWING  
Reunion Subdivision No. 4

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

Approval of Central District Health Department

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1325, Idaho Code, by the issuance of a certificate of disapproval.

\_\_\_\_\_  
Central District Health Department Date

Approval of Ada County Highway District

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Commission President  
Ada County Highway District

Approval of City Engineer

I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on this day \_\_\_\_\_, hereby approve this plat.

\_\_\_\_\_  
City Engineer

Approval of City Council

The foregoing plat was accepted and approved this \_\_\_\_\_ day of \_\_\_\_\_ by the City of Star, Idaho.

\_\_\_\_\_  
City Clerk

Certificate of County Surveyor

I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and find that it complies with the State of Idaho Code relating to plats and surveys.

\_\_\_\_\_  
Ada County Surveyor Date

Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.

\_\_\_\_\_  
Ada County Treasurer Date

County Recorder's Certificate

State of Idaho }  
County of Ada } ss. Instrument No. \_\_\_\_\_

I hereby certify that this instrument was filed at the request of JUB Engineers, Inc. at \_\_\_\_\_ minutes past \_\_\_\_\_ o'clock \_\_\_\_\_ M., this \_\_\_\_\_ day of \_\_\_\_\_ in my office, and was recorded in Book \_\_\_\_\_ of Plats at Pages \_\_\_\_\_ through \_\_\_\_\_ Fee: \_\_\_\_\_

\_\_\_\_\_  
Deputy

\_\_\_\_\_  
Ex-Officio Recorder



06 MAY 2020

THIS IS A DRAFT VERSION OF THE PLAT AND IT IS PRELIMINARY IN NATURE. IT HAS NOT YET RECEIVED AGENCY APPROVAL NOR HAVE MONUMENTS BEEN INSTALLED.  
NOT FOR RECORDATION



J-U-B ENGINEERS, INC.

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### **3. Storm System**

This manual outlines the duties to be performed by the Ada County Highway District (ACHD) and the Home Owner's Association (HOA) and its members for the maintenance of the site facilities including parking areas, landscape areas, and stormwater facilities located within the development.

This section is intended to familiarize the HOA with the stormwater system design, function, and maintenance to ensure that the system is adequately maintained and that stormwater runoff does not create a hazard within the community.

Every stormwater system needs to be properly maintained to reduce or eliminate costly repair problems and to properly treat stormwater. The lack of proper maintenance is the most common cause of stormwater system failure.

The homeowners association will be responsible for administering the light maintenance requirements for Reunion Subdivision Phase 4 until another qualified and approved organization or agency accepts this responsibility, as more particularly described in section 3.4.

#### **3.1 Purpose**

The primary purpose of the stormwater facilities is to provide collection, conveyance, storage and discharge of stormwater runoff. The stormwater structures located within the development consist of a pond, below grade seepage beds, storm drain piping, manholes, and concrete sand and grease traps. The sand and grease trap structures are designed to provide additional water quality treatment of the storm water discharging from the underground drainage pipe system prior to entering the stormwater storage facility. The stormwater pond and seepage beds are designed to contain storm water runoff generated during a 100-year, 24-hour storm event until the stormwater infiltrates through the storage facility.

#### **3.2 Definitions**

##### **LIGHT MAINTENANCE**

The maintenance required to routinely maintain common areas. Typically this maintenance consists of mowing, weeding, hedge trimming, fertilizing, minor excavation, raking, and regularly monitoring all areas where stormwater runoff is present. Unless specifically excluded herein, all light maintenance shall be performed by the homeowners association or its designated representative.

##### **HEAVY MAINTENANCE**

Any labor required to repair or regularly maintain all structures not maintained by the homeowners association. These structures include, but are not limited to, curb inlets, manholes and storm drain pipe. In general, these structures are located either within the public right-of-way or within the stormwater master perpetual easement (see attached final plat) and will be maintained at the discretion of the Ada County Highway District

(ACHD).

### **3.3 Design Overview**

Generally throughout the site there are curb inlets which have been placed within the roadways to capture the stormwater at designed low points. At this point the water is directed to an underground pipe network consisting of storm drain pipes and manholes to transmit the water to a storm water treatment system where oils and solids are separated from the stormwater before allowing the water to outfall into a stormwater pond. The ponds are shown on the improvement plans contained in section 4 of this manual.

### **3.4 Maintenance Requirements**

For the various maintenance items involved, periodic inspections are to be made of the storm drain facilities, in addition to any work required in each of the categories below. These inspections shall be performed and documented using the schedule and maintenance report found in the appendix.

#### **STORMWATER POND**

There is only one pond being constructed in phase 4, but stormwater from phase 4 goes into the phase 3 stormwater ponds.

The drainage pond is composed of sloped banks down to a depressed area in which stormwater percolates into the ground.

The pond bottom surface will include a layer of filter sand and the side slopes are to be landscaped as shown on the landscape plans. The landscaping may consist of grassy lawn and will require regular mowing and weed control. The entire area within the swale is to be kept in a weed free and healthy state. No grass clippings are to accumulate within the swale or area immediately surrounding it. This maintenance is to be done a minimum of once every week.

If during the periodic inspections the pond are noted to hold water for long periods of time, heavy maintenance may be necessary. The pond is located within a common area of the development.

The primary purpose for the pond is stormwater management. Landscaping and/or amenity features such as park benches or monuments may need to be removed for heavy maintenance as required. Replacement of these items will be the responsibility of the homeowners association.

#### **UNDERGROUND FACILITIES:**

Underground facilities including piping, and seepage beds shall be inspected according to the schedule shown in the appendix. The following activities and procedures shall be performed by the HOA when conducting the inspections:

- Inspect for hazardous waste
  - If minor amounts of hazardous waste are visible, apply sorbent materials.

- If major amounts of hazardous waste are visible, contact a hazardous waste removal contractor.
- Remove large loose debris and sorbent materials with hand tools. Do not enter the manhole or underground facility.

The following activities will be performed by ACHD at their discretion.

- Vactor out underground facilities according to the following thresholds:
  - Inlet boxes – when buildup in the bottom of the box is 3” or deeper
  - Pipes – when sediment build-up is 2” or deeper
  - Inspection Ports – When sediment is impeding the ability to read the Groundwater elevation
- When cleaning the underground storage chambers use the JetVac process
  - A fixed culvert cleaning nozzle with rear facing nozzle spread of 45” or more is preferable
  - Apply multiple passes of JetVac until back-flush water is clean
  - Vacuum manhole sump as required during jetting

#### **MOWING AND LANDSCAPE MAINTENANCE:**

The HOA shall perform the normal routine surface maintenance such as lawn mowing, weed control, and ensuring proper irrigation of landscaping and lawn areas. Weed control shall be applied at least annually utilizing a fertilizer with weed control. Application shall be by broadcast or spray methods following the manufacturer’s recommended application rate. Care should be taken to sweep up any particles broadcast to surrounding concrete and asphalt surfaces after each application.

The grass within the site common areas and in public right of way must also be maintained in a good-healthy condition. Grass clippings should be swept or blown from surrounding concrete and asphalt surfaces after each mowing. If blown, clippings will be blown back onto grassed areas for decomposition.

#### **TRASH CLEANUP:**

During the periodic inspections, any trash found within the boundary of the parking areas, swale areas, discharge manholes and all frontage landscape areas shall be collected and disposed of in a safe and legal manner.

#### **GREASE, OIL, AND GAS:**

During the periodic inspections, the parking areas and stormwater pond areas shall be checked for any evidence of grease, oil or gas spillage. Small drops and spots, less than 6” in diameter will be absorbed using appropriate absorbent pads and materials. Larger spills may require professional assistance from duly licensed professionals. If these or other chemicals are found, the HOA shall clean up the spills appropriately according to local and State environmental and safety requirements.

#### **PAVEMENT CLEANING:**

The paved areas will be inspected for general trash and debris; oils, gas and grease; and dust and sediment. General trash and debris will be collected and disposed of in

accordance with local and State requirements. Grease, oil and gas will be addressed as described above. Sediment will be swept up and disposed of in a safe and legal manner. The following guidelines shall govern the cleaning process:

- Sweep when weather is conducive to sweeping.
- Inspect inlet grates for debris. Stop sweeper and hand clean debris away from grates, then sweep with the sweeper.
- When maintenance of weeds in the gutter is necessary, sweeping should occur the same day after the weed trimming operations; or weed trimmings should be manually cleaned up and disposed of.
- Small objects that are blocking the sweeping operations should be removed prior to sweeping. Sweeping should occur when the parking lot is free from large objects such as parked vehicles.
- Areas where trees or other obstructions do not allow the use of a mechanical sweeper shall be hand swept.

Sweeping should occur at least quarterly with one occurrence being during the fall after most leaves have fallen from the trees.

## **4. Attachments**

## MINIMIZING DIRECTLY CONNECTED IMPERVIOUS AREAS (DCIAs)

Stormwater system feature	✓	Are any of these conditions present?	Problem	Recommendation
Landscaped or natural area		Sediment accumulation exceeds 2" in depth	Sediment buildup on vegetation	Remove sediment carefully to avoid damaging the existing vegetation. Dispose of sediment properly.
		Grass becomes excessively tall or weeds invade the area	Tall grass or weeds	Mow vegetation regularly. Grass should be mowed to a height between 4-9" for best storm water treatment.  Remove weeds, if necessary. Call the University of Idaho Cooperative Extension System for information on eradicating weeds in storm water systems. (Ada County) Phone: (208) 377-2107 Fax: (208) 375-8715 e-mail: <a href="mailto:ada@uidaho.edu">ada@uidaho.edu</a>
		Trash and debris are present	Trash and debris accumulation	Remove waste and dispose of properly.
		Offensive color, odor, or sludge is present	Unknown or uncharacteristic substance	Remove substance and eliminate its source. If you are unsure whether the substance is hazardous, take a sample or contact a qualified hazardous waste consultant for assistance.
		Erosion or scouring is evident	Excessive flows or flow channelization	Re-grade and re-seed area to eliminate high velocity or channelized flows. Overseed areas where bare spots are present. Contact a licensed contractor for "heavy maintenance"

## Inspection and Maintenance Form

Inspection Frequency	Date Insp'd	Insp'd by	Maintenance Item	Checked Maintenance				Date Maint. Completed	Comments
				Yes	No	Req'd	Not Req'd		
<b>HOA MAINTENANCE RESPONSIBILITIES</b>									
S			1. Stormwater pond main Pond						
			Capacity						
			Vegetation						
			Banks						
Q			3. Streets						
			Oils & Greases						
			Debris, trash and sediment						
<b>ACHD MAINTENANCE RESPONSIBILITIES</b>									
*			4. Stormwater Basin						
			Capacity						
			Standing water						
			Monitoring Well						

Frequency Key –

- A = Annually
- S = Semi-annually
- Q = Quarterly
- M = Monthly
- W = Weekly
- \* = At the discretion of ACHD



Inspection Checklist for Basins & Swales (Revised 5/12/17)

Basin Location				
	Inspection 1	Inspection 2	Inspection 3	Inspection 4
Date & Time:				
Site Status:				
Approx. Date & Amount of Last Rainfall:				
Inspector				

Copy of this complete inspection checklist along with pictures to file

Type of Basin:  Retention     Detention     Wet     Swale

Provide a copy of the O&M Plan with this checklist.

Note: This form may be used for four different inspections

Maintenance Item	Pass/Fail				Comments
	1	2	3	4	
Irrigation (Daily)					N/A if not applicable
Control of nuisance water from lots and common areas to street					
Control of watering within basin landscape					
Retention/Detention Basins & Swales (Monthly, After Storms)					N/A if not applicable
Remove cobble or other non-draining material from sand infiltration areas.					
Remove sediment accumulation from sand infiltration areas, rake/till sand for positive drainage					
Remove litter and debris					
Low flow channels clear of obstructions					
Standing water or wet spots, source of water?					
Wet Basins (Monthly, After Major Storms)					N/A if not applicable
Undesirable vegetative growth					
Floating or floatable debris removal required					
Visible pollution					
Shoreline problem					

Inspection Checklist for Basins & Swales (Revised 5/12/17)

Maintenance Item	Pass/Fail				Comments
	1	2	3	4	
Other (specify)					
Basin Sediment Forebays (monthly, After Major Storms)					N/A if not applicable
Sedimentation noted					
Sediment cleanout when depth > 50% design depth					
Basin Primary Cell (Annual, After Major Storms)					
Vegetation and ground cover adequate					
Weed Control					
Unauthorized planting					
Slope protection/erosion					
Animal burrows					
Condition of overflow spillway (if applicable)					
Seeps/leaks					
Inlet pipe trash rack					
Endwalls/Headwalls					
Energy dissipation at inlet (riprap or concrete)					
Other (specify)					
Basin Riser and Principal Spillway Outfall (Annual)					N/A if Not Applicable
Type: <input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Corrugated pipe <input type="checkbox"/> Other					
Low flow orifice obstructed					
Low flow trash rack					
• Debris removal necessary					
• Corrosion control					
Weir trash rack maintenance					
• Debris removal necessary					
• Corrosion control					
Excessive sediment accumulation in or around riser					

Inspection Checklist for Basins & Swales (Revised 5/12/17)

Maintenance Item	Pass/Fail				Comments
	1	2	3	4	
Condition of riser and barrels					
• Minor spalling (<1")					
• Major spalling (rebars exposed)					
• Joint failures					
• Water tightness					
Outfall channels functioning					
Other (specify)					
Other (Monthly)					
Encroachment on pond or easement area					
Complaints from residents					
Aesthetics					
• Grass growing required					
• Other (specify)					
Any public hazards (specify)					
Constructed Wetland Area (Annual)					
Vegetation healthy and growing					
Evidence of invasive species					
Excessive sedimentation in wetland area					
Other (specify)					





## **STORMWATER POND PLANS**

## **IMPROVEMENT PLANS**